

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
JULY 5, 2023 AGENDA

Subject:	Type:	Submitted By:
APPLICATION FOR A PUD SITE PLAN – LOT 2 MAYFAIR 2 ND ADDITION REPLAT THREE AND LOTS 1, 2, AND 3 MAYFAIR 2 ND ADDITION REPLAT SEVEN	RESOLUTION ◆ ORDINANCE RECEIVE/FILE	CHRISTOPHER SOLBERG DEPUTY COMMUNITY DEVELOPMENT DIRECTOR

SYNOPSIS

A public hearing has been scheduled and an ordinance prepared for Council to consider an application by HRC Sagebrook Multifamily, LLC (d.b.a. Hubbell Development Services) for a Planned Unit Development to allow for the construction of a mixed residential development with 264 units on Lot 2 Mayfair 2nd Addition Replat Three, and Lots 1, 2, and 3 Mayfair 2nd Addition Replat Seven.

FISCAL IMPACT

N/A.

RECOMMENDATION

Approval.

BACKGROUND

A public hearing has been scheduled and ordinance prepared to approve a PUD site plan and ordinance for Lot 2 Mayfair 2nd Addition Replat Three, Lots 1, 2, and 3 Mayfair 2nd Addition Replat Seven to be replatted as Lot 1 Mayfair 2nd Addition Replat Eight.

The applicant is seeking to construct a mixed residential development consisting of 180 apartments in three, three-story buildings; six, one-story three-unit townhomes with attached garages; six two-story, five-unit townhomes; and nine, two-story, four-unit townhomes with attached parking. Overall, the development will consist of 264 housing units. The development will also include a central clubhouse with a pool, additional stand-alone garage clusters, and pedestrian connections to the adjoining Mayfair commercial area.

The applicant has requested an allowance for a reduction in the front yard setback requirement for the R-3 High-Density Residential Zoning District from 30 feet to 15 feet along Hillcrest Plaza/S 97th Plaza. As Hillcrest Plaza/S 97th Plaza is an easement road with the property line resting near the centerline of the road, the City's standard setback measurement is taken from the back-of-curb of the paved roadway. Allowances for this setback requirement reduction may be granted by City Council through the Planned Unit Development process, per Section 5.15.02.04 of the La Vista Zoning Ordinance. The applicant has also requested allowances in relation to the Commercial Building Design Guide and Criteria of Gateway Corridor District. Allowances in relation to the design guidelines have been included in the draft PUD Ordinance.

A detailed staff report is attached.

The Planning Commission held a public hearing on June 15, 2023, and voted 5-0 to recommend approval of the Planned Unit Development, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for the Sagebrook mixed residential development (the "Sagebrook Mixed Residential PUD") is hereby adopted for the following described real estate, to wit:

LEGAL DESCRIPTION

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Sagebrook Mixed Residential PUD is hereby adopted to provide for the development of a multiple-family housing development that in addition to apartments, will deliver a variety of currently missing or lacking housing product types to the community. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build-out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

Section 3. Definitions

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Apartments" shall mean a three-story, sixty-unit multi-family unit building type. The Apartments unit type shall utilize the detached enclosed garages provided within the development to achieve the enclosed garage parking requirement for multi-family developments.
- B. "Cobalt Townhome" shall mean a two-story townhome style unit type specific to this development that includes five units in a townhome-style structure with no enclosed parking spaces. The Cobalt Townhome unit type shall utilize the detached enclosed garages provided within the development to achieve the enclosed garage parking requirement for multi-family developments.

- C. "Della Townhome" shall mean a two-story townhome style unit type specific to this development that includes four units in a townhome-style structure with enclosed parking spaces on the ground floor of the building.
- D. "Developer" shall mean HRC Sagebrook Multifamily, LLC (d.b.a. Hubbell Development Services), their successors and assigns.
- E. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district. Developments within this overlay zoning district shall be subject to the Commercial Building Design Guide and Criteria dated March 2, 2021.
- F. "Lazio Townhome" shall mean a single-story townhome-style unit type specific to this development that includes three units in a townhome style of structure with attached, enclosed parking spaces.
- G. "Mixed Residential" shall mean a development consisting of a mix of apartments, rowhouses, townhomes, and single-story homes. Typical building heights are 1-3 stories, with a walkable environment that provides connectivity to adjoining retail and services.
- H. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well-landscaped pedestrian places, pools, pool decks and roof gardens.
- I. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.
- J. "Sagewood Mixed Residential PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guideline allowances, landscaping, etc.
- K. "Subdivision" shall mean the 15.77 acres of land described in Exhibit "A" hereto, to be known as "Mayfair 2nd Addition Replat Eight".

Section 4. Parcel Identification Map

Attached hereto and made a part of Sagewood Mixed Residential PUD for parcel delineation is the Parcel Identification Map for the Sagewood Mixed Residential PUD marked as Exhibit "B".

Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

Section 6. Building Design Guidelines and Criteria

All applications shall adhere to the requirements of the Commercial Building Design Guide and Criteria dated March 2, 2021, unless expressly allowed otherwise through this PUD ordinance. Prior to the issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria.

Allowances specific to this development provide for variation from the Commercial Building Design Guide and Criteria in relation to each specific building type:

- A. Lazio Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- B. Cobalt Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- C. Della Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other

secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- D. Apartments – The design of the apartment buildings within the PUD area shall meet La Vista's Commercial Building Design Guide and Criteria and the Zoning Ordinance.
- E. Clubhouse – The design of the complex clubhouse within the PUD area shall meet La Vista's Commercial Building Design Guide and Criteria and the Zoning Ordinance.
- F. Garages – A three-foot base course of brick (clay or stone) shall be required along the front (where not impeded by garage doors), back and side elevations. Garages shall also utilize planar differentiation to break up the long façade of the back elevation.

General Additional Design Guidelines:

- A. Exterior building-mounted lighting shall limit impact upon adjoining properties as depicted within the PUD Photometric Plan included within Exhibit "B". Exposed bulbs shall not be visible from adjoining residential areas.
Pedestrian-scale lighting should be incorporated in outdoor areas such as pedestrian walkways, plazas, play lots and parking areas.
- B. Pedestrian, bicycle and vehicle linkages should be provided to adjacent developments and uses.
- C. Buildings should be placed to create a street presence and enhance neighborhood character.
 - a. When adjacent to single-family residences, side and rear setbacks shall allow for a sufficient planter area to buffer impacts and screen undesirable views.
- D. Garage doors throughout the development shall be enhanced through the use of raised panels, windows, and/or decorative hardware.

Unless specifically addressed above, the design criteria of the development must adhere to the guidelines set forth within La Vista's Commercial Building Design Guide and Criteria and the Zoning Ordinance.

Section 7. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Sagewood Mixed Residential PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Sagewood Mixed Residential PUD.
- ii. Unless otherwise specified herein, the development of the Sagewood Mixed Residential PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

B. Land Use Design Criteria

Unless provided otherwise in this Sagewood Mixed Residential PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate underlying zoning district shall apply to any development within Lot 1 Mayfair 2nd Addition Replat 8. The negative elements of such uses as dumpsters, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The general intent of the design and layout of Lot 1, Mayfair 2nd Addition Replat 8 is to develop the site for a mix of residential uses.
 - a. Building Height. Permitted building heights shall be the same as those listed in the R-3 High Density Residential District regulations unless otherwise approved by the City Council as part of a PUD Plan.
 - b. Building Setback. Building setbacks shall be the same as those listed in the R-3 High Density Residential District regulations unless otherwise approved by the City Council

as part of a PUD Site Plan. Specific to the PUD Site Plan, building setbacks along Hillcrest Plaza and S 97th Plaza will be 15-feet from the back-of-curb of the roadway.

- c. Landscaping. Landscape screening along the north and west edges of the property needs to meet or exceed that of Exhibit "B" of the subdivision agreement for Mayfair 2nd Addition Replat Seven. Landscaping throughout the PUD shall be consistent with the PUD Site Plan map set, Exhibit "B" and La Vista's Commercial Building Design Guide and Criteria. A complete and detailed landscape plan shall be reviewed as part of the City's Design Review Approval process prior to building permit approval.
- d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Access and Off-Street Parking

- i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and subdivision agreement. Any deviation from this shall require the approval of the City.
- ii. Off-Street Parking. Parking on lots in Lot 1 Mayfair 2nd Addition Replat 8 should be provided based on the aggregate ratio of one (1) per bedroom and 0.5 enclosed garages per unit. No parking related to the use will be allowed on South 99th Street, Hillcrest Plaza, S 97th Plaza, or any other off-site private parking area without specific approval.

D. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Sagewood PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Sagewood PUD shall control.

See the PUD Site Plan map set, Exhibit "B", for the proposed site signage approximate locations.

- i. Subdivision Sign. The development shall have one free-standing Subdivision Sign in the location depicted on the PUD Site Plan. However, the sign needs to adhere to the Sight Triangle requirements and other regulations for Subdivision Signs as set forth within the Zoning Ordinance.

- ii. Incidental On-Site Directional Signs. Incidental On-Site Directional Signs, such as signs indicating exits or the clubhouse and the pool, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign.

Section 8. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 9. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 5TH DAY OF JULY 2023.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, MMC
City Clerk

EXHIBIT A

Lot 1, Mayfair 2nd Addition Replat Eight, located in the SE ¼, Section 16, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

EXHIBIT B



**CITY OF LA VISTA
PLANNING DIVISION
RECOMMENDATION REPORT**

CASE NUMBERS: PPUD23-0003; PCUP23-0004; FOR HEARING ON: JULY 5, 2023
PRP23-0002 REPORT PREPARED ON: JUNE 16, 2023

I. GENERAL INFORMATION

A. APPLICANT(S):

Hubbell Development Services
(HRC Sagebrook Multifamily, LLC)
Attn: Josh Vickery
9719 Giles Road
La Vista, NE 68128

B. PROPERTY OWNER:

One Mayfair Place LLC
12408 S 36th Street
Bellevue, NE 68005

Lazlo's La Vista Property Holdings LLC
Attn: Eric Schafer
729 Q Street
Lincoln, NE 68508

C. LOCATION: Generally located northeast of the intersection of 99th Street and Hillcrest Plaza.

D. LEGAL DESCRIPTION: Lots 1-3 Mayfair 2nd Addition Replat Seven and Lot 2 Mayfair 2nd Addition Replat Three.

E. REQUESTED ACTION(S): Approval of a Planned Unit Development (PUD) Site Plan set and ordinance, Conditional Use Permit (CUP), Replat and subdivision agreement.

F. EXISTING ZONING AND LAND USE: On May 16, 2023 the City Council approved of an amendment to the official Zoning Map of the City of La Vista to rezone the subject property from C-1 Shopping Center Commercial with a Gateway Corridor District (Overlay District), subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan, Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

G. PURPOSE OF REQUEST: Applicant is seeking to construct a mixed residential development consisting of a mixture of multi-family

apartment buildings, multi-plex residential buildings, and townhome-style residential units.

H. **SIZE OF SITE:** Approximately 15.77 acres.

II. BACKGROUND INFORMATION

A. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision
East	Urban High Intensity Residential	R-3 High-Density Residential, PUD, and Gateway Corridor District (Overlay District). C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Cedarhurst Senior Living Primrose Childcare
South	Urban Commercial	C-1 Shopping Center Commercial and Gateway Corridor District (Overlay District).	Culver's, Kathol P.C. office building, Swimtastic Swim School, Five Points Bank
West	Urban Medium Intensity Residential	R-1 Single-Family Residential	Mayfair Residential Subdivision

B. RELEVANT CASE HISTORY:

1. Mayfair 2nd Addition Replat Three was approved by City Council on September 19, 2006.
2. Mayfair 2nd Addition Replat Seven was approved by City Council on October 18, 2016.
3. On December 20, 2022 the City Council of the City of La Vista approved a Comprehensive Plan Future Land Use Map amendment in relation to the approval of the La Vista Land Use Plan and Market Study. The Future Land Use Map amendment changed the future land use designation of the

properties that are the subject of this rezoning request from Commercial to Urban High Intensity Residential.

4. On May 16, 2023 the City Council approved of an amendment to the official Zoning Map of the City of La Vista to rezone the subject property from C-1 Shopping Center Commercial with a Gateway Corridor District (Overlay District), subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan, Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

C. APPLICABLE REGULATIONS:

1. Section 5.08 of the City of La Vista Zoning Ordinance – R-3 High Density Residential
2. Section 5.15 of the City of La Vista Zoning Ordinance – PUD Planned Unit Development District (Overlay District)
3. Section 5.17 of the City of La Vista Zoning Ordinance – Gateway Corridor District (Overlay District)
4. Section 6 of the City of La Vista Zoning Ordinance – Conditional Use Permits (CUP)
5. La Vista Subdivision Regulations

III. ANALYSIS

A. COMPREHENSIVE PLAN:

1. The Future Land Use Map of the La Vista Comprehensive Plan designates this property as Urban High Intensity Residential.
2. The proposed project will meet Policy Live-2.2 of the La Vista Comprehensive Plan which reads: "Promote the development of housing types and supportive programs for people of retirement age, allowing residents to age in place with access to daily services." This policy directly promotes Goal 2 of the Live Long category of the Comprehensive Plan, which reads: "Maintain the balance of diverse, high-quality housing that appeals to people of varying backgrounds, incomes and abilities."
3. The La Vista Land Use Plan, dated December 20, 2022, specifically suggested multifamily development for the subject property through the Urban High Intensity Residential future land use designation. As stated in the description, developments within this land use shall, "...provide a range of housing products that fill gaps in missing product types, diversify the market, and create environments for all stages of life."

B. OTHER PLANS: N/A.

C. TRAFFIC AND ACCESS:

1. The proposed development would have two driveway connections, one on 99th Street and another onto Hillcrest Plaza. Another connection, through an existing easement on the Cedarhurst Senior Living development property, provides access to Brentwood Drive.
2. A traffic impact analysis (TIA) was required as part of the PUD/CUP/Replat review processes to determine the need for any traffic-related infrastructure investments.
3. A draft TIA was compiled by Felsburg, Holt, and Ullevig and provided to the City for review. This TIA was reviewed by the City's third-party consulting firm, HDR, with comments for proposed changes provided. The proposed changes have been provided to the applicant to make adjustments and resubmit prior to the review of the development by City Council. The TIA and comments from HDR are attached to this report.
4. The analysis was based on two different geometric scenarios. One that kept the full access intersection at 98th Plaza and Giles Road, and another that revised that intersection to operate as a right-in/right-out.
5. Based on the results for the 2024 and 2044 Buildout volumes under both geometric scenarios, it was determined that installing a signal at 99th Street & Giles Road and restricting access at 98th Street & Giles Road to a RIRO intersection is the preferred recommendation of the TIA. The development's involvement in the installation of this traffic signal will be handled through subdivision agreement that is required through the Replat approval process.
6. Various other near-term and long-term proposed improvements proposed in the TIA reflect the findings of the West Giles Road Corridor Study conducted by the City in the past year. Staff is reviewing each recommendation and will plan for implementation as necessary.
7. The developer and representatives of the senior living facility immediately to the east of the proposed development have agreed to reroute the pedestrian access on the south side of the senior living facility to provide a better pedestrian connection to the eastern half of the Mayfair commercial area. Other pedestrian connections depicted within the PUD Site Plan provide adequate access to the rest of the Mayfair subdivision.

D. UTILITIES:

1. The property has access to all necessary utilities.

E. PARKING REQUIREMENTS:

1. The minimum off-street parking stall requirements for the proposed development per Section 7.06 of the La Vista Zoning Ordinance and the number of proposed parking stalls for each lot in the development are as follows:

<u>Lot #</u>	<u>Use</u>	<u>Required Stalls</u>	<u>Provided Stalls</u>
Proposed Lot 1 Mayfair 2 nd Add Replat Eight	Multi-Family	456	456

2. The proposed number of provided off-street parking stalls for the development exceeds the minimum number of stalls required by Section 7.06 of the La Vista Zoning Ordinance.
3. Per Section 7.05.09, multi-family housing developments shall provide a minimum of 0.5 enclosed garages per unit, but these garages may count toward the total number of parking spaces required. With 264 units, this requirement for the Sagewood Mixed Residential Development is to provide a minimum of 132 garage stalls. This proposal includes 193 garage stalls (6 garage stalls incorporated into each Lazio unit, 8 stalls incorporated into each Della unit; and 85 garages in stand-alone clusters.

IV. REVIEW COMMENTS:

1. Applicant is requesting to construct a mixed residential development consisting of 180 apartments in three, three-story buildings; six, one-story three-unit townhomes with attached garages; six two-story, five-unit townhomes; and nine, two-story, four-unit townhomes with attached parking. The development will also include a central clubhouse with a pool, additional stand-alone garage clusters, and pedestrian connections to the adjoining Mayfair commercial area.
2. The applicant has requested an allowance for a reduction in the front yard setback requirement for the R-3 High-Density Residential Zoning District from 30 feet to 15 feet along Hillcrest Plaza/S 97th Plaza. As Hillcrest Plaza/S 97th Plaza is an easement road with the property line resting near the centerline of the road, the City's standard setback measurement is conducted from the back-of-curb of the paved roadway. Allowances for this setback requirement reduction may be granted by City Council through the Planned Unit Development process, per Section 5.15.02.04 of the La Vista Zoning Ordinance.
3. The applicant has also requested allowances in relation to the Commercial Building Design Guide and Criteria of Gateway Corridor District. Allowances in relation to the design guidelines have been included in the draft PUD Ordinance. The draft PUD Ordinance is attached to this report.

4. The building, site, landscape design for each of the proposed building types is under review by the City's third-party Design Review Architect. This design review process must be substantially complete prior to the application for building permits. The exhibits within the final approved CUP that are related to the design of the development will be required to be updated prior to the recording of the CUP.
5. A subdivision agreement has been drafted and is attached to this report. It addresses items including but not limited to: public and private improvements, guarantees and performance bonds, etc.

V. STAFF RECOMMENDATION – PLANNED UNIT DEVELOPMENT:

Staff recommends approval of the PUD Site Plan and Ordinance, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

VI. PLANNING COMMISSION RECOMMENDATION – PLANNED UNIT DEVELOPMENT:

The Planning Commission met on June 15, 2023 and voted 5-0 to recommend approval of the approval of the PUD Site Plan and Ordinance, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a Conditional Use Permit, and approval and recording of the final replat and subdivision agreement.

VII. STAFF RECOMMENDATION – CONDITIONAL USE PERMIT:

Staff recommends approval of the Conditional Use Permit, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan and Ordinance, and the approval and recording of the final replat and subdivision agreement.

VIII. PLANNING COMMISSION RECOMMENDATION – CONDITIONAL USE PERMIT:

The Planning Commission met on June 15, 2023 and voted 5-0 to recommend approval of the approval of the Conditional Use Permit, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan and Ordinance, and the approval and recording of the final replat and subdivision agreement.

IX. STAFF RECOMMENDATION – REPLAT:

Staff recommends approval of the Replat, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan and Ordinance, Conditional Use Permit, and the approval and recording of the subdivision agreement.

X. PLANNING COMMISSION RECOMMENDATION – REPLAT:

The Planning Commission met on June 15, 2023 and voted 5-0 to recommend approval of the approval of the Replat, subject to satisfaction of all applicable

requirements, including without limitation, notice, hearing, and approval of a PUD Site Plan and Ordinance, Conditional Use Permit, and the approval and recording of the subdivision agreement.

XI. ATTACHMENTS TO REPORT:

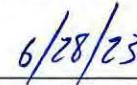
- A. Vicinity Map
- B. Staff Review Letters
- C. Draft PUD Ordinance
- D. PUD Site Plan map set
- E. Draft Conditional Use Permit
- F. Draft Traffic Impact Analysis and Third-Party Review Letter
- G. Subdivision Agreement

XII. COPIES OF THE REPORT SENT TO:

- A. Josh Vickery, Hubbell Development Services
- B. Trevor Veskrna, Thompson, Dreessen & Dorner, Inc.
- C. Public Upon Request



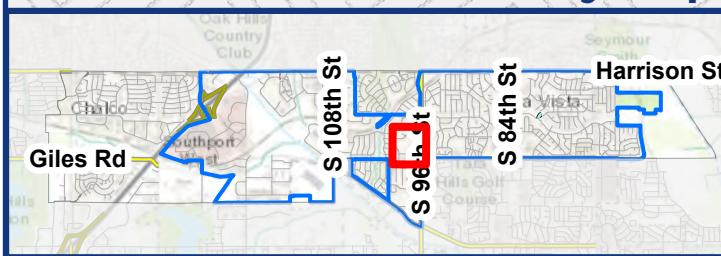
Prepared by: Deputy Community Development Director


Community Development Director
6/28/23

Date



Vicinity Map - Hubbell Development Applications



Legend

- Property Lines
- Development Boundary





April 14, 2023

TD2
Trevor Veskrna
10836 Old Mill Road
Omaha, NE 68154

RE: Mayfair Apartments – PUD, CUP & Replat Applications – Initial Review Letter
Lots 1-3 Mayfair 2nd Addition Replat Seven & Lot 2 Mayfair 2nd Addition Replat Three

Mr. Veskrna,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Subdivision Regulations and Zoning Ordinance, the City has the following comments:

Replat Application

1. Subdivision Regulations Section 3.03.03 – Please include a phasing plan on the preliminary plat if the development is anticipated to be developed in phases.
2. Subdivision Regulations Section 3.03.09 – Please provide the approximate lot dimensions and square footage on the Preliminary Plat.
3. Subdivision Regulations Section 3.03.09 – Please indicate location, elevation, and size of public utilities on the Preliminary Plat.

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
402.331.4343 P
402.331.4375 F

Community Development
8116 Park View Blvd.
402.593.6400 P
402.593.6445 F

Library
9110 Giles Rd.
402.537.3900 P
402.537.3902 F

Police
7701 S. 96th St.
402.331.1582 P
402.331.7210 F

Public Works
9900 Portal Rd.
402.331.8927 P
402.331.1051 F

Recreation
8116 Park View Blvd.
402.331.3455 P
402.331.0299 F

4. Subdivision Regulations Section 3.03.16 – Please submit a copy of an erosion control plan for the site.
5. Subdivision Regulations Section 3.05.11 – On the Final Plat, the second Acknowledgment of Notary should be “Lazlo’s La Vista Property Holdings, LLC” per recorded Warranty Deed.
6. Subdivision Regulations Section 3.05.14 – On the Final Plat, please use the City of La Vista Approval Block as described in Section 10.04 of the Subdivision Regulations.
7. Subdivision Regulations Section 3.05.16 – On the Final Plat, please include a block for the Sarpy County Register of Deeds.
8. Subdivision Regulations Section 3.05.17 – On the Final Plat, please include a block for review by Sarpy County Public Works.
9. Subdivision Regulations Section 3.05.18 – If there will be a lender or lien holder for any of the properties included in the proposed development, please include a block for the approval of the lending institution on the Final Plat.
10. Subdivision Regulations Section 3.05.20 – Please provide copies of any restrictions or covenants affecting the subdivisions, or any parts thereof, if applicable.
11. Subdivision Regulations Section 3.05.24 – Please provide financial data showing the costs of all public improvements.
12. Subdivision Regulations Section 3.05.25 – A Subdivision Agreement will be necessary based upon the sewer connection provision, and/or public improvements that may be required based upon further technical reviews of the Traffic Impact Study and other application materials.
13. Subdivision Regulations Section 3.08.03.2 - The side lot line easement between each property will need to be released with any telecom and/or utility provider that may be within the easement. Easements will need to be released prior to recording of the Replat.

14. Zoning Ordinance Section 15.04.03 – Financial assurances will be required through the Subdivision Agreement for the value of the required public improvements, which will include sidewalks and other improvements that may arise from further technical review of the proposed development.
15. General Comment: The Sarpy County Surveyor provided the City with a letter on March 27, 2023 explaining that several comments/questions they had were discussed with your survey team and that they would be addressed in an updated version of the Final Plat. Please provide this updated plat for further review by the City and Sarpy County Surveyor.

Planned Unit Development & Conditional Use Permit Applications

16. Zoning Ordinance Section 5.15.04.01 – Please submit an anticipated schedule of construction.
17. Zoning Ordinance Sections 5.15.04.04, 6.05.04, 6.05.05, and 6.05.10 – Please submit a Traffic Impact Study (TIS), inclusive of peaking factors, for the proposed development.
18. Zoning Ordinance Section 5.15.04.05 - Please confirm that the proposed usage will not exceed the capacity of the existing public sanitary sewer.
19. Zoning Ordinance Section 5.15.04.07 and 5.15.04.22 – Please provide a photometric plan to the City for review to confirm that light spillover/light pollution from the site lighting for this development will not be present on adjoining residential properties. Please ensure that the boundaries/calculations of the photometric study extend thirty feet beyond your property line(s). When preparing the photometric plan, please note that there is a specific site lighting fixture approved for the Gateway Corridor, with details on this fixture included in the Gateway Corridor District Design Guidelines.
20. Zoning Ordinance Section 5.15.04.07 and 5.15.04.16 – Proper pedestrian access shall be provided between each building within the planned unit development. Sidewalks will be required along each side of the road(s) throughout the development, not just on one side. This sidewalk access should be continued to the north access point near Brentwood Drive as well.

21. Zoning Ordinance Section 5.15.04.08 – Please review the parking statistics table on the PUD site plan and correct as necessary. The multi-family garage requirement (0.5 garage stalls per unit) will be applied to the entire site (as a multi-family development), not just the apartment buildings. The garage stalls included in the Lazio and Della units would count toward this requirement.
22. Zoning Ordinance Section 5.15.04.09 – The landscape screening along the north and west edges of the property needs to meet or exceed that of Exhibit "B" of the subdivision agreement for Mayfair 2nd Addition Replat Seven. This exhibit has been enclosed, along with the referencing page of the subdivision agreement. The full agreement is available upon request.
23. Zoning Ordinance Section 5.15.04.13 – Please provide provisions for ownership and maintenance of the common open spaces to ensure timely maintenance of said spaces.
24. Zoning Ordinance Section 5.15.04.17 – The standard of measurement of setbacks along easement roads in the La Vista Zoning Jurisdiction is to measure from the back edge of the curb of the paved roadway. Please include a table on the PUD Site Plan that depicts the allowed setbacks of the R-3 Zoning District and include a note stating width of the reduced setback along Hillcrest Plaza.
25. Zoning Ordinance Section 5.15.04.19 - Please confirm that the Cobalt building type units (3 buildings) on the southeast corner of the property have the front doors and front building facades facing Hillcrest Plaza, and that the rear of the buildings are internal to the site.
26. Zoning Ordinance Section 5.15.05.02.4 – Please confirm that perimeter sidewalk locations and dimensions are compliant with Section 4.20 of the Subdivision Regulations. The requirements of Section 4.20 include, but are not limited to: the pavement width be a minimum of 5 feet, pavement thickness shall be a minimum 4 inches, there shall be a minimum distance of 6 feet between edge of the sidewalk walk and curb, and that all sidewalks and crossings must be compliant with the standards of the Americans with Disabilities Act.

27. Zoning Ordinance Section 5.15.05.03.2 – On the PUD site plan, please provide the density calculation in dwelling units per acre for the entire development (including every unit type).
28. Zoning Ordinance Section 5.15.05.03.4 – On the PUD site plan, please provide the percentage of the development plan that is provided for common open space, as defined by this regulation.
29. Zoning Ordinance Section 5.15.05.04 and 6.05.02 – To accompany the PCSMP sheets that were submitted with the Preliminary Plat, please submit a full Post Construction Stormwater Management Plan inclusive of a drainage study report with calculations.
30. Zoning Ordinance Section 5.15.05.04 – Please provide adequate sanitary sewer information (drawings/statement) for the disposition of said utility.
31. Zoning Ordinance Section 5.15.05.08 – Please describe the provisions that will be made for the care and maintenance of the recreational facilities proposed.
32. Zoning Ordinance Section 5.15.05.09 – Please submit any restrictive covenants that are to be recorded with the property, if applicable.
33. General comment - Confirm that the row of Cobalt building types are clear of the existing Storm Sewer Easement generally running northeast of the bend of Hillcrest Plaza/100 year Storm Sewer Easement in the southeast portion of the lot as shown on the Final Plat.
34. General comment - Confirm the apartment building type on the south side of the lot is clear of the existing Sanitary Sewer Easement as shown on the Final Plat.
35. General comment – Please include the intended operating hours for the leasing office and clubhouse in the operating statement for the Conditional Use Permit application.

General Development Comments

36. The building design for each of the proposed buildings must be reviewed as part of the design review process that is required for developments within the Gateway Corridor Overlay District prior to building permit approval. The design review process will be conducted outside of the PUD and CUP approval processes, with the exception of the review of the landscaping plan. The landscaping plan is currently under review and additional comments may be forthcoming.
37. A letter sent to Hubbell Development Services from Cedarhurst Senior Living dated March 29, 2023 was forwarded to the City, and included several requests/proposed changes to the development site plan. Please confirm that you received this letter, and please let us know how you intend to respond to this letter.

Additionally, please provide confirmation of conversations with ownership representation of the intent to utilize the access easement at the north end of their property as well as the intention to connect to (and reroute) the sidewalk connection on the south side of their property.
38. A draft of the Conditional Use Permit will be provided upon review of the revised documents.

Please resubmit 2 paper copies of the Preliminary and Final Plats, PUD and CUP site plans, and other supporting documentation requested in this letter (including electronic copies) to the City for further review. Please also provide a response letter that answers or acknowledges each of the comments contained in this letter. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted in this review have been sufficiently addressed. If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP

Deputy Community Development Director

City of La Vista

csolberg@cityoflavista.org

(402) 593-6400

cc:

Josh Vickery, Hubbell Development Services

Doug Kellner, TD2

Bruce Fountain, Community Development Director – City of La Vista

Cale Brodersen, Associate City Planner – City of La Vista

Pat Dowse, City Engineer – City of La Vista

May 9, 2023

City of La Vista
Chris Solberg, Deputy Community Development Director
8816 Park View Blvd.
La Vista, NE 68128

RE: Mayfair Apartments – PUD, CUP, and Replat Applications – Initial Review Letter
Lots 1 – 3, Mayfair 2nd Addition Replat Seven & Lot 2, Mayfair 2nd Addition Replat Three

Mr. Solberg,

Below are responses to the comments on the Mayfair Apartments – PUD, CUP, and Replat Initial Review Letter dated April 14, 2023. The city comments are listed below followed by our responses in bold. Additionally, the developer has requested to rename the plat from Mayfair 2nd Addition, Lot 1, to Sagebrook, Lot 1.

1. Subdivision Regulations Section 3.03.03 - Please include a phasing plan on the preliminary plat if the development is anticipated to be developed in phases.
A proposed phasing plan has been included with this submittal as Exhibit 2.
2. Subdivision Regulations Section 3.03.09 - Please provide the approximate lot dimensions and square footage on the Preliminary Plat.
Lot dimensions and square footage have been added to the Preliminary Plat.
3. Subdivision Regulations Section 3.03.09 - Please indicate location, elevation, and size of public utilities on the Preliminary Plat.
Public utilities have been added to the Preliminary Plat. Per information obtained from TD2's survey, all public utilities are adequately sized to support the proposed project.
4. Subdivision Regulations Section 3.03.16 - Please submit a copy of an erosion control plan for the site.
The erosion control plan is included in the Preliminary Plat as Exhibit B.
5. Subdivision Regulations Section 3.05.1.1 - On the Final Plat, the second Acknowledgment of Notary should be "Lazlo's La Vista Property Holdings, LLC" per recorded Warranty Deed.
Updated.
6. Subdivision Regulations Section 3.05.14 - On the Final Plat, please use the City of La Vista Approval Block as described in Section 10.04 of the Subdivision Regulations.
Added.

7. Subdivision Regulations Section 3.05.1.6 - On the Final Plat, please include a block for the Sarpy County Register of Deeds.
Updated.
8. Subdivision Regulations Section 3.05.17 - On the Final Plat, please include a block for review by Sarpy County Public Works.
Added.
9. Subdivision Regulations Section 3.05.18 - If there will be a lender or lien holder for any of the properties included in the proposed development, please include a block for the approval of the lending institution on the Final Plat.
Lender and lien holder information will be added to the Final Plat prior to being recorded if applicable.
10. Subdivision Regulations Section 3.05.20 - Please provide copies of any restrictions or covenants affecting the subdivisions, or any parts thereof, if applicable.
A draft Subdivision Agreement is currently in progress and will be submitted to the city for review as soon as it is available.
11. Subdivision Regulations Section 3.05.24 - Please provide financial data showing the costs of all public improvements.
Financial data for public improvements will be included with the Subdivision Agreement.
12. Subdivision Regulations Section 3.05.25 - A Subdivision Agreement will be necessary based upon the sewer connection provision, and/or public improvements that may be required based upon further technical reviews of the Traffic Impact Study and other application materials.
Acknowledged. A draft Subdivision Agreement is currently in progress.
13. Subdivision Regulations Section 3.08.03.2 - The side lot line easement between each property will need to be released with any telecom and/or utility provider that may be within the easement. Easements will need to be released prior to recording of the replat.
Acknowledged. We are currently in the process of releasing easements.
14. Section 15.04.03 - Financial assurances will be required through the Subdivision Agreement for the value of the required public improvements, which will include sidewalks and other improvements that may arise from further technical review of the proposed development.
Acknowledged. A draft Subdivision Agreement is currently in progress.

15. General Comment: The Sarpy County Surveyor provided the city with a letter on March 27, 2023, explaining that several comments/questions they had were discussed with your survey team and that they would be addressed in an updated version of the Final Plat. Please provide this updated plat for further review by the city and Sarpy County Surveyor.

Acknowledged.

16. Zoning Ordinance Section 5.1 5.04.01 - Please submit an anticipated schedule of construction.

A preliminary construction schedule has been included with this submittal as Exhibit 3.

17. Zoning Ordinance Sections 5.1 5.04.04, 6.05.04, 6.05.05, and 6.05.10 - Please submit a Traffic Impact Study (TIS), inclusive of peaking factors, for the proposed development.

A traffic study has been completed and the draft report has been submitted to the city for review.

18. Zoning Ordinance Section 5.1 5.04.05 - Please confirm that the proposed usage will not exceed the capacity of the existing public sanitary sewer.

The existing sanitary sewer has capacity to accommodate the proposed project. A Sanitary Sewer Capacity Exhibit, "Ex.1", has been included with this submittal.

19. Zoning Ordinance Section 5.1 5.04.07 and 5.15.04.22 - Please provide a photometric plan to the City for review to confirm that light spillover/light pollution from the site lighting for this development will not be present on adjoining residential properties. Please ensure that the boundaries/calculations of the photometric study extend thirty feet beyond your property line(s). When preparing the photometric plan, please note that there is a specific site lighting fixture approved for the Gateway Corridor, with details on this fixture included in the Gateway Corridor District Design Guidelines.

Acknowledged. A photometric light plan is currently being prepared and will be submitted to the city for review as soon as it is available.

20. Zoning Ordinance Section 5.15.04.07 and 5.15.04.16 - Proper pedestrian access shall be provided between each building within the planned unit development. Sidewalks will be required along each side of the road(s) throughout the development, not just on one side. This sidewalk access should be continued to the north access point near Brentwood Drive as well.

Additional sidewalks have been added on both sides of the street to provide each unit with sidewalk access. The sidewalk has been extended to the access point with Lot 2, Mayfair 2nd Addition Replat 5.

21. Zoning Ordinance Section 5.1 5.04.08 - Please review the parking statistics table on the PUD site plan and correct as necessary. The multi-family garage requirement (0.5 garage stalls per unit) will be applied to the entire site (as a multi-family development), not just the apartment buildings. The garage stalls included in the Lazio and Della units would count toward this requirement.
The garage count has been updated in the Parking Statistics table to reflect this.

22. Zoning Ordinance Section 5.15.04.09 - The landscape screening along the north and west edges of the property needs to meet or exceed that of Exhibit "B" of the subdivision agreement for Mayfair 2nd Addition Replat Seven. This exhibit has been enclosed, along with the referencing page of the subdivision agreement. The full agreement is available upon request.
The landscaping along the north and west property lines has been updated to match Exhibit B of the subdivision agreement for Mayfair 2nd Addition Replat Seven.

23. Zoning Ordinance Section 5.15.04.13 - Please provide provisions for ownership and maintenance of the common open spaces to ensure timely maintenance of said spaces.
Ownership and maintenance will be included in the Subdivision Agreement.

24. Zoning Ordinance Section 5.15.04.17 - The standard of measurement of setbacks along easement roads in the La Vista Zoning Jurisdiction is to measure from the back edge of the curb of the paved roadway. Please include a table on the PUD Site Plan that depicts the allowed setbacks of the R-3 Zoning District and include a note stating width of the reduced setback along Hillcrest Plaza.
A setback requirement table has been added to the PUD Site Plan. The required front yard setback in R-3 for multi-family use types is 30 feet. The proposed front yard setback is 15 feet from the back of curb along Hillcrest Plaza and 30 feet from the property line along 99th Street.

25. Zoning Ordinance Section 5.15.04.19 - Please confirm that the Cobalt building type units (3 buildings) on the southeast corner of the property have the front doors and front building facades facing Hillcrest Plaza, and that the rear of the buildings are internal to the site.
Cobalt unit front doors face Hillcrest Plaza.

26. Zoning Ordinance Section 5.15.05.02.4 - Please confirm that perimeter sidewalk locations and dimensions are compliant with Section 4.20 of the Subdivision Regulations. The requirements of Section 4.20 include but are not limited to: the pavement width be a minimum of 5 feet, pavement thickness shall be a minimum 4 inches, there shall be a minimum distance of 6 feet between edge of the sidewalk walk and curb, and that all sidewalks and crossings must be compliant with the standards of the Americans with Disabilities Act.
Perimeter sidewalk locations and dimensions are compliant with Section 4.20 of the Subdivision Regulations.

27. Section 5.15.05.03.2 - On the PUD site plan, please provide the density calculation in dwelling units per acre for the entire development (including every unit type).
The density calculation has been added to the building statistics table on the PUD Site Plan.
28. Zoning Ordinance Section 5.15.05.03.4 - On the PUD site plan, please provide the percentage of the development plan that is provided for common open space, as defined by this regulation.
Open space percentage is shown in the site statistics table on the PUD Site Plan.
29. Zoning Ordinance Section 5.15.05.04 and 6.05.02 - To accompany the PCSMP sheets that were submitted with the Preliminary Plat, please submit a full Post Construction Stormwater Management Plan inclusive of a drainage study report with calculations.
A draft drainage study has been included with this submittal. A complete drainage study with pipe and inlet sizing calculations will be included with the construction documents and submitted as part of the PCSMP review with the city.
30. Zoning Ordinance Section 5.15.05.04 - Please provide adequate sanitary sewer information (drawings/statement) for the disposition of said utility.
The proposed on site sanitary sewer is 8" PVC and is shown on the PUD Utility Plan and the Preliminary Plat Utility Plan.
31. Zoning Ordinance Section 5.15.05.08 - Please describe the provisions that will be made for the care and maintenance of the recreational facilities proposed.
Care and maintenance provisions will be included in the Subdivision Agreement.
32. Zoning Ordinance Section 5.15.05.09 - Please submit any restrictive covenants that are to be recorded with the property, if applicable.
A draft subdivision agreement is currently in progress.
33. General comment - Confirm that the row of Cobalt building types are clear of the existing Storm Sewer Easement generally running northeast of the bend of Hillcrest Plaza/ 100-year Storm Sewer Easement in the southeast portion of the lot as shown on the Final Plat.
The Cobalt buildings have been shifted to avoid the existing Storm Sewer Easement.
34. General comment - Confirm the apartment building type on the south side of the lot is clear of the existing Sanitary Sewer Easement as shown on the Final Plat.
Apartment Building 3 currently conflicts with the existing Sanitary Sewer Easement. Coordination with the city is on-going to release this easement. At this time, sanitary sewer is not known to exist within this easement.

35. General comment - Please include the intended operating hours for the leasing office and clubhouse in the operating statement for the Conditional Use Permit application.

An updated operation statement has been included with this submittal.

36. The building design for each of the proposed buildings must be reviewed as part of the design review process that is required for developments within the Gateway Corridor Overlay District prior to building permit approval. The design review process will be conducted outside of the PUD and CUP approval processes, with the exception of the review of the landscaping plan. The landscaping plan is currently under review and additional comments may be forthcoming.

Acknowledged.

37. A letter sent to Hubbell Development Services from Cedarhurst Senior Living dated March 29, 2023, was forwarded to the city, and included several requests/proposed changes to the development site plan. Please confirm that you received this letter, and please let us know how you intend to respond to this letter.

Hubbell Development Services has received this letter and has been in communication with Cedarhurst Senior Living. Additional landscaping will be provided between the Della units and the senior living.

Additionally, please provide confirmation of conversations with ownership representation of the intent to utilize the access easement at the north end of their property as well as the intention to connect to (and reroute) the sidewalk connection on the south side of their property.

Hubbell Development Services has been in communication with ownership for the connection to the north access and south sidewalk.

38. A draft of the Conditional Use Permit will be provided upon review of the revised documents.

Acknowledged.

We appreciate the City of La Vista's efforts in preparing this review. We would like to continue working the city to address any unresolved or outstanding items. Please contact us with any questions or concerns.

Respectfully submitted,



Trevor Veskrna, P.E.
THOMPSON, DREESSEN & DORNER, INC.

TV/alj



May 26, 2023

TD2
Trevor Veskrna
10836 Old Mill Road
Omaha, NE 68154

RE: Mayfair Apartments – PUD, CUP & Replat Applications – 2nd Review Letter
Lots 1-3 Mayfair 2nd Addition Replat Seven & Lot 2 Mayfair 2nd Addition Replat Three

Mr. Veskrna,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Subdivision Regulations and Zoning Ordinance, the City has the following comments:

Replat Application

1. General Comment – A draft subdivision agreement was received by the City on May 24, 2023. We will commence our review of the draft agreement and provide comments once drafted.

Planned Unit Development & Conditional Use Permit Applications

2. Zoning Ordinance Sections 5.15.04.04, 6.05.04, 6.05.05, and 6.05.10 – The submitted Traffic Impact Study (TIS) is currently under review by the City's third-party reviewer. A response to the study is expected sometime next week. The City Engineer does not expect substantive changes to the TIS or the development based on the comments of the third-party reviewer.

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
402.331.4343 P
402.331.4375 F

Community Development
8116 Park View Blvd.
402.593.6400 P
402.593.6445 F

Library
9110 Giles Rd.
402.537.3900 P
402.537.3902 F

Police
7701 S. 96th St.
402.331.1582 P
402.331.7210 F

Public Works
9900 Portal Rd.
402.331.8927 P
402.331.1051 F

Recreation
8116 Park View Blvd.
402.331.3455 P
402.331.0299 F

However, if any changes are required, these changes need to be provided and reviewed prior to consideration of the items under review in this letter by the City Council.

3. Zoning Ordinance Section 5.15.04.07 and 5.15.04.22 – A photometric plan was submitted and reviewed to confirm that light spillover/light pollution from the site lighting for this development will not be present on adjoining residential properties. Staff approves of the proposed photometric plan.
4. Zoning Ordinance Section 5.15.04.08 – Please provide parking stall counts inclusive of ADA considerations.
5. General comment – Staff plans to include verbiage within the resolution that approves of the proposed Final Plat to remove the existing Sanitary Sewer Easement on the south side as part of the approval process.
6. Zoning Ordinance Section 5.15.04.07 and 5.15.04.16 – To complete the sidewalk network in the development to provide adequate pedestrian connectivity, please update the plan to include the two sidewalk connections noted in red on the plan in Exhibit A, attached to this letter.

General Development Comments

7. Elevations of the sanitary sewer and other pertinent utilities will need to be provided prior to the issuance of a building permit.
8. The building design for each of the proposed buildings must be reviewed as part of the formal design review application process that is required for developments within the Gateway Corridor Overlay District prior to building permit approval. The design review process will be conducted outside of the PUD and CUP approval processes.

Further refinement of the design of the garages and the site landscaping will be of specific consideration during this process.

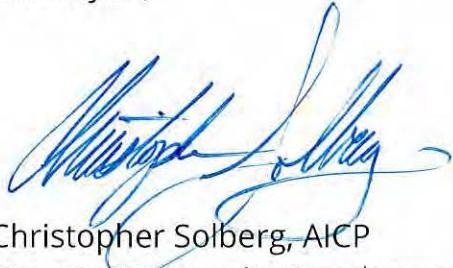
9. A draft of the Conditional Use Permit has been attached for your review.
10. A draft Planned Unit Development ordinance will be provided in the coming weeks that addresses the setbacks for the development and the allowances

provided within the PUD area in relation to the Gateway Corridor District Design Guidelines.

Please resubmit 2 paper copies of the Preliminary and Final Plats, PUD and CUP site plans, and other supporting documentation requested in this letter (including electronic copies) to the City for further review. Please also provide a response letter that answers or acknowledges each of the comments contained in this letter by June 5, 2023.

We have added these applications to the agenda for the June 15th Planning Commission meeting. Please have someone in attendance at the meeting to present the project and answer any questions as necessary. If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



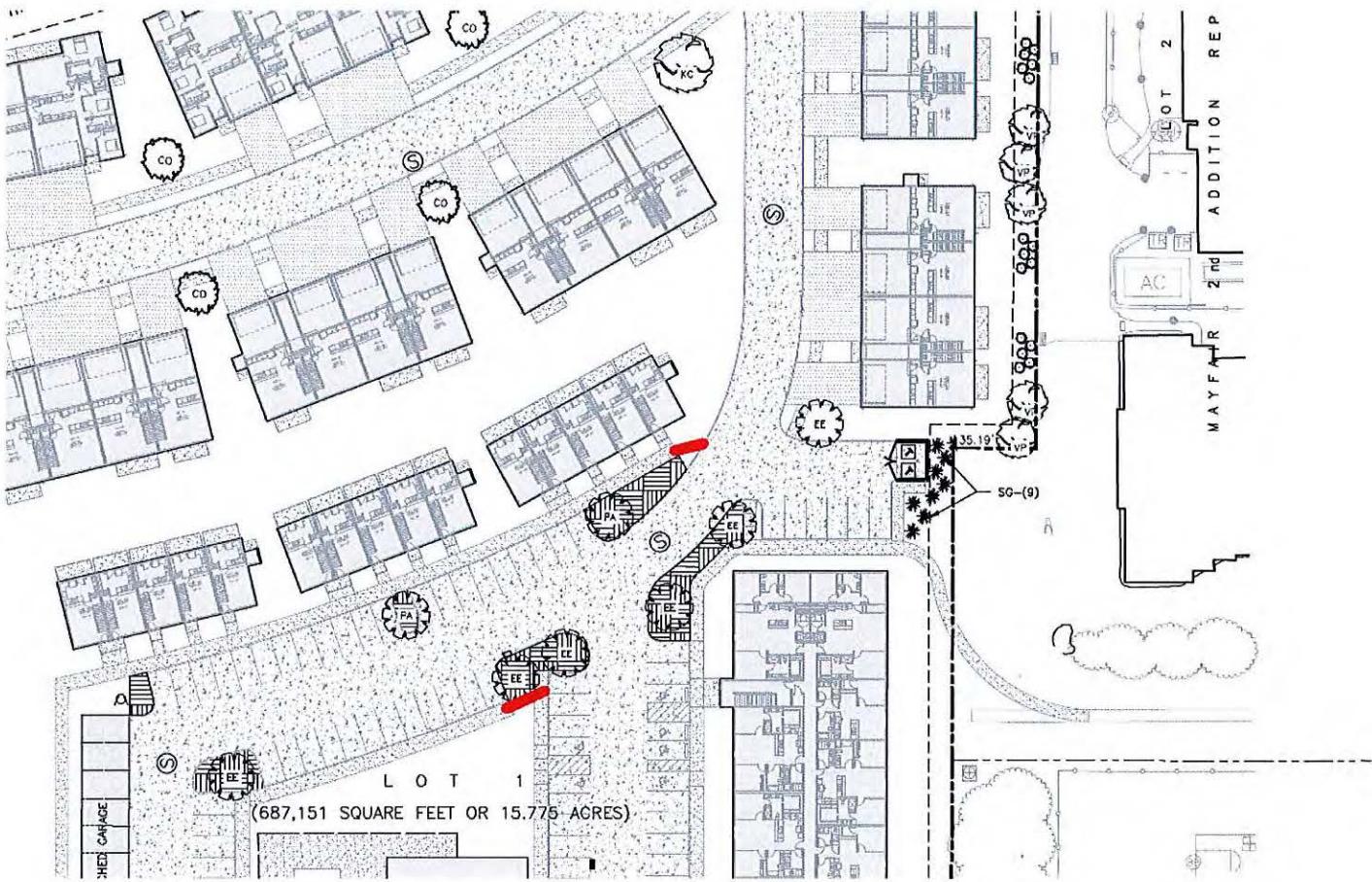
Christopher Solberg, AICP
Deputy Community Development Director
City of La Vista
csolberg@cityoflavista.org
(402) 593-6400

cc:

Josh Vickery, Hubbell Development Services
Doug Kellner, TD2
Bruce Fountain, Community Development Director – City of La Vista
Cale Brodersen, Associate City Planner – City of La Vista
Pat Dowse, City Engineer – City of La Vista

Enclosure

Exhibit A – Sidewalk Additions



June 2, 2023

City of La Vista
Chris Solberg, Deputy Community Development Director
8816 Park View Blvd.
La Vista, NE 68128

RE: Mayfair Apartments – PUD, CUP, and Replat Applications – 2nd Review Letter
Lots 1 – 3, Mayfair 2nd Addition Replat Seven & Lot 2, Mayfair 2nd Addition Replat Three
TD2 File No. 2253-109

Mr. Solberg,

Below are responses to the comments on the Mayfair Apartments – PUD, CUP, and Replat 2nd Review Letter dated May 26, 2023. The city comments are listed below followed by our responses in bold.

1. General Comment - A draft subdivision agreement was received by the City on May 24, 2023. We will commence our review of the draft agreement and provide comments once drafted.
Acknowledged.
2. Zoning Ordinance Sections 5.15.04.04, 6.05.04, 6.05.05, and 6.05.10 - The submitted Traffic Impact Study (TIS) is currently under review by the City's third-party reviewer. A response to the study is expected sometime next week. The City Engineer does not expect substantive changes to the TIS or the development based on the comments of the third-party reviewer. However, if any changes are required, these changes need to be provided and reviewed prior to consideration of the items under review in this letter by the City Council.
Acknowledged.
3. Zoning Ordinance Section 5.1 5.04.07 and 5.15.04.22 - A photometric plan was submitted and reviewed to confirm that light spillover/light pollution from the site lighting for this development will not be present on adjoining residential properties. Staff approves of the proposed photometric plan.
Acknowledged.
4. Zoning Ordinance Section 5.1 5.04.08 - Please provide parking stall counts inclusive of ADA considerations.
ADA parking parameters and requirements have been added to the Parking Statistics table on the PUD and CUP Site Plan.
5. General comment - Staff plans to include verbiage within the resolution that approves of the proposed Final Plat to remove the existing Sanitary Sewer Easement on the south side as part of the approval process.
Acknowledged.

City of La Vista
Mayfair Apartments –2nd Review Letter
June 2, 2023
Page Two

6. Zoning Ordinance Section 5.15.04.07 and 5.1 5.04.1 6 - To complete the sidewalk network in the development to provide adequate pedestrian connectivity, please update the plan to include the two sidewalk connections noted in red on the plan in Exhibit A, attached to this letter.

Sidewalks have been added per Exhibit A.

7. Elevations of the sanitary sewer and other pertinent utilities will need to be provided prior to the issuance of a building permit.

Acknowledged.

8. The building design for each of the proposed buildings must be reviewed as part of the formal design review application process that is required for developments within the Gateway Corridor Overlay District prior to building permit approval. The design review process will be conducted outside of the PUD and CUP approval processes. Further refinement of the design of the garages and the site landscaping will be of specific consideration during this process.

Acknowledged.

9. A draft of the Conditional Use Permit has been attached for your review.

Received.

10. A draft Planned Unit Development ordinance will be provided in the coming weeks that addresses the setbacks for the development and the allowances provided within the PUD area in relation to the Gateway Corridor District Design Guidelines.

Acknowledged.

We appreciate the City of La Vista's efforts in preparing this review. We would like to continue working the city to address any unresolved or outstanding items. Please contact us with any questions or concerns.

Respectfully submitted,



Trevor Veskrna, P.E.
THOMPSON, DREESSEN & DORNER, INC.

TDV/anr

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for the Sagebrook mixed residential development (the "Sagebrook Mixed Residential PUD") is hereby adopted for the following described real estate, to wit:

LEGAL DESCRIPTION

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Sagebrook Mixed Residential PUD is hereby adopted to provide for the development of a multiple-family housing development that in addition to apartments, will deliver a variety of currently missing or lacking housing product types to the community. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build-out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

Section 3. Definitions

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Apartments" shall mean a three-story, sixty-unit multi-family unit building type. The Apartments unit type shall utilize the detached enclosed garages provided within the development to achieve the enclosed garage parking requirement for multi-family developments.
- B. "Cobalt Townhome" shall mean a two-story townhome style unit type specific to this development that includes five units in a townhome-style structure with no enclosed parking spaces. The Cobalt Townhome unit type shall utilize the detached enclosed garages provided within the development to achieve the enclosed garage parking requirement for multi-family developments.
- C. "Della Townhome" shall mean a two-story townhome style unit type specific to this development that includes four units in a townhome-style structure with enclosed parking spaces on the ground floor of the building.

- D. "Developer" shall mean HRC Sagebrook Multifamily, LLC (d.b.a. Hubbell Development Services), their successors and assigns.
- E. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district. Developments within this overlay zoning district shall be subject to the Commercial Building Design Guide and Criteria dated March 2, 2021.
- F. "Lazio Townhome" shall mean a single-story townhome-style unit type specific to this development that includes three units in a townhome style of structure with attached, enclosed parking spaces.
- G. "Mixed Residential" shall mean a development consisting of a mix of apartments, rowhouses, townhomes, and single-story homes. Typical building heights are 1-3 stories, with a walkable environment that provides connectivity to adjoining retail and services.
- H. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well-landscaped pedestrian places, pools, pool decks and roof gardens.
- I. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.
- J. "Sagewood Mixed Residential PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guideline allowances, landscaping, etc.
- K. "Subdivision" shall mean the 15.77 acres of land described in Exhibit "A" hereto, to be known as "Mayfair 2nd Addition Replat Eight".

Section 4. Parcel Identification Map

Attached hereto and made a part of Sagewood Mixed Residential PUD for parcel delineation is the Parcel Identification Map for the Sagewood Mixed Residential PUD marked as Exhibit "B".

Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

Section 6. Building Design Guidelines and Criteria

All applications shall adhere to the requirements of the Commercial Building Design Guide and Criteria dated March 2, 2021, unless expressly allowed otherwise through this PUD ordinance.

Prior to the issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria.

Allowances specific to this development provide for variation from the Commercial Building Design Guide and Criteria in relation to each specific building type:

- A. Lazio Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- B. Cobalt Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- C. Della Townhome – The primary building material for the front elevation of the building shall be brick (clay or stone) with its color selected for harmony of the building with adjoining buildings within its subdivision. A three-foot base course of brick (clay or stone) shall be required along the side elevations. Other secondary building materials shall have good architectural character and shall be selected for harmony of the building with adjoining buildings.

Architectural features such as decorative moldings, windows, shutters, dormers, chimneys, balconies and railings, and landscaped elements such as lattices are strongly encouraged to provide additional detail to a façade. However, these elements shall have good proportions and relationships to one another.

Monotony of design shall be avoided. Variations of detail, form, and siting shall be used to provide visual interest.

- D. Apartments – The design of the apartment buildings within the PUD area shall meet La Vista’s Commercial Building Design Guide and Criteria and the Zoning Ordinance.
- E. Clubhouse – The design of the complex clubhouse within the PUD area shall meet La Vista’s Commercial Building Design Guide and Criteria and the Zoning Ordinance.
- F. Garages – A three-foot base course of brick (clay or stone) shall be required along the front (where not impeded by garage doors), back and side elevations. Garages shall also utilize planar differentiation to break up the long façade of the back elevation.

General Additional Design Guidelines:

- A. Exterior building-mounted lighting shall limit impact upon adjoining properties as depicted within the PUD Photometric Plan included within Exhibit “B”. Exposed bulbs shall not be visible from adjoining residential areas.
Pedestrian-scale lighting should be incorporated in outdoor areas such as pedestrian walkways, plazas, play lots and parking areas.
- B. Pedestrian, bicycle and vehicle linkages should be provided to adjacent developments and uses.
- C. Buildings should be placed to create a street presence and enhance neighborhood character.
 - a. When adjacent to single-family residences, side and rear setbacks shall allow for a sufficient planter area to buffer impacts and screen undesirable views.
- D. Garage doors throughout the development shall be enhanced through the use of raised panels, windows, and/or decorative hardware.

Unless specifically addressed above, the design criteria of the development must adhere to the guidelines set forth within La Vista’s Commercial Building Design Guide and Criteria and the Zoning Ordinance.

Section 7. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Sagewood Mixed Residential PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Sagewood Mixed Residential PUD.
- ii. Unless otherwise specified herein, the development of the Sagewood Mixed Residential PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

B. Land Use Design Criteria

Unless provided otherwise in this Sagewood Mixed Residential PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate underlying zoning district shall apply to any development within Lot 1 Mayfair 2nd Addition Replat 8. The negative elements of such uses as dumpsters, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The general intent of the design and layout of Lot 1, Mayfair 2nd Addition Replat 8 is to develop the site for a mix of residential uses.
 - a. Building Height. Permitted building heights shall be the same as those listed in the R-3 High Density Residential District regulations unless otherwise approved by the City Council as part of a PUD Plan.
 - b. Building Setback. Building setbacks shall be the same as those listed in the R-3 High Density Residential District regulations unless otherwise approved by the City Council as part of a PUD Site Plan. Specific to the PUD Site Plan, building setbacks along Hillcrest Plaza and S 97th Plaza will be 15-feet from the back-of-curb of the roadway.
 - c. Landscaping. Landscape screening along the north and west edges of the property needs to meet or exceed that of Exhibit "B" of the subdivision agreement for Mayfair 2nd Addition Replat Seven. Landscaping throughout the PUD shall be consistent with the PUD Site Plan map set, Exhibit "B" and La Vista's Commercial Building Design Guide and Criteria. A complete and detailed landscape plan shall be reviewed as part of the City's Design Review Approval process prior to building permit approval.
 - d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Access and Off-Street Parking

- i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and

subdivision agreement. Any deviation from this shall require the approval of the City.

- ii. **Off-Street Parking.** Parking on lots in Lot 1 Mayfair 2nd Addition Replat 8 should be provided based on the aggregate ratio of one (1) per bedroom and 0.5 enclosed garages per unit. No parking related to the use will be allowed on South 99th Street, Hillcrest Plaza, S 97th Plaza, or any other off-site private parking area without specific approval.

D. **Signage**

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Sagewood PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Sagewood PUD shall control.

See the PUD Site Plan map set, Exhibit "B", for the proposed site signage approximate locations.

- i. **Subdivision Sign.** The development shall have one free-standing Subdivision Sign in the location depicted on the PUD Site Plan. However, the sign needs to adhere to the Sight Triangle requirements and other regulations for Subdivision Signs as set forth within the Zoning Ordinance.
- ii. **Incidental On-Site Directional Signs.** Incidental On-Site Directional Signs, such as signs indicating exits or the clubhouse and the pool, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign.

Section 8. **Severability Clause.** If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 9. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 5th DAY OF JULY 2023.

CITY OF LA VISTA

ATTEST:

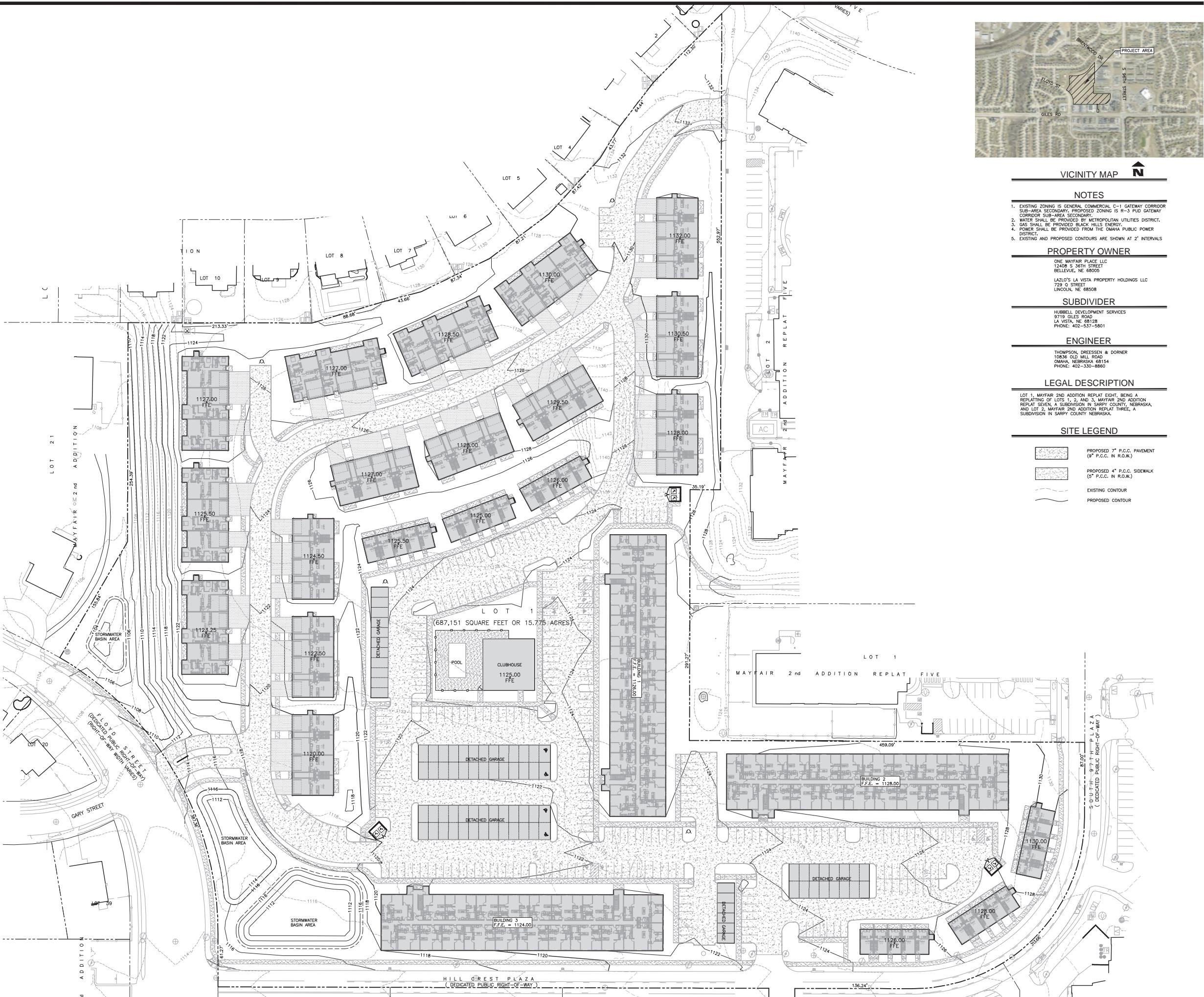
Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk

EXHIBIT A

Lot 1, Mayfair 2nd Addition Replat Eight, located in the SE ¼, Section 16, Township 14 North, Range 12 East of the 6th P.M. Sarpy County, Nebraska.

EXHIBIT B



Mayfair 2nd Addition

Replat Eight

Subdivision
Agreement Exhibits



Client Name
**Hubbell
Development
Services**



Positive Rates

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Sheet Title



thompson, dreessen & dorner, inc.
10836 Old Mill Rd
Omaha, NE 68154
p.402.330.8860 www.td2co.com

Project Name

Mayfair 2nd Addition

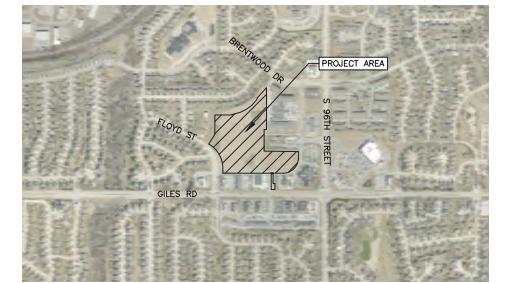
Replat Eight

Subdivision Agreement Exhibits



This detailed architectural site plan for Hill Crest Plaza illustrates the layout of the development, including building footprints, roads, and utility infrastructure. The plan is divided into several lots, with specific dimensions and property lines marked. Key features include:

- Buildings:** The plan shows multiple building footprints, including a large complex in the center labeled "LOT 1 (687,151 SQUARE FEET OR 15.775 ACRES)" which includes a "POOL" and a "CLUBHOUSE". Other buildings are labeled "BUILDING 2" (F.F.E. = 1128.00) and "BUILDING 3" (F.F.E. = 1124.00).
- Roads and Streets:** The plan includes "LLOYD STREET" and "GARY STREET" with associated right-of-way widths. Other internal roads are labeled "MAYFAIR 2nd ADDITION" and "REPLAT FIVE".
- Utilities:** Utility lines are color-coded and labeled with pipe sizes: 6" PVC, 8" PVC, 12" HDPE, 15" HDPE, 18" HDPE, and 24" HDPE. These lines connect to various buildings and structures.
- Stormwater Management:** Several "STORMWATER BASIN AREA" are indicated with dashed lines and specific dimensions like 213.33' and 254.99'.
- Lot Labels:** The plan includes labels for "LOT 1", "LOT 2", "LOT 3", "LOT 4", "LOT 5", "LOT 6", "LOT 7", "LOT 8", "LOT 9", and "LOT 10".
- Other Labels:** "HILL CREST PLAZA (DEDICATED PUBLIC RIGHT-OF-WAY)" is labeled at the bottom. A note "VARYING" is present in the top right corner.



VICINITY MAP 

NOTES

1. EXISTING ZONING IS GENERAL COMMERCIAL C-1 - CATERWAY SUB AREA SECONDARY. PROPOSED ZONING IS C-3 - PUD CATERWAY CORRIDOR SUB AREA SECONDARY.
2. WATER WILL BE PROVIDED BY THE METROPOLITAN UTILITIES DISTRICT. GAS SHALL BE PROVIDED BY BLACK HILLS ENERGY.
4. POWER SHALL BE PROVIDED FROM THE OMAHA PUBLIC POWER DISTRICT.
5. APARTMENT BUILDINGS TO BE SERVED BY FIRST SERVICE AND DOMESTIC SERVICE BRANCHING OFF OF MAIN LINE THROUGH SITE. SITE WILL BE SERVED BY INDICATOR INDICATOR VALVE LOCATED MIN. 40 LF. FROM BUILDING EXTERIOR.
6. COBALT, LAZIO, DELLA, AND THE CLUBHOUSE WILL BE SERVED BY DOMESTIC SERVICE BRANCHING OFF OF MAIN LINE THROUGH SITE.
7. APARTMENT BUILDINGS WILL TIE IN TO THE 6" SEWER LINE ON SITE WITH AN 8" SERVICE LINE. COBALT, LAZIO, DELLA, AND CLUBHOUSE WILL TIE IN WITH A 6" SERVICE LINE.

PROPERTY OWNER

ONE MAYFAIR PLACE LLC
12408 S 36TH STREET
BELLEVUE, NE 68005

LAZLO'S LA VISTA PROPERTY HOLDINGS LLC
729 Q STREET
LINCOLN, NE 68508

SUBDIVIDER

HUBBELL DEVELOPMENT SERVICES
9719 GILES ROAD
LA VISTA, NE 68128
PHONE: 402-537-5801

10836 OLD MILL ROAD
OMAHA, NEBRASKA 68154
PHONE: 402-330-8860

LEGAL DESCRIPTION

LEGEND

— SS —	EXISTING SANITARY SEWER
— SS —	PROPOSED SANITARY SEWER
— S —	EXISTING STORM SEWER
— S —	PROPOSED STORM SEWER
— STM —	EXISTING STORM SEWER
— W — W —	EXISTING WATER MAIN
— W — W —	PROPOSED 8" D.P. WATER MAIN
— O —	PROPOSED FIRE HYDRANT



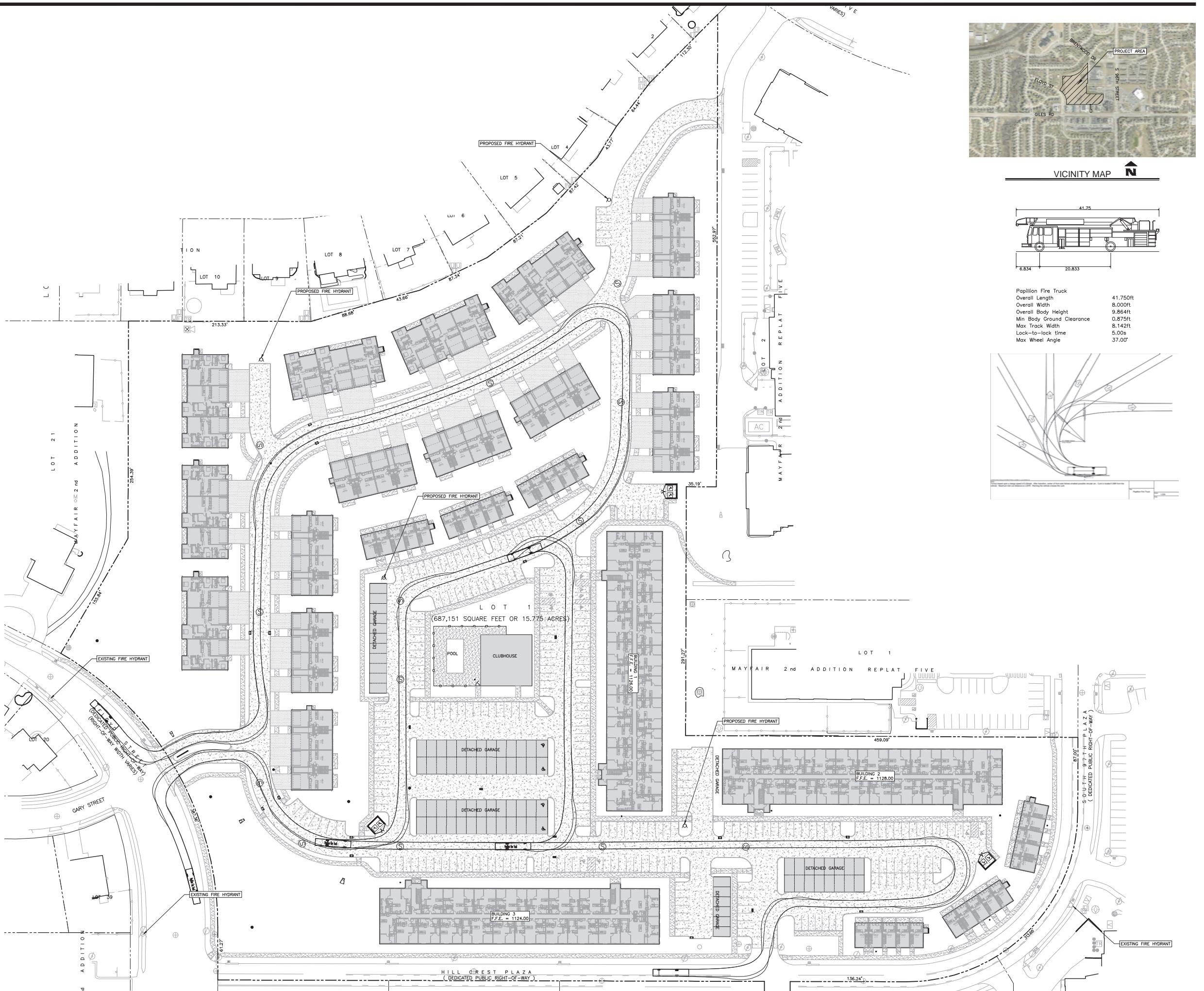
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ompson, dreessen & dorner, inc.
9836 Old Mill Rd
maha, NE 68154
402.330.8860 www.td2co.com

Project Name

Mayfair 2nd
Addition

Replat Eight

Subdivision Agreement Exhibits



ent Name
**Hubbell
Development
Services**



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Job No.: 2253-109 Date: 04-20-23

Meet Title **PUD Fire Access Plan**

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LA VISTA RESIDENTIAL

Traffic Impact Analysis

Prepared for:

Mr. Josh Vickery
Director of Development, Omaha
Hubbell Development Services
9719 Giles Road
La Vista, NE 68128

Prepared by:

Felsburg Holt & Ullevig
11422 Miracle Hills Drive, Suite 115
Omaha, NE 68154
402.445.4405

Project Manager: Adam Denney, PE, PTOE

Project Engineer: Tom Loseke, EI



FHU Reference No. 123100-06

June 2023

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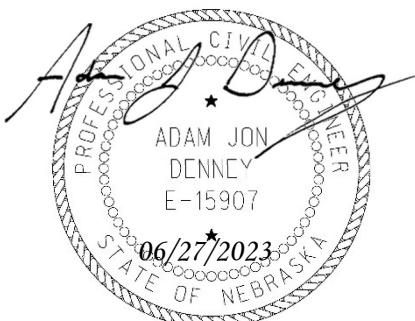
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- Appendix D. NCHRP Auxiliary Turn Lane Warrant Worksheets
- Appendix E. LOS Capacity Analysis Worksheets

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I. INTRODUCTION

I.A Summary

This is a traffic impact analysis (TIA) for the proposed development located on the northwest corner of the intersection of S. 96th Street with Giles Road in La Vista, NE. This analysis utilizes land-use information based on the site plan for the proposed development provided to FHU dated 01-04-23, information from conversations with the City of La Vista. The location of the development site in relation to the surrounding roadway network is shown in **Figure 1**.

The proposed development site will contain multi-family housing uses. Access to the sites will be provided at three locations; access will be provided onto Floyd Street via Gary Street, onto Brentwood Drive via North Site Access, and onto Hillcrest Plaza via S. 98th Plaza. These intersections will remain full access. It is anticipated that the development of the site would be completed in 2024. The site plan for the proposed development is shown in **Figure 2**.

I.B Scope of Services

The purpose of this TIA is to determine the anticipated traffic operations at the intersections associated with the proposed development and the impact to the area roadway network. Also included in this report is an auxiliary turn lane analysis, queueing analysis of the study intersections, and MUTCD control device warrant evaluation for study intersections. Traffic operations with and without a right-in right-out (RIRO) access at the intersection of S. 98th Plaza with Giles Road were evaluated as part of the study. The primary focus for traffic operations is at the locations listed below:

Signalized Intersections

- ▶ S. 96th Street with Giles Road

Unsignalized Intersections

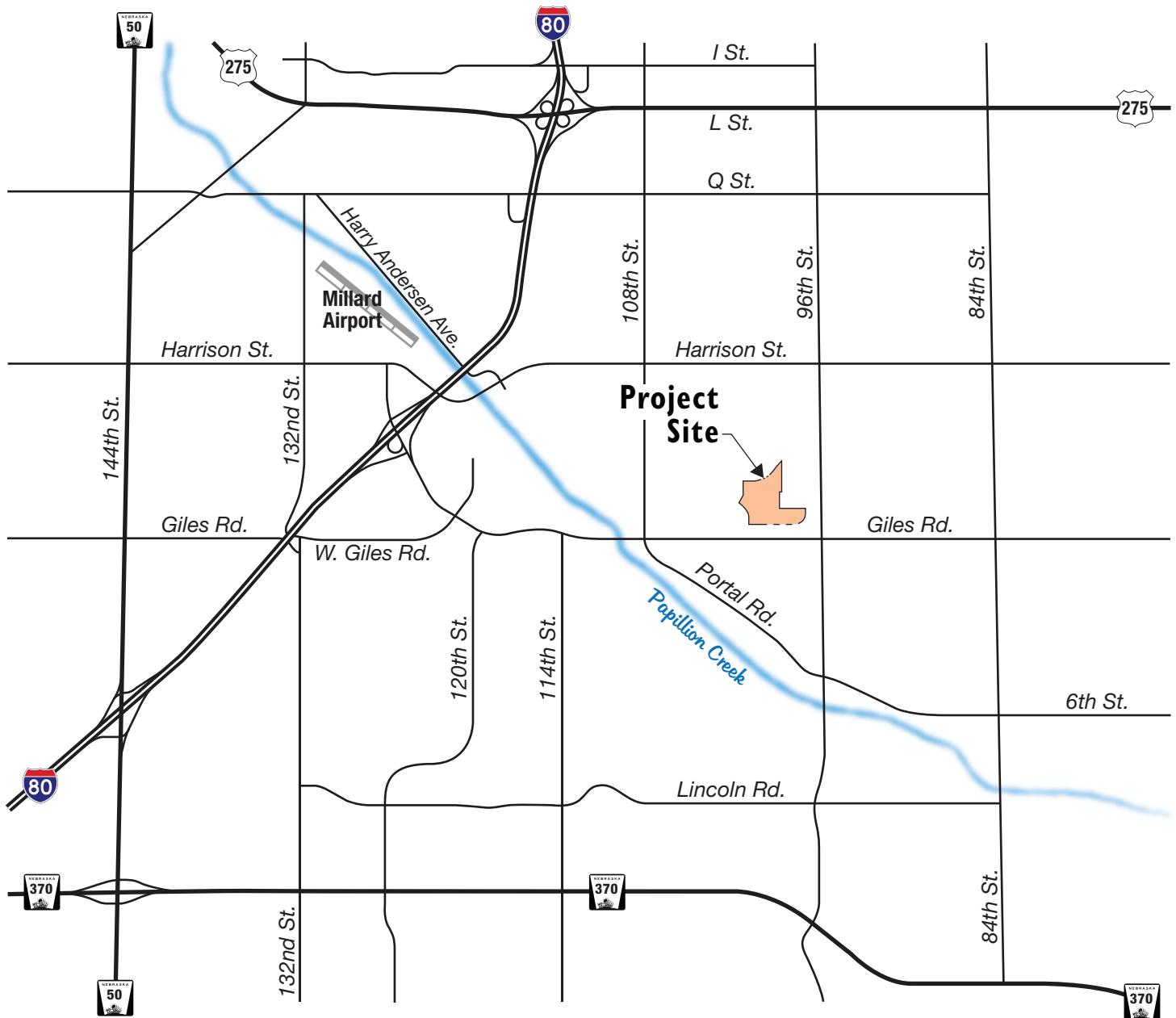
- ▶ S. 98th Plaza with Giles Road
- ▶ S. 99th Street with Giles Road

Cursory Review Intersections

- ▶ S. 99th Street / Floyd Street with Hillcrest Plaza
- ▶ S. 98th Street with Hillcrest Plaza
- ▶ Floyd Street with Gary Street
- ▶ North Site Access with Brentwood Drive

The study evaluated the AM and PM peak hours for the following scenarios:

- ▶ Existing (2022)
- ▶ Buildout (2024)
 - With and Without RIRO Access onto Giles Road at S. 98th Plaza.
- ▶ Future (2044)
 - With and Without RIRO Access onto Giles Road at S. 98th Plaza.



NORTH

FIGURE I

Vicinity Map

 FELSBURG
HOLT &
ULLEVIG

NOTE: Drawing Not to Scale

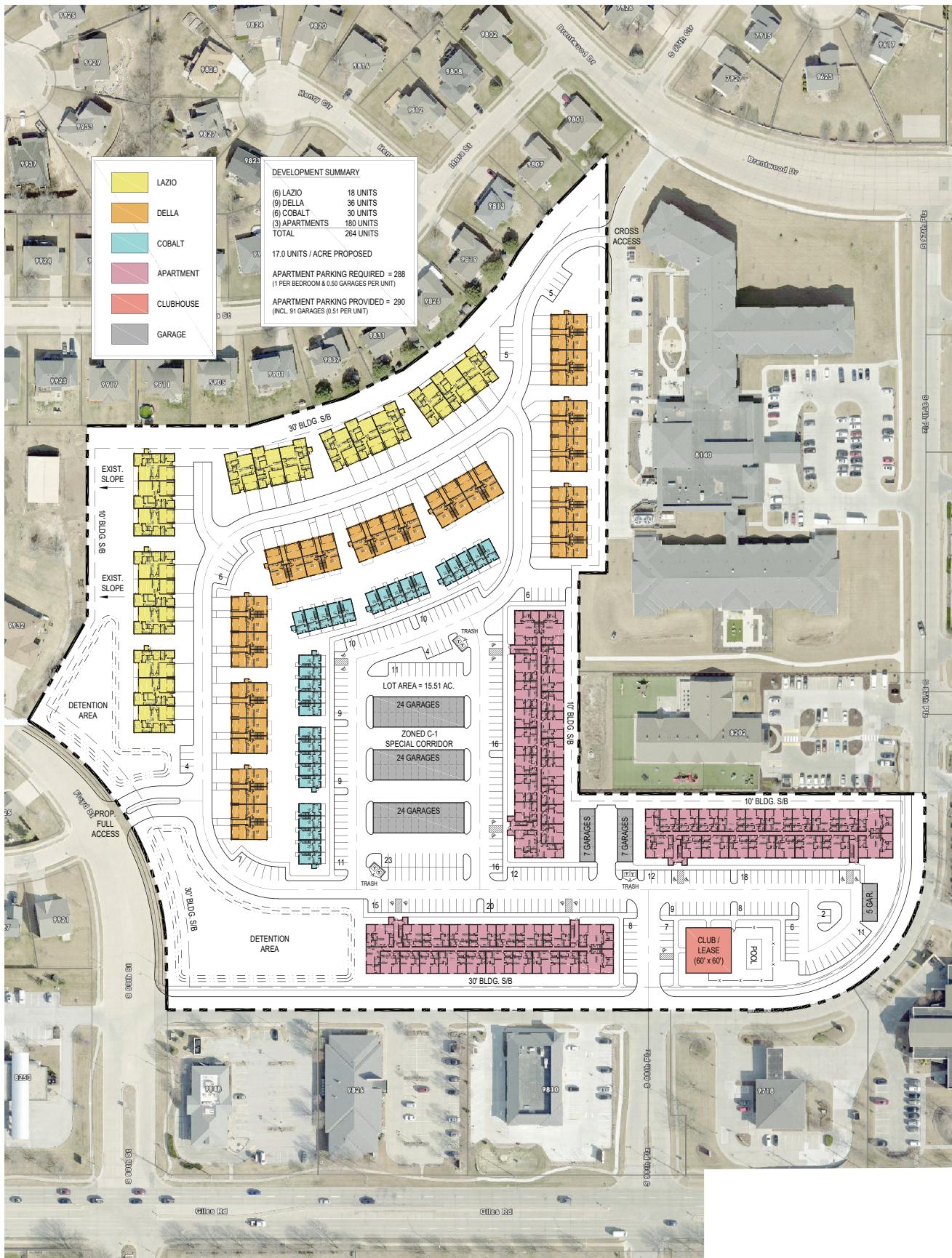


FIGURE 2 Site Plan

II. EXISTING (2022) CONDITIONS

II.A Surrounding Land Uses

The proposed development site is located northwest corner of the intersection of S. 96th Street with Giles Road. The development is bordered by S. 96th Street to the east and Giles Road to the south. Single-family residential are present to the north and west of the development, respectively. Commercial uses are present to the east and south of the development.

II.B Roadway Network

The existing roadway system in the study area includes the following primary facilities:

- ▶ **Giles Road** runs east-west in the project vicinity and is classified as a Principal Arterial with a posted speed limit of 45 miles per hour (mph) to the west of S. 96th Street and 35 mph to the east of S. 96th Street. Giles Road primarily serves a mix of commercial and residential areas throughout the corridor. Adjacent to the project site, Giles Road has an urban four-lane divided cross section with curb and gutter.
- ▶ **S. 96th Street** runs north-south and is classified as a Minor Arterial with a posted speed limit of 45 mph to the north and south of Giles Road. S. 96th Street has a four-lane divided cross section and serves commercial, and residential areas.
- ▶ **S. 98th Plaza** runs north-south and is classified as a Local Road with a posted speed limit of 25 mph. It serves commercial areas.
- ▶ **S. 99th Street** runs north-south and is classified as a Local Road with a posted speed limit of 25 mph. It serves commercial and residential areas.

II.C Traffic Volumes

Three (3) turning movement counts (TMCs) were conducted by FHU at the intersections of S. 96th Street with Giles Road, S. 98th Plaza with Giles Road, and S. 99th Street with Giles Road in 2022. This information was used as the base condition for our analysis. The TMCs conducted in 2022 provided background information and helped refine the traffic forecasts.

The AM peak hour for the study area network was determined to be 7:15 AM to 8:15 AM, and the PM peak hour was 4:30 PM to 5:30 PM. Trucks were counted separately from passenger vehicles to develop truck percentages for the study area. Volumes can be seen in **Figure 3**, and a detailed report of the traffic count data is provided in **Appendix A**.

II.D Traffic Operations

Traffic operations were analyzed for the study intersections using procedures documented in the *Highway Capacity Manual (HCM) 6th Edition, Transportation Research Board, 2016*. From the analyses, a key measure or “level of service” rating of the traffic operational condition was obtained. In general, level of service (LOS) is a qualitative assessment of traffic operational conditions within a traffic stream in terms of the average stopped delay per vehicle at a controlled intersection.

Levels of service are described by a letter designation of either A, B, C, D, E or F, with LOS A representing essentially uninterrupted flow, and LOS F representing a breakdown of traffic flow with noticeable congestion and delay. Unsignalized, or stop sign controlled, intersection capacity analyses produce LOS results for each movement which must yield to conflicting traffic at the intersection. **Table I** summarizes LOS criteria for signalized and unsignalized (stop sign controlled) intersections.

Table I. Level of Service (LOS) Criteria

Level of Service	Average Control Delay per Vehicle (sec/veh)	
	Signalized Intersections	Stop Controlled Intersections
A	≤ 10	≤ 10
B	> 10 to 20	> 10 to 15
C	> 20 to 35	> 15 to 25
D	> 35 to 55	> 25 to 35
E	> 55 to 80	> 35 to 50
F	> 80	> 50

Source: HCM 6th Edition, Exhibit 18-4 & 19-8

Synchro traffic analysis software was utilized to evaluate traffic operations at the study intersections. Under Existing (2022) traffic conditions, the signalized intersection of S. 96th Street with Giles Road operates at LOS C during the AM and PM peak hours. At the unsignalized intersections in the study area, all movements currently operate at LOS C or better except for the following movements at the study intersections:

- ▶ S. 98th Plaza with Giles Road:
 - Northbound shared left/through/right movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
- ▶ S. 99th Street with Giles Road:
 - Northbound left-turn movement during the AM and PM peak hours.
 - Northbound shared through/right movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
 - Southbound shared through/right movement during the PM peak hour.

Figure 3 shows the traffic volumes, lane geometry, traffic control, and level of service results of the traffic operations analysis for Existing (2022) conditions. Capacity analysis worksheets are included in **Appendix E**.

II.E Pedestrian Facilities

A 4-foot sidewalk is provided on the north side of Giles Road and east and west side of S. 96th Street. Sidewalks are also provided on both sides of S. 99th Plaza and the east side of S. 98th Plaza north of Giles Road. A 6-foot sidewalk is provided on the south side of Giles Road between S. 98th Plaza and S. 96th Street.

LEGEND

XXX(XXX) = AM(PM) Peak Hour Traffic Volumes

X/X = AM/PM Peak Hour Signalized Intersection Level of Service

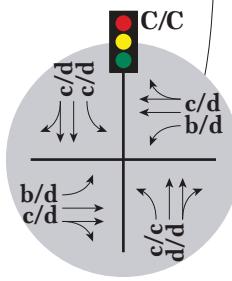
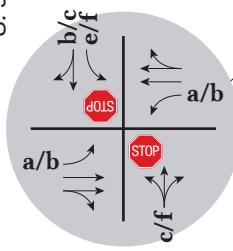
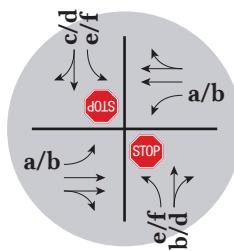
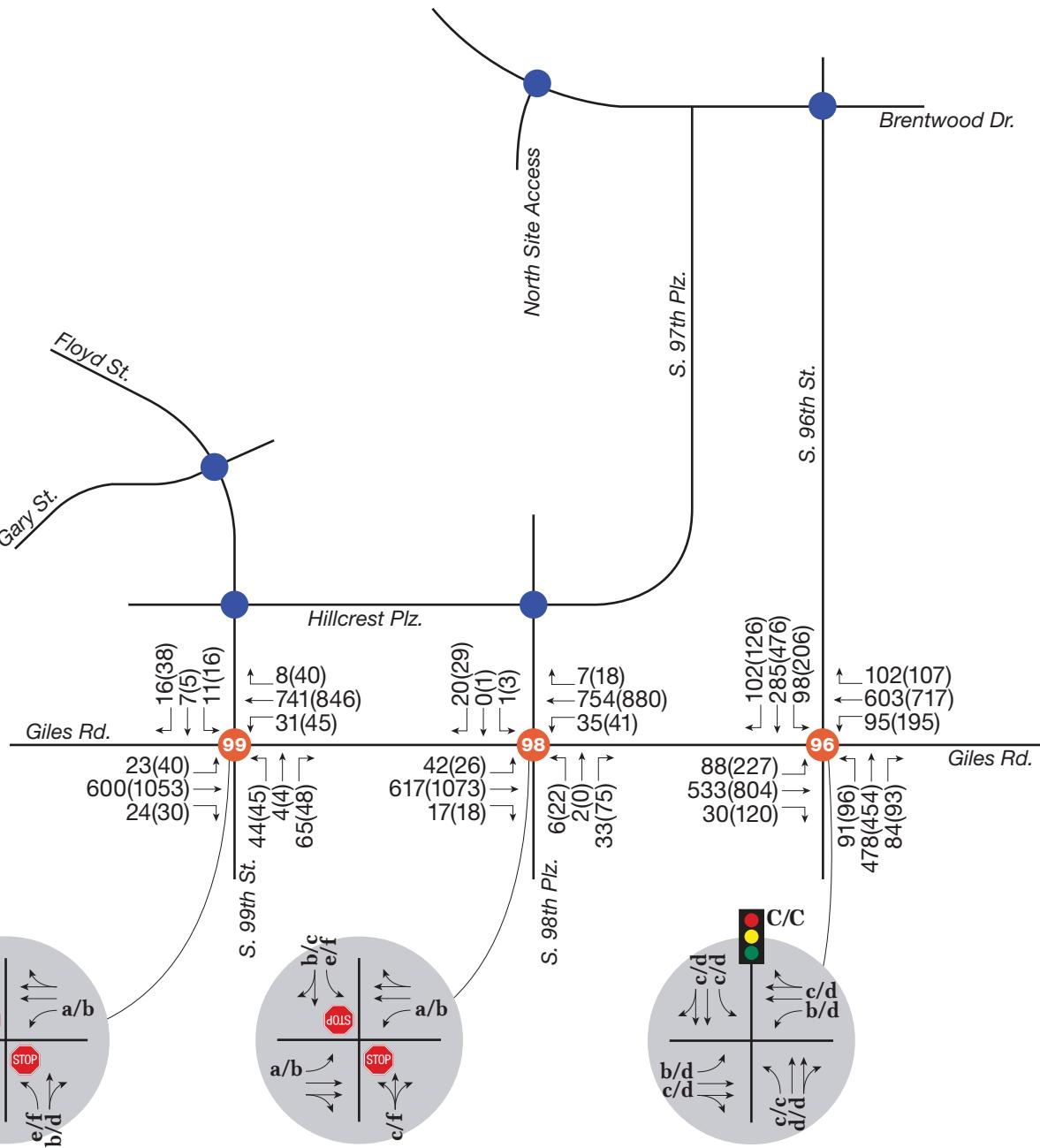
x/x = AM/PM Peak Hour Intersection Movement Level of Service

= Stop Sign

= Traffic Signal

= Study Intersections

= Cursory Intersections



III. TRAVEL DEMAND

III.A Site Trip Generation

Trip generation rates from the *Institute of Transportation Engineers' (ITE) Trip Generation Manual, Eleventh Edition, 2021*, were utilized to estimate the traffic generated by the site. It should be noted that a mix of average rates and equation rates were utilized from the ITE Trip Generation Manual based on the methodology outlined in *ITE Trip Generation Handbook, 3rd Edition, 2017* for selecting the proper rates. Land uses include single-family attached housing (Lazio), multi-family low-rise housing (Della), multi-family low-rise housing (Cobalt), and multi-family low-rise housing (Apartment). **Table 2** summarizes the estimated vehicle-trips that would be generated by the proposed development during the AM and PM peak hours.

Table 2. Site Trip Generation

ITE Code	Land Use Description	Size	Unit	Daily	AM Peak Hour			PM Peak Hour		
				TOTAL	IN	OUT	TOTAL	IN	OUT	TOTAL
215	Single-Family Attached Housing (Lazio)	18	DU	87	1	3	4	4	3	7
220	Multi-Family Low-Rise Housing (Della)	36	DU	306	8	26	34	23	13	36
220	Multi-Family Low-Rise Housing (Cobalt)	30	DU	268	8	24	32	21	12	33
220	Multi-Family Low-Rise Housing (Apartment)	180	DU	1,229	19	60	79	62	36	98
Total Vehicles				1,890	36	113	149	110	64	174

**Equations Utilized All Land Uses DU=Dwelling Units

As shown above, the site is anticipated to generate approximately 1,890 daily vehicle-trips to the roadway network, including 149 vehicle-trips during the AM peak and 174 vehicle-trips during the PM peak.

III.B Traffic Distribution

The estimated distribution of site generated trips within the roadway network was based on existing traffic patterns, the location of the site, and projected growth in the project area. The following distribution percentages were used to assign site generated vehicle-trips to the adjacent roadway network:

- ▶ **25%** oriented to/from the north via S. 96th Street
- ▶ **25%** oriented to/from the south via S. 96th Street
- ▶ **25%** oriented to/from the east via Giles Road
- ▶ **25%** oriented to/from the west via Giles Road

The distribution percentages were used to assign site generated vehicle-trips from **Table 2** to the adjacent roadway network for AM and PM peak hour traffic scenarios. The calculated traffic distribution percentages dictate vehicle movements both to and from the site. **Figure 4A** and **Figure 4B** depicts the trip generation and distribution and assumed for the development during the AM and PM peak hours under the scenarios evaluating a full access and RIRO access at S. 98th Plaza onto Giles Road, respectively.

III.C Background Growth

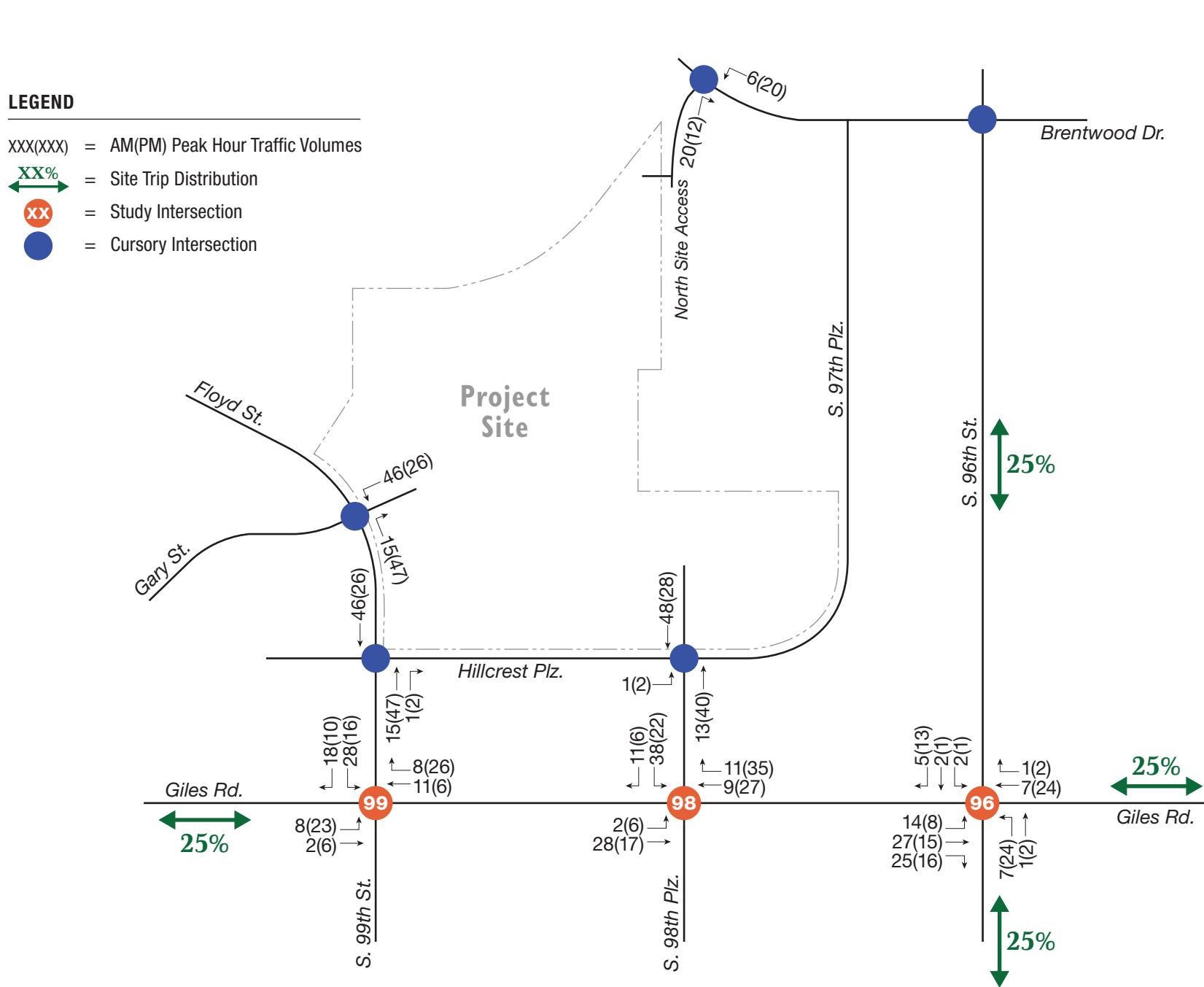
Estimated background peak hour turning movements for 2024 and 2044 were developed for the study area intersections based on guidelines and methodologies documented in NCHRP Report 255 & NCHRP Report 765. This procedure also included an evaluation of existing traffic counts, MAPA projections for 2050, projections from previously completed studies, and adjustments for local travel patterns. Growth rates for each leg of the intersections not included in the MAPA model were determined by analyzing the growth rates for the neighboring intersections, reviewing the build-out level of neighborhoods, and using engineering judgment. A straight-line comparison was used to project Buildout (2024) and Future (2044) background traffic volumes. A complete forecast model is provided in **Appendix B**.

III.D Other Area Studies and Projects

Giles Road is a rapidly developing corridor and as such there has several studies completed in the area. The Giles Road Corridor Study, September 2022, by FHU was reviewed as part of this study.

Recommendations for roadway improvements from this study that were assumed to be constructed by 2044 are shown in the Future (2044) analysis. These improvements include the following:

- ▶ Construct a southbound and eastbound right-turn lanes at the intersection of S. 96th Street with Giles Road.
- ▶ Construct eastbound and westbound dual left-turn lanes at the intersection of S. 96th Street with Giles Road.



The logo consists of a teal-colored house roof icon above the word "NORTH" in a bold, sans-serif font.

FIGURE 4A Full Access at S. 98th Plaza Site Generated Traffic and Trip Distribution

LEGEND

- XXX(XXX) = AM(PM) Peak Hour Traffic Volumes
- = Site Trip Distribution
- = Study Intersection
- = Cursory Intersection

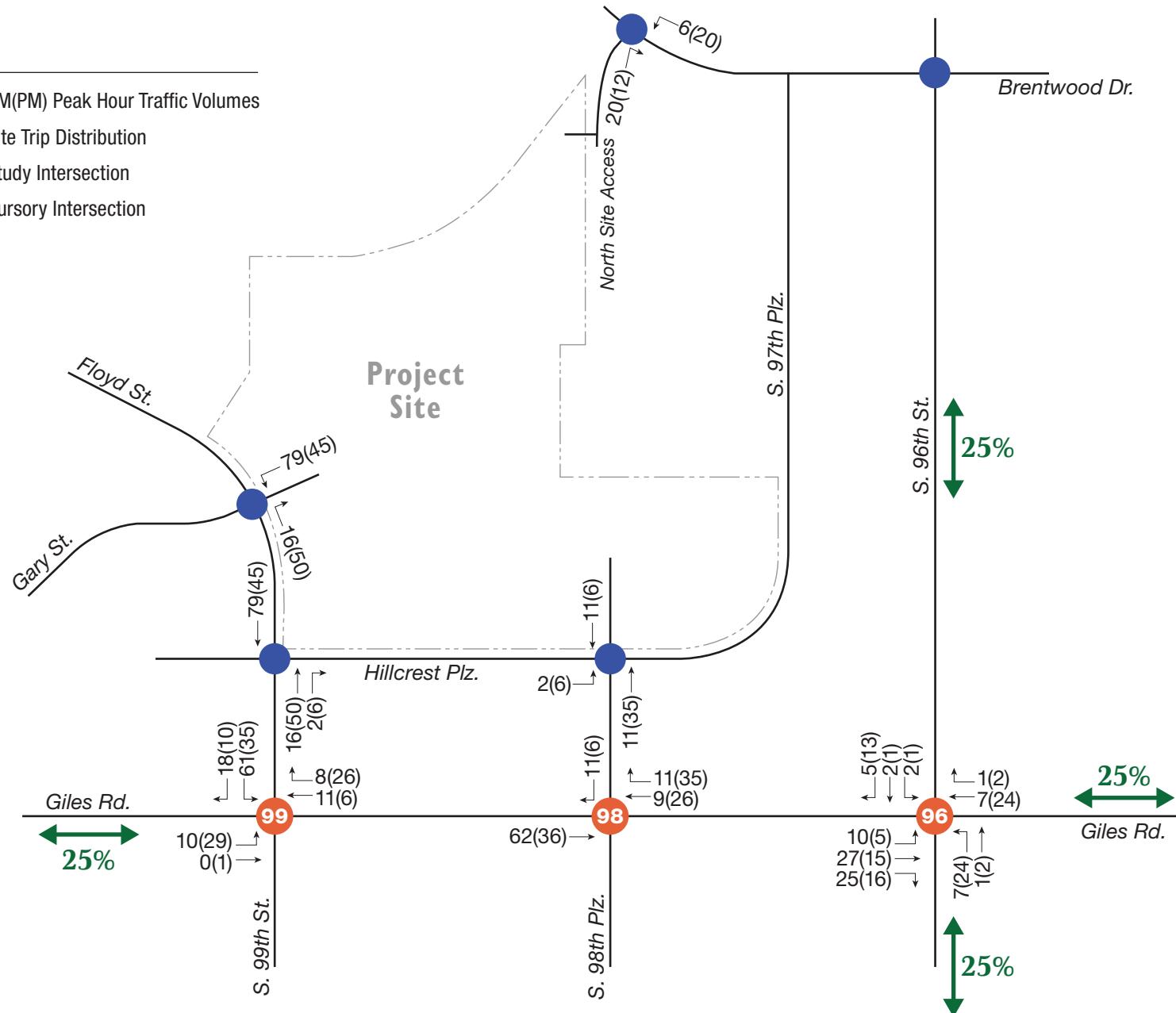


FIGURE 4B

**Right-In Right-Out (RIRO) at S. 98th Plaza
Site Generated Traffic and Trip Distribution**

IV. TRAFFIC CONDITIONS & OPERATIONAL ANALYSIS

IV.A Volume Development

Anticipated traffic volumes for the AM and PM peak hours under Buildout (2024) traffic conditions for the development are shown in **Figure 5A** and **Figure 5B** for the without and with a RIRO access at S. 98th Plaza, respectively. These volumes represent the Existing (2022) volumes shown in **Figure 3** added with the trip generated traffic shown in **Figure 4A** and **Figure 4B** for the respective analysis access scenario. Buildout (2024) traffic conditions for both access scenarios assumed full buildout of the proposed development. To develop Future (2044) traffic volumes, existing traffic volumes were grown by MAPA growth rates and added to the site trip generated traffic. **Figure 6A** and **Figure 6B** shows the Future (2044) traffic volumes for the without and with a RIRO access at S. 98th Plaza, respectively.

IV.B Signal Warrant Analysis

A review was performed to determine if Manual on Uniform Traffic Control Devices (MUTCD) for Streets and Highways, 2009 Edition traffic signal Warrant 1 (Eight-Hour Vehicular Volume) and/or Warrant 2 (Four-Hour Vehicular Volume) are satisfied for two-way stop-controlled intersections in the study area under Buildout (2024) and Future (2044) traffic conditions for the full access and RIRO access scenarios. **Table 3** summarizes the results of the analysis, and the graphical results of the MUTCD Warrant Analysis are included in **Appendix C**.

Right-turn reductions were analyzed at the intersection of S. 99th Street with Giles Road. According to NCHRP Report 457 right-turn reduction guidelines, a 100% reduction was recommended. Several other right-turn reductions were analyzed. It was determined that a signal would be warranted with a right-turn reduction of 45% or less under all analyzed traffic conditions. It was decided to use a reduction of 45%, and the 100% right-turn reduction recommended by the NCHRP Report 457 was deemed too aggressive.

Table 3. MUTCD Signal Warrants

Intersection	Existing Traffic Conditions	Buildout (2024)		Future (2044)	
		Full Access	RIRO Access	Full Access	RIRO Access
S. 98 th Plaza & Giles Road	Unsignalized	Not Warranted	Not Warranted	Not Warranted	Not Warranted
S. 99 th Street & Giles Road	Unsignalized	Warranted	Warranted	Warranted	Warranted

Based on the results of signal warrants analysis, a traffic signal is not warranted at the intersection of S. 98th Plaza with Giles Road under Buildout (2024) and Future (2044) traffic conditions under neither access scenario evaluated. A traffic signal is warranted at the intersection of S. 99th Street with Giles Road under Buildout (2024) and Future (2044) traffic conditions under both access scenarios. It should be noted that a traffic signal is warranted at the intersection of S. 99th Street with Giles Road under Future (2044) background traffic conditions.

IV.C Auxiliary Right-Turn Lane Analysis

The NCHRP has developed guidance to determine if an auxiliary right-turn is warranted on the major road of a two-way stop-controlled intersection. These guidelines are published in [NCHRP Report 457](#). The methodologies are based on an evaluation of the operating and collision costs associated with the turning maneuver relative to the cost of constructing a turn lane.

In addition, for right-turn lanes, [NCHRP Report 457](#) guidelines are based upon the following measures:

- ▶ Major road 85th percentile speed (posted speed can be used if data is unavailable)
- ▶ Major road peak hour approaching traffic volumes
- ▶ Right-turn traffic volumes

The AM and PM peak hour volumes for Buildout (2024) and Future (2044) traffic conditions for the full access and RIRO access scenarios were examined at the stop-controlled intersections in the study area. **Table 4** provides a summary of the results of the analysis and the graphical results of the analysis are included in **Appendix D**.

Table 4. NCHRP Auxiliary Right-Turn Lane Warrants

Intersection	Approach Direction	Existing Turn Lane	Buildout (2024)		Future (2044)	
			Full Access	RIRO Access	Full Access	RIRO Access
S. 98 th Plaza & Giles Road	Westbound	-	Warranted	Warranted	Warranted	Warranted
	Eastbound	-	Warranted	Warranted	Warranted	Warranted
S. 99 th Street & Giles Road	Westbound	-	Warranted	Warranted	Warranted	Warranted
	Eastbound	-	Warranted	Warranted	Warranted	Warranted

Based on the results of NCHRP Auxiliary Right-Turn Lane Warrants, westbound and eastbound right-turn lanes are warranted at the intersections of S. 98th plaza with Giles Road and S. 99th Street with Giles Road under Buildout (2024) and Future (2044) traffic conditions for the full access and RIRO access scenarios. However, due to low right-turning volumes and utility constraints, it is not recommended that right-turn lanes be constructed. Should future operations, safety, and traffic generated by future developments provide justification for providing a right-turn lanes, these improvements may be added to a separate project at a later date.

IV.D Auxiliary Left-Turn Lane Analysis

[NCHRP Report 457](#) also provides guidance for determining if an auxiliary left-turn is warranted on the major road of a two-way stop-controlled intersection. For left-turn lanes, [NCHRP Report 457](#) guidelines are based upon the following measures:

- ▶ Major road 85th percentile speed (posted speed can be used if data is unavailable)
- ▶ Percent of left-turns in advancing volume
- ▶ Major road peak hour advancing and opposing traffic volumes

The AM and PM peak hour volumes for Buildout (2024) and Future (2044) traffic conditions for the full access and RIRO access scenarios were examined at the stop-controlled intersections in the study area.

Table 5 provides a summary of the results of the analysis and the graphical results of the analysis are included in **Appendix D**.

Table 5. NCHRP Auxiliary Left-Turn Lane Warrants

Intersection	Approach Direction	Existing Turn Lane	Buildout (2024)		Future (2044)	
			Full Access	RIRO Access	Full Access	RIRO Access
S. 98 th Plaza & Giles Road	Westbound	220 feet	Warranted	-	Warranted	-
	Eastbound	390 feet	Warranted	-	Warranted	-
S. 99 th Street & Giles Road	Westbound	90 feet	Warranted	Warranted	Warranted	Warranted
	Eastbound	170 feet	Warranted	Warranted	Warranted	Warranted

Based on the results of NCHRP Auxiliary Left-Turn Lane Warrants, auxiliary left-turn lanes are warranted at both stop controlled intersections under Buildout (2024) and Future (2044) traffic conditions. Left-turn auxiliary lanes are already provided at the two unsignalized study intersections. It should be noted that under RIRO access scenarios, left-turn lanes would no longer be needed at the intersection of S. 98th Plaza with Giles Road due to the restricted access.

IV.E Minor Road Approach Analysis

NCHRP Report 457 also provides guidance on when an additional approach lane should be provided on the minor leg of a two-way stop-controlled intersection. It is based on the need to provide the side street with an acceptable level of service. To determine the approach geometry, NCHRP Report 457 guidelines are based upon the following measures:

- ▶ Major road peak hour traffic volumes (total of both directions)
- ▶ Minor road peak hour approaching traffic volumes
- ▶ Minor road right-turn traffic volumes
- ▶ Percentage of minor road right-turns

The AM and PM peak hour volumes for Buildout (2024) and Future (2044) traffic conditions for the full access and RIRO access scenarios were examined at the stop-controlled intersections in the study area. **Table 6** provides a summary of the results of the analysis, and the graphical results of the analysis are included in **Appendix D**.

Table 6. NCHRP Minor Approach Warrants

Intersection	Approach Direction	Existing Approach	Buildout (2024)		Future (2044)	
			Full Access	RIRO Access	Full Access	RIRO Access
S. 98 th Plaza & Giles Road	Northbound	One-Lane	Two-Lane	-	Two-Lane	-
	Southbound	Two-Lane	Two-Lane	-	Two-Lane	-
S. 99 th Street & Giles Road	Northbound	Two-Lane	Two-Lane	Two-Lane	Two-Lane	Two-Lane
	Southbound	Two-Lane	Two-Lane	Two-Lane	Two-Lane	Two-Lane

Based on the results of NCHRP Minor Approach Warrants, a northbound two-lane minor street approach is warranted at the intersection of S. 98th Plaza with Giles Road under Buildout (2024) and Future (2044) traffic conditions for the full access scenario. Two-lane minor street approaches are already provided at the other unsignalized study intersections. One-lane approaches would be recommended for the RIRO access scenario at the intersection of S. 98th Plaza with Giles Road.

IV.F Traffic Operations

Figure 5A and **Figure 5B** show the lane geometry, traffic control, and levels of service results of the traffic operations analysis for Buildout (2024) traffic conditions without and with RIRO access onto Giles Road via S. 98th Plaza, respectively. **Figure 6A** and **Figure 6B** show the lane geometry, traffic control, and levels of service results of the traffic operations analysis for Future (2044) traffic conditions with and without RIRO access onto Giles Road via S. 98th Plaza, respectively.

Buildout (2024) Traffic Conditions:

Under both the full access scenario and RIRO scenario, the signalized intersection of S. 96th Street with Giles Road is anticipated to operate at LOS C during the AM and LOS D during the PM peak hour.

Under the full access scenario, movements at the stop-controlled intersections in the study area are anticipated to operate at LOS D or better except for the following intersection movements, which are anticipated to operate at LOS E or F during the peak periods:

- ▶ S. 98th Plaza with Giles Road:
 - Northbound shared movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
- ▶ S. 99th Street with Giles Road:
 - Northbound and southbound left-turn movement during the AM and PM peak hours.
 - Northbound and southbound shared through/right turn movement during the PM peak hour.

Under the RIRO access scenario, movements at the stop-controlled intersections in the study area are anticipated to operate at LOS C or better except for the northbound and southbound left-turn movement during the AM and PM peak hour and the northbound and southbound shared through/right-turn movement during the PM peak hour at the intersection of S. 99th Street with Giles Road.

Future (2044) Traffic Conditions:

The analysis conducted under the Future (2044) traffic conditions, for both the full access and RIRO scenarios, indicated that turn lane improvements would be needed to improve traffic operations at the intersection of S. 96th Street with Giles Road. It was assumed that southbound and westbound right-turn lanes, and eastbound and westbound dual left-turn lanes would be constructed at the intersection of S. 96th Street with Giles Road. These improvements were identified and recommended as part of the *Giles Road Corridor Study*. Under the full access and RIRO access scenario, the signalized intersection of S. 96th Street with Giles Road is anticipated to operate at LOS D during the AM peak hour and LOS E during the PM peak hour.

Under the full access scenario, movements at the stop-controlled intersections in the study area are anticipated to operate at LOS D or better except for the following intersection movements, which are anticipated to operate at LOS E or F during the peak periods:

- ▶ S. 98th Plaza with Giles Road:
 - Northbound shared movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
- ▶ S. 99th Street with Giles Road:
 - Northbound and southbound left-turn movement during the AM and PM peak hours.
 - Northbound and southbound shared through/right turn movement during the PM peak hour.

Under the RIRO access scenario, movements at the stop-controlled intersections in the study area are anticipated to operate at LOS C or better except for the following movements at the intersection of S. 99th Street with Giles Road:

- ▶ Northbound and southbound left-turn movement during the AM and PM peak hours.
- ▶ Northbound and southbound shared through/right-turn movement during the AM and PM peak hours.

It should be noted that it is not uncommon for stop-controlled side street movements to operate at LOS E or LOS F during peak periods. Capacity analysis worksheets are included in **Appendix E**.

IV.G Storage Length & Queueing Analysis

The estimated 95th percentile queue lengths were reviewed at the study intersections for Buildout (2024) and Future (2044) conditions. **Table 7** provides a summary of the findings for the intersections within the study area. The existing turn bay lengths are listed, as well as the estimated 95th percentile queue lengths for the AM and PM peak hours.

Table 7. Turn Lane Storage & 95th Percentile Queue Lengths

Location	Critical Movements	95% Queue Length (ft)			
		2024 Full Access (AM/PM Peak)	2024 RIRO (AM/PM Peak)	2044 Full Access (AM/PM Peak)	2044 RIRO (AM/PM Peak)
S. 96 th St & Giles Rd (signalized)	NB Left-turn	98 / 115	96 / 115	#244 / #347	#244 / #347
	NB Through ⁺	314 / 291	311 / 290	#662 / #581	#662 / #581
	EB Left-turn	84 / #289	80 / #275	163 / #571	158 / #561
	EB Through ⁺	299 / #524	295 / #517	450 / #797	429 / #797
	SB Left-turn	95 / #212	92 / #208	125 / #387	125 / #387
	SB Through ⁺	206 / 332	202 / 330	#375 / #745	#375 / #745
	WB Left-turn	81 / #226	78 / #217	151 / #436	150 / #436
	WB Through ⁺	359 / 417	353 / 414	#604 / #594	#590 / #594
S. 98 th Plaza & Giles Road (unsignalized)	NB Through ⁺	23 / 175	5 / 18*	68 / 390	5 / 18*
	EB Left-turn	5 / 5	- / -	8 / 8	- / -
	SB Left-turn	58 / 83	- / -	145 / 130	- / -
	SB Through ⁺	5 / 28	5 / 8*	8 / 113	5 / 8*
	WB Left-turn	5 / 8	- / -	5 / 10	- / -
S. 99 th Street & Giles Road (unsignalized)	NB Left-turn	50 / 183	83 / 258	145 / #N/A	198 / #N/A
	NB Through ⁺	15 / 38	23 / 48	33 / 148	80 / 185
	EB Left-turn	3 / 10	8 / 13	5 / 15	13 / 25
	SB Left-turn	50 / 113	160 / 200	135 / #N/A	300 / #N/A
	SB Through ⁺	18 / 70	20 / 70	50 / 208	53 / 263
	WB Left-turn	3 / 8	5 / 15	5 / 13	10 / 28
S. 99 th Street & Giles Road (signalized)	NB Left-turn	66 / 75	73 / 97	73 / 76	84 / 106
	NB Through ⁺	52 / 46	54 / 46	52 / 48	58 / 48
	EB Left-turn	16 / 25	32 / 35	15 / 25	30 / 35
	EB Through ⁺	151 / 314	151 / 306	228 / 509	223 / 556
	SB Left-turn	61 / 57	97 / 82	67 / 64	110 / 87
	SB Through ⁺	48 / 53	44 / 51	49 / 54	48 / 60
	WB Left-turn	16 / 20	29 / 32	15 / 19	28 / 39
	WB Through ⁺	195 / 250	210 / 246	314 / 429	330 / 465

⁺ - shared lane

- 95th percentile volume exceeds capacity, queues may be longer or are unable to be calculated

m - volume for 95th percentile queue is metered by upstream signal

* - right-turn only with RIRO access

IV.H Cursory Review

S. 99th Street / Floyd Street & Hillcrest Plaza:

It is recommended that a two-way left turn lane (TWLTL) be striped on S. 99th Street / Floyd Street from median just south of Hillcrest Plaza to Gary Street upon buildout of the proposed development. A TWLTL is anticipated to improve driver expectancy and increase safety.

S. 98th Plaza & Hillcrest Plaza:

Under anticipated future traffic volumes, consider providing two-way stop control at the northbound and southbound approaches. Upon buildout, the intersection should be monitored for future operations and safety concerns. If further safety considerations are needed, investigate providing all-way stop control (AWSC).

Floyd Street & Gary Street:

It is anticipated that the existing and proposed single lane approaches will operate adequately under future traffic volumes at the intersection.

North Site Access onto Brentwood Drive:

It is anticipated that the existing and proposed single lane approaches will operate adequately under future traffic volumes at the intersection. It is recommended that a TWLTL be striped on Brentwood Drive from S. 97th Circle to east of S. 97th Plaza and tie into the existing striping.

Hillcrest Plaza / S. 97th Plaza:

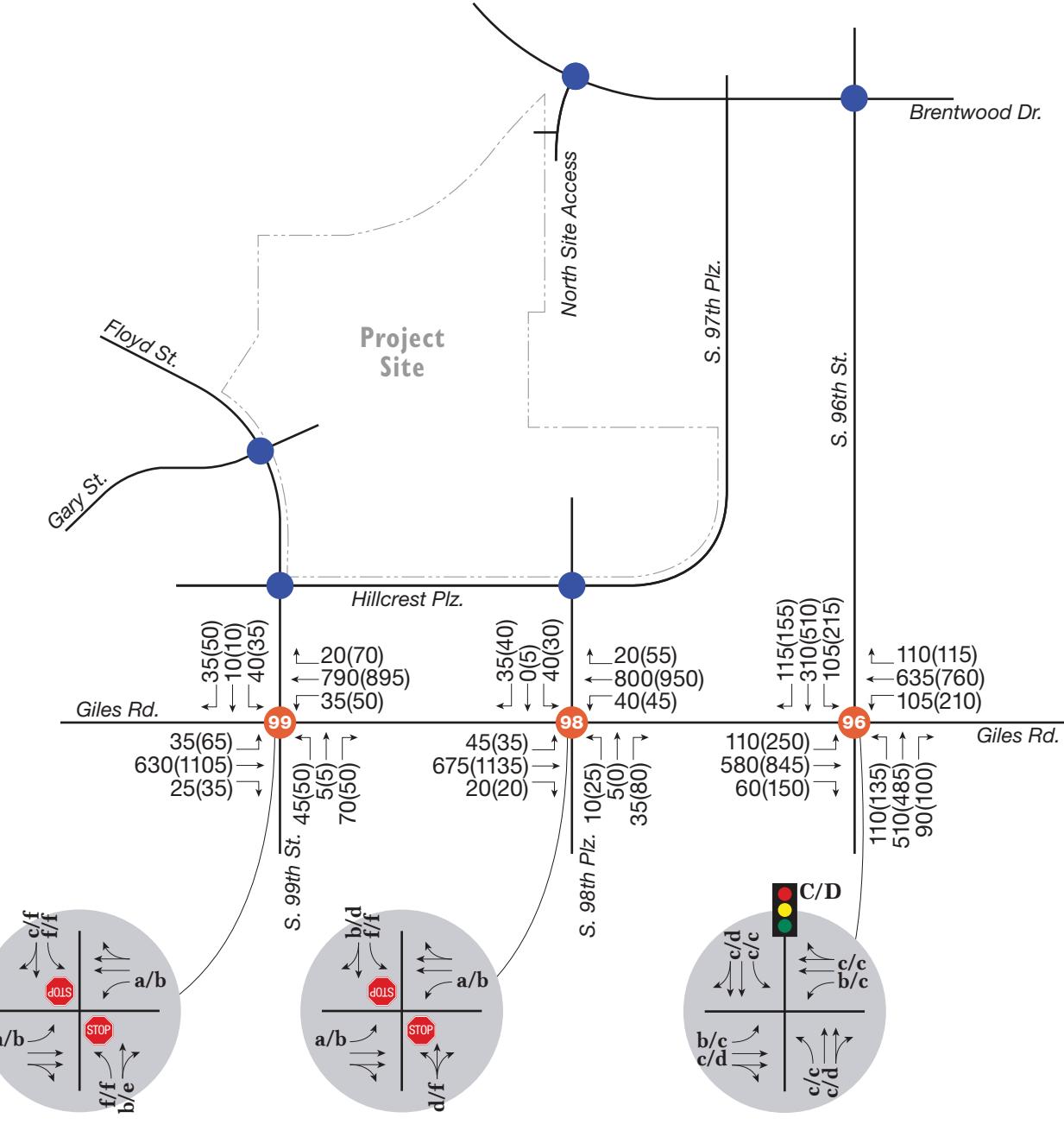
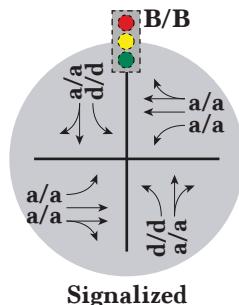
Due to the number of access points, nature of the roadway, and cross-section, it is recommended that a TWLTL be striped along Hillcrest Plaza / S. 97th Plaza from S. 99th Street / Floyd Street to Brentwood Street.

IV.I Pedestrian Recommendations

It is recommended that sidewalks be provided along Floyd Street and Hillcrest Plaza along the perimeter of the site to connect to the existing sidewalk network on the northside of Floyd Street and west side of S. 97th Plaza. A sidewalk connection is also recommended along the west side of North Site Access to connect to the existing sidewalk along the south side of Brentwood Drive. It is also recommended that consideration be given to providing a connection to the existing sidewalk located between Primrose School of Omaha and The Meriwether living facility. Sidewalks should be provided internally within the site.

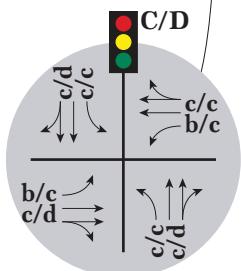
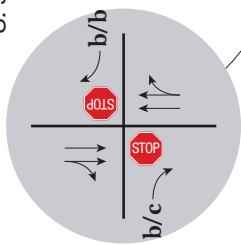
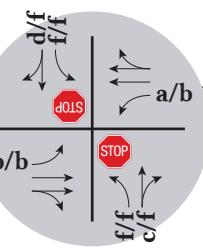
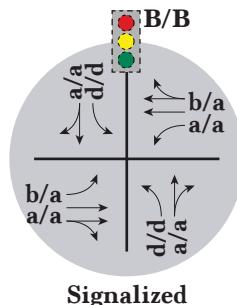
LEGEND

- XXX(XXX) = AM(PM) Peak Hour Traffic Volumes
- X/X = AM/PM Peak Hour Signalized Intersection Level of Service
- x/x = AM/PM Peak Hour Intersection Movement Level of Service
- = Stop Sign
- = Traffic Signal
- = Proposed Traffic Signal
- = Study Intersections
- = Cursory Intersections

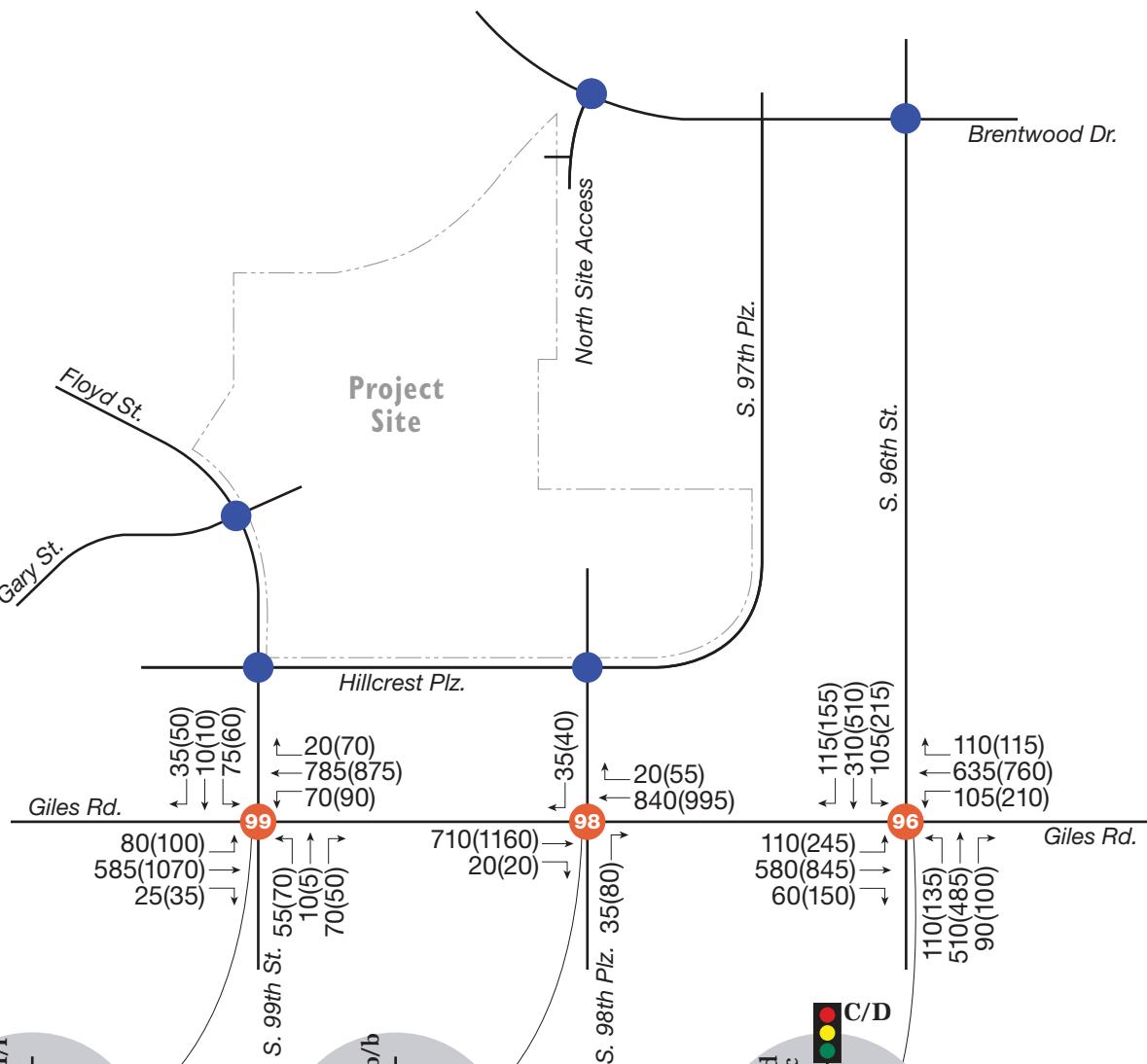


LEGEND

- XXX(XXX) = AM(PM) Peak Hour Traffic Volumes
- X/X = AM/PM Peak Hour Signalized Intersection Level of Service
- x/x = AM/PM Peak Hour Intersection Movement Level of Service
- = Stop Sign
- = Traffic Signal
- = Proposed Traffic Signal
- = Study Intersections
- = Cursory Intersections



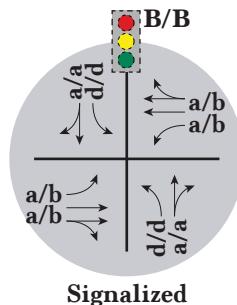
NOTE: Drawing Not to Scale



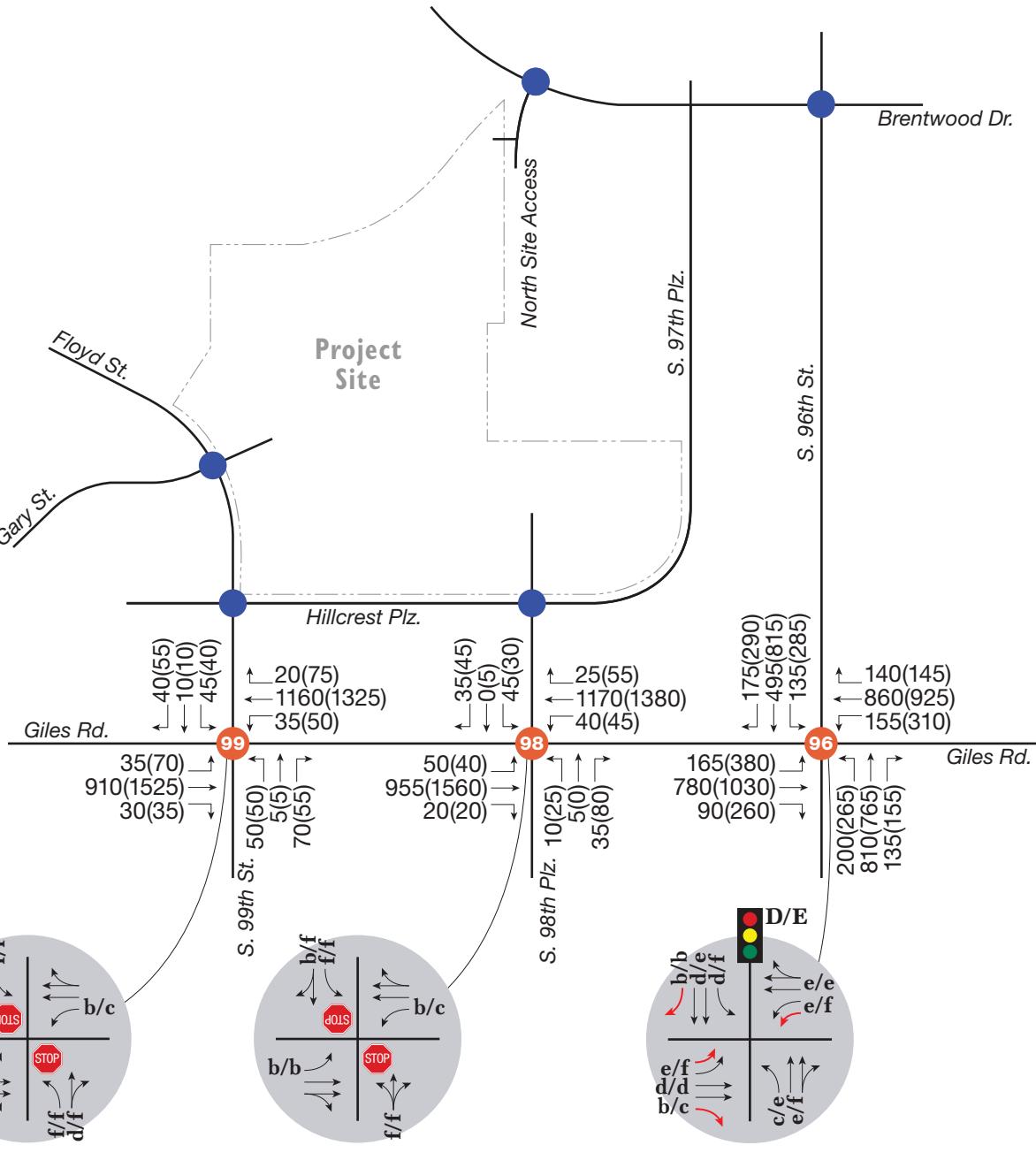
NORTH

LEGEND

- XXX(XXX) = AM(PM) Peak Hour Traffic Volumes
- X/X = AM/PM Peak Hour Signalized Intersection Level of Service
- x/x = AM/PM Peak Hour Intersection Movement Level of Service
- = Stop Sign
- = Traffic Signal
- = Proposed Traffic Signal
- = Study Intersections
- = Cursory Intersections
- = Proposed Improvements

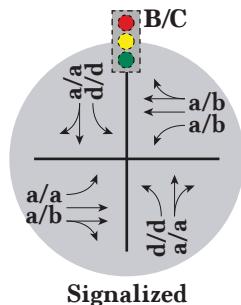


NOTE: Drawing Not to Scale



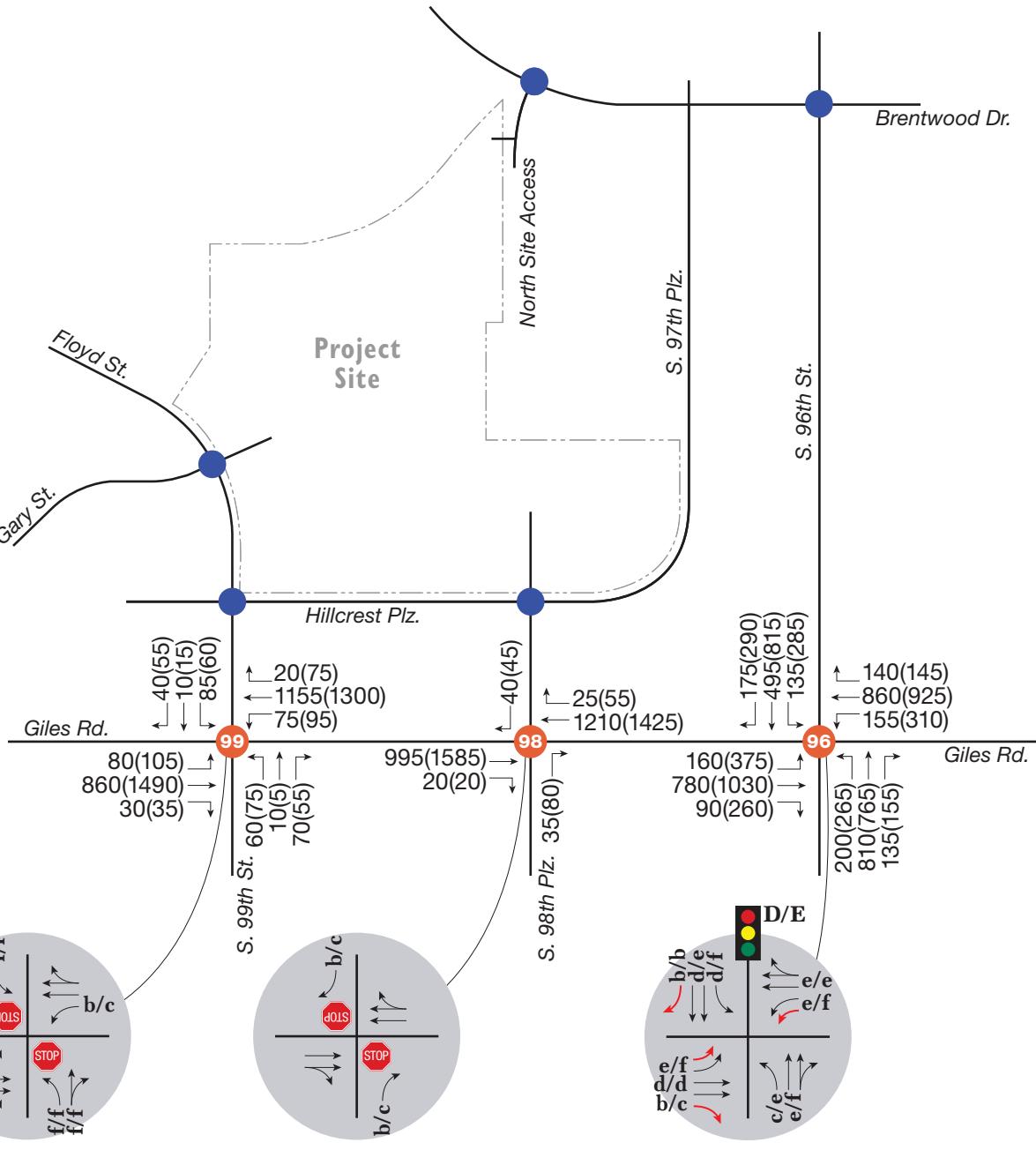
LEGEND

- XXX(XXX) = AM(PM) Peak Hour Traffic Volumes
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- x/x = AM/PM Peak Hour Intersection Movement Level of Service
- = Stop Sign
- = Traffic Signal
- = Proposed Traffic Signal
- = Study Intersections
- = Cursory Intersections
- = Proposed Improvements



Signalized

NOTE: Drawing Not to Scale



V. SUMMARY AND RECOMMENDATIONS

Based on the results of the analysis, the key findings and recommendations of this study are listed:

- ▶ The AM peak hour for the study area network was determined to be 7:15 AM to 8:15 AM and the PM peak hour was 4:30 PM to 5:30 PM.
- ▶ Under Existing (2022) traffic conditions, the signalized intersection of S. 96th Street with Giles Road operates at LOS C during the AM and PM peak hours. At the unsignalized intersections in the study area, all movements currently operate at LOS C or better except for the following movements at the study intersections:
 - S. 98th Plaza with Giles Road:
 - Northbound shared left/through/right movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
 - S. 99th Street with Giles Road:
 - Northbound left-turn movement during the AM and PM peak hours.
 - Northbound shared through/right movement during the PM peak hour.
 - Southbound left-turn movement during the AM and PM peak hours.
 - Southbound shared through/right movement during the PM peak hour.
- ▶ Based on the *ITE Trip Generation Manual*, the proposed residential development is anticipated to generate approximately 1,890 daily vehicle-trips to the site, including 149 vehicle-trips during the AM peak hour and 174 vehicle-trips during the PM peak hour.
- ▶ Traffic volumes were developed based on an evaluation of existing traffic counts, MAPA projections for 2050, projections from previously completed studies, and adjustments for local travel patterns. Traffic projections from recently completed traffic studies were utilized as a base for background volumes and were adjusted for the appropriate analysis year.

Site Related Improvements:

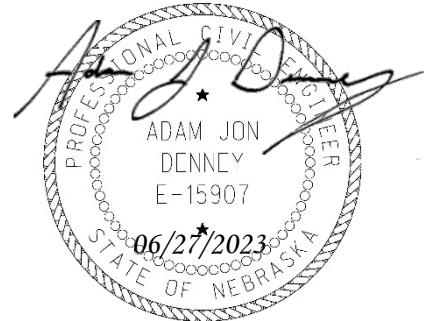
- ▶ Based on the MUTCD Signal Warrant analysis, signal warrants are anticipated to be **satisfied** at the stop-controlled intersection of S. 99th Street with Giles Road under Buildout (2024) and Future (2044) traffic conditions under both access scenarios. **It is recommended** that a traffic signal be provided at the intersection of S. 99th Street with Giles Road. The northbound and southbound approaches should provide a dedicated left-turn lane and a shared through/right-turn lane when signalized.
 - Site related traffic is anticipated to make up approximately 5% of the total traffic at the intersection.
 - Signal warrants are anticipated to be satisfied under Future (2044) background conditions.
 - The undeveloped parcels located in the study area along Hillcrest Plaza / S. 97th Street should contribute to these improvements.
 - The intersection of S. 99th Street with Giles Road should be continually monitored to determine when signal warrants are satisfied.
- ▶ With signalization at S. 99th Plaza, **it is recommended** that the access be restricted to a RIRO at the intersection of S. 98th Plaza. This improvement is anticipated to improve access control, traffic operations, and safety at the intersection. This improvement was identified as part of the *Giles Road Corridor Study*.

- ▶ Based on NCHRP Minor Approach Warrants, a northbound two-lane approach is **warranted** at the stop-controlled intersection of S. 98th Plaza with Giles Road under Buildout (2024) and Future (2044) traffic conditions under the full access scenario. However, with RIRO access **recommended**, the existing single-lane configuration shall remain.
- ▶ A cursory review of the site access connections to the existing roadway network and other internal intersections was completed. The following traffic control **is recommended**:
 - S. 98th Plaza shall remain stopped controlled north-south at the intersection with Hillcrest Plaza. A new stop sign shall be provided on the north leg.
 - Gary Street shall remain stop controlled east-west at the intersection with Floyd Street. A new stop sign shall be provided on the east leg.
 - The North Access Drive shall be stop controlled. A new stop sign shall be provided.
- ▶ **It is recommended** that a TWLTL be striped and signed at the following locations:
 - S. 99th Street / Floyd Street from median just south of Hillcrest Plaza to Gary Street
 - Brentwood Drive from S. 97th Circle to east of S. 97th Plaza and tie into the existing striping.
 - Along Hillcrest Plaza / S. 97th Plaza from S. 99th Street / Floyd Street to Brentwood Street.
- ▶ It is recommended that sidewalks be provided along Floyd Street and Hillcrest Plaza along the perimeter of the site to connect to the existing sidewalk network on the northside of Floyd Street and west side of S. 97th Plaza. A sidewalk connection is also recommended along the west side of North Site Access to connect to the existing sidewalk along the south side of Brentwood Drive. It is also recommended that consideration be given to providing a connection to the existing sidewalk located between Primrose School of Omaha and The Meriwether living facility. Sidewalks should be provided internally within the site.

Non-Site Related Improvements:

- ▶ At the intersections of S. 98th Plaza with Giles Road and S. 99th Street with Giles Road, based on NCHRP Auxiliary Right-Turn Lane Warrants, eastbound and westbound right-turn lanes are warranted under Buildout (2024) and Future (2044) traffic conditions under both access scenarios. However, due to low right-turning volume, it is not recommended that the right-turn lane be constructed. Site generated traffic makes up less than 40% of the total right-turn movement volume during the peak hour warranted. Should future operations, safety, and traffic generated by future developments provide justification for providing a right-turn lane, these improvements may be added with a separate project at a later date.
- ▶ The intersection of S. 96th Street with Giles Road was evaluated to determine short-term and long-term improvements to improve traffic operations.
 - As part of short-term improvements at the intersection of S. 96th Street with Giles Road, **it is recommended** left-turn phasing be upgraded to Flashing Yellow Arrow (FYA) on all approaches of the intersection.
 - As part of long-term improvements at the intersection of S. 96th Street with Giles Road, based on operational analysis, **it is recommended** that an eastbound and southbound right-turn lane be provided. The eastbound and southbound right-turn lanes should provide at least 150 feet of vehicle storage with a 10:1 taper. These improvements were identified as part of the Giles Road Corridor Study.

- As part of long-term improvements at the intersection of S. 96th Street with Giles Road, based on operational analysis, **it is recommended** that the eastbound and westbound dual left-turn lanes be provided. The eastbound and westbound left-turn lane should provide at least 275 feet and 225 feet of vehicle storage with a 10:1 taper, respectively. These improvements were identified as part of the Giles Road Corridor Study.



APPENDICES

- Appendix A. Traffic Count Data
- Appendix B. Traffic Forecast Data
- Appendix C. MUTCD Signal Warrant Worksheets
- Appendix D. NCHRP Auxiliary Turn Lane Warrant Worksheets
- Appendix E. LOS Capacity Analysis Worksheets

Appendices
available upon
request to the City
Clerk's Office