

**CITY OF LA VISTA**  
**MAYOR AND CITY COUNCIL REPORT**  
**MAY 16, 2023 AGENDA**

<b>Subject:</b>	<b>Type:</b>	<b>Submitted By:</b>
APPLICATION TO AMEND PUD SITE PLAN LB SOUTHWEST, LLC LOT 2, WOODHOUSE PLACE AND LOTS 1-2 WOODHOUSE PLACE REPLAT 1	◆ RESOLUTION ◆ ORDINANCE RECEIVE/FILE	CHRISTOPHER SOLBERG DEPUTY COMMUNITY DEVELOPMENT DIRECTOR

**SYNOPSIS**

A public hearing has been scheduled and a resolution and ordinance prepared to consider and approve amendments to the Planned Unit Development Site Plan and Ordinance for Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1 to incorporate a small automotive leasing facility into the site plan and to incorporate the Automotive Rental/Leasing use as permitted within the PUD area.

**FISCAL IMPACT**

None.

**RECOMMENDATION**

Approval.

**BACKGROUND**

A public hearing has been scheduled to consider an application to amend the PUD Site Plan and Ordinance, submitted by LB Southwest LLC, for approximately 30.67 acres platted as Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1. The project is located southwest of the intersection of Giles Rd. and 144<sup>th</sup> St.

The application to amend the PUD Site Plan and is proposed to incorporate a small automotive leasing facility into the southeast corner of the site plan. The ordinance amendment proposes to incorporate the Automotive Rental/Leasing use as permitted within the PUD area. The use is not currently allowed in the underlying C-3 Zoning District.

A detailed staff report is attached.

The Planning Commission held a public hearing on April 20, 2023 and unanimously voted to recommend approval of the amended PUD Site Plan and Ordinance, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning ordinance.

**RESOLUTION NO. \_\_\_\_\_**

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, DETERMINING CONDITIONS FOR APPROVAL OF AN AMENDMENT TO THE PLANNED UNIT DEVELOPMENT (PUD) SITE PLAN FOR LOT 2, WOODHOUSE PLACE, AND LOTS 1 AND 2 WOODHOUSE PLACE REPLAT 1, A SUBDIVISION LOCATED IN THE NE 1/4 OF SECTION 23, T14N, R11E OF THE 6<sup>TH</sup> P.M., SARPY COUNTY, NEBRASKA.

WHEREAS, the applicant, LB Southwest, LLC, has made application for approval of an amendment to the planned unit development site plan for Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1; and

WHEREAS, the Community Development Director and the City Engineer have reviewed the planned unit development site plan; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval.

NOW THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of La Vista, Nebraska, that the amended Planned Unit Development (PUD) site plan for Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1, located in the NE 1/4 of Section 23, T14N, R11E of the 6<sup>th</sup> P.M., Sarpy County, Nebraska, generally located southwest of 144<sup>th</sup> Street and Giles Road be, and hereby is, approved.

PASSED AND APPROVED THIS 16TH DAY OF MAY 2023.

CITY OF LA VISTA

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Douglas Kindig, Mayor

ATTEST:

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Pamela A. Buethe, MMC  
City Clerk

**ORDINANCE NO. \_\_\_\_\_**

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for Woodhouse Place (the "Woodhouse PUD") is hereby adopted for the following described real estate, to wit:

**LEGAL DESCRIPTION**

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Woodhouse PUD is hereby adopted to provide for the development of planned automotive dealerships that will service not only the City, but also the surrounding market area. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying commercial zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

**Section 3. Definitions**

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Automotive Rental" shall mean the rental of automobiles, noncommercial trucks, and motorcycles, including incidental maintenance and servicing.
- B. "Automotive Sales" shall mean shall mean the storage and display for sale or lease, and the actual sale or lease, of new or used motor vehicles, or any type of trailer (provided the trailer is unoccupied) at any one time, and where repair or body work is incidental to the operation of the new or used motor vehicle sales or leasing operations. Automobile sales shall includes all motor vehicle retail sales and leases including cars, SUV's, trucks, vans, recreational vehicles, boats, motorcycles or other similar motorized transportation vehicles.
- C. "Developer" shall mean LB Southwest, LLC, their successors and assigns.
- D. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

Ordinance No.

- E. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well-landscaped pedestrian places, pools, pool decks and roof gardens.
- F. "Woodhouse PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guidelines, landscaping, etc.
- G. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.
- H. "Woodhouse Place Design Guidelines" shall mean the specific guidelines jointly developed, agreed to and amended by Developer and City for the Subdivision for the purpose, among others, of creating cohesiveness and ensure quality of materials, aesthetics and maintenance upon which all tenants and owners can rely and to ensure view continuity and creation of a sense of place through the use of common elements of site and architecture. A copy of the Woodhouse Place Design Guidelines is attached to this Woodhouse PUD as Exhibit "C".
- I. "Subdivision" shall mean the 30.67 acres of land described in Exhibit "A" hereto, to be known as "Woodhouse Place."

#### Section 4. Parcel Identification Map

Attached hereto and made a part of Woodhouse PUD for parcel delineation is the Parcel Identification Map for the Woodhouse PUD marked as Exhibit "B".

#### Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

#### Section 6. Allowed Uses

Unless otherwise provided in this Ordinance, all Permitted and Permitted Conditional Uses allowed within the C-3 Highway Commercial/Office Park District shall be allowed within the Woodhouse Place PUD area, except as modified below:

- A. The following uses shall be allowed outright:
  - i. Automotive Rental

#### Section 7. Building Design Guidelines and Criteria

A copy of the Woodhouse Place Design Guidelines in the form approved and amended by the City is attached to this Woodhouse PUD as Exhibit "C". All applications shall adhere to requirements of the approved Woodhouse PUD and Design Guidelines. Prior to issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria. The Woodhouse Place Design Guidelines shall take

the place of Appendix A, B, and C of the City's Commercial Building Design Guide and Criteria dated September 17, 2013.

### Section 8. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

#### A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Woodhouse PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Woodhouse PUD and Woodhouse Place Design Guidelines.
- ii. Unless otherwise specified herein, the development of the Woodhouse PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

#### B. Land Use Design Criteria

Unless provided otherwise in this Woodhouse PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate commercial zoning district shall apply to any development within Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One. The negative elements of such uses as loading docks, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The intent of the design and layout of Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One is to develop the site for motor vehicle sale and lease uses, with service and repair as an accessory use.
  - a. Building Height. Permitted building heights shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
  - b. Building Setback. Building setbacks shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
  - c. Landscaping. Landscaping along Highway 50 (South 144<sup>th</sup> Street) and Giles Road and throughout the Subdivision shall be consistent with the PUD Site Plan map set, Exhibit "B" and the Woodhouse Place Design Guidelines, Exhibit "C". A complete and detailed

landscape plan is required prior to building permit approval to assure compliance with the vision of Woodhouse Place and its approved guidelines.

- d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Woodhouse Place Design Guidelines

The Woodhouse Place Design Guidelines take the place of Gateway Corridor District Design Guideline dated September 17, 2013.

D. Access and Off-Street Parking

- i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and subdivision agreement. Any deviation from this shall require the approval of the City.
- ii. Off-Street Parking. Parking on lots in Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One should be provided based on the aggregate ratio of one (1) off-street parking spaces per five hundred (500) square feet of gross floor area of improvements constructed on each lot, separate from those spaces dedicated to automotive sales inventory, unless off-site/public parking is utilized with approval of the city.

E. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Woodhouse PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Woodhouse PUD shall control.

This Ordinance recognizes that because of the size and scope of the project, and because access will be obtained to the development via large public arterial streets, the project has an extraordinary need for flexibility in the signage regulations applicable thereto. See the PUD Site Plan map set, Exhibit "B", for proposed site signage approximate locations.

- i. Center Identification Signs. Free standing buildings on Lot 1 may be allowed to advertise on one Center Identification Sign as depicted on Lot 2 of the PUD Site Plan.
- ii. Monument Signs. Free-standing buildings on Lots 1 and 2 Woodhouse Place Replat 1 may be allowed to advertise on Monument Signs as depicted on Lot 2 Woodhouse Place of the PUD Site Plan. The overall development shall be limited to no more than four monument signs, one for each building

Ordinance No.

- located on Lots 1 and 2 Woodhouse Place as depicted on the PUD Site Plan. Monument signs shall not exceed twenty-one (21) feet in height.
- iii. On-Site Directional Signs. On-Site Directional Signs, such as signs indicating exits, loading areas and parking areas, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign. Freestanding On-Site Directional Signs shall not exceed three (3) feet in height.
- iv. Wall Signs. Free-standing buildings on Lot 1s and 2 Woodhouse Place Replat 1 are allowed a total of 2.5 square feet of wall signs per lineal foot of façade width on facades with frontage along a right-of-way to a maximum of 600 sq.ft.

Section 9. Repeal of Ordinance No.1326. Ordinance No. 1326 as originally approved on August 21, 2018 and all ordinances in conflict herewith are hereby repealed.

Section 10. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 11. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 16TH DAY OF MAY 2023.

CITY OF LA VISTA

ATTEST:

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Douglas Kindig, Mayor

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Pamela A. Buethe, MMC  
City Clerk

Ordinance No.

EXHIBIT A

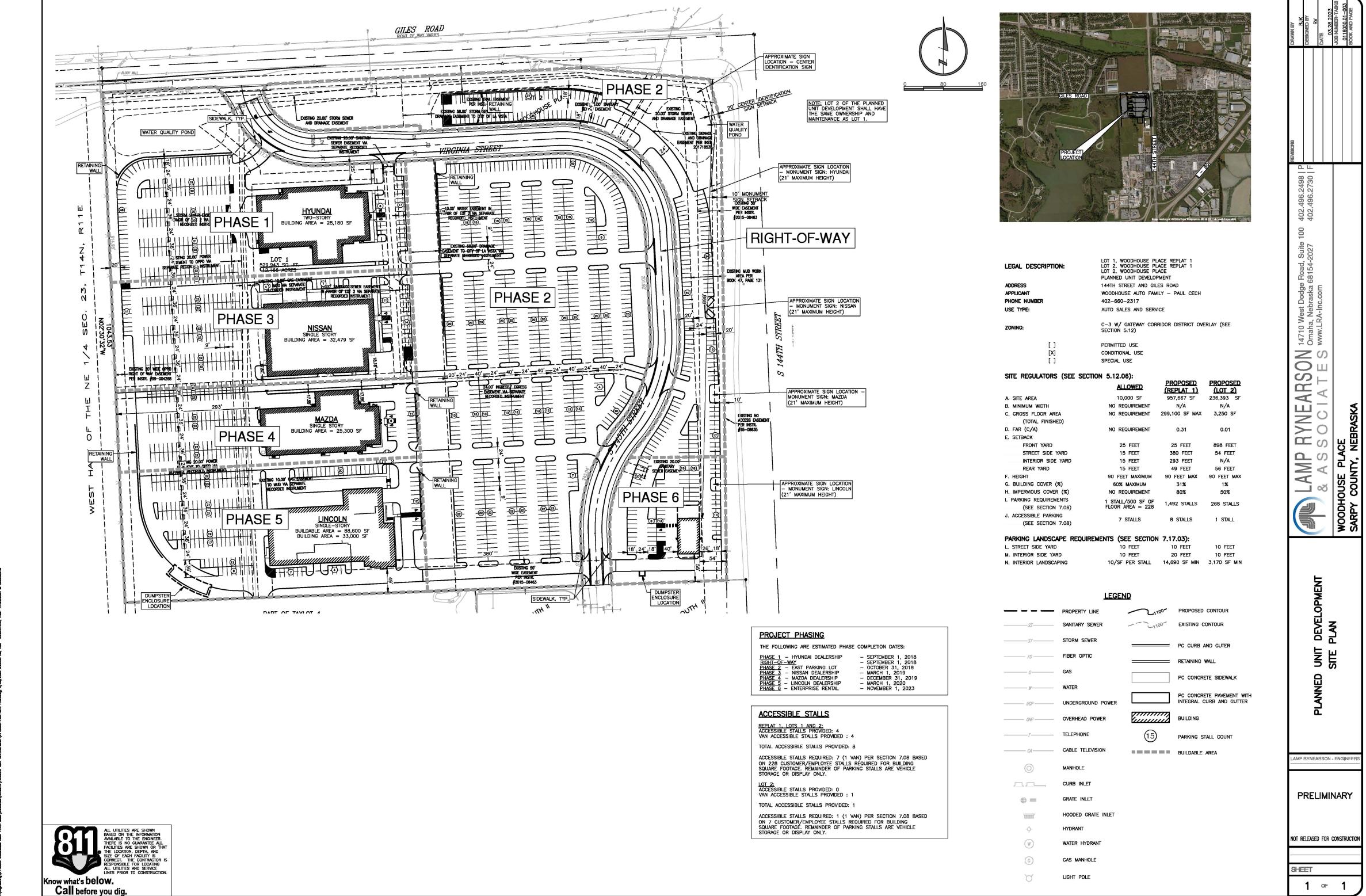
Lot 2 Woodhouse Place and Lots 1 and 2, Woodhouse Place Replat 1 located in the N 1/2, NE 1/4, Section 23, Township 14 North, Range 11 East of the 6th P.M. Sarpy County, Nebraska.

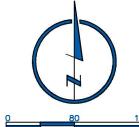
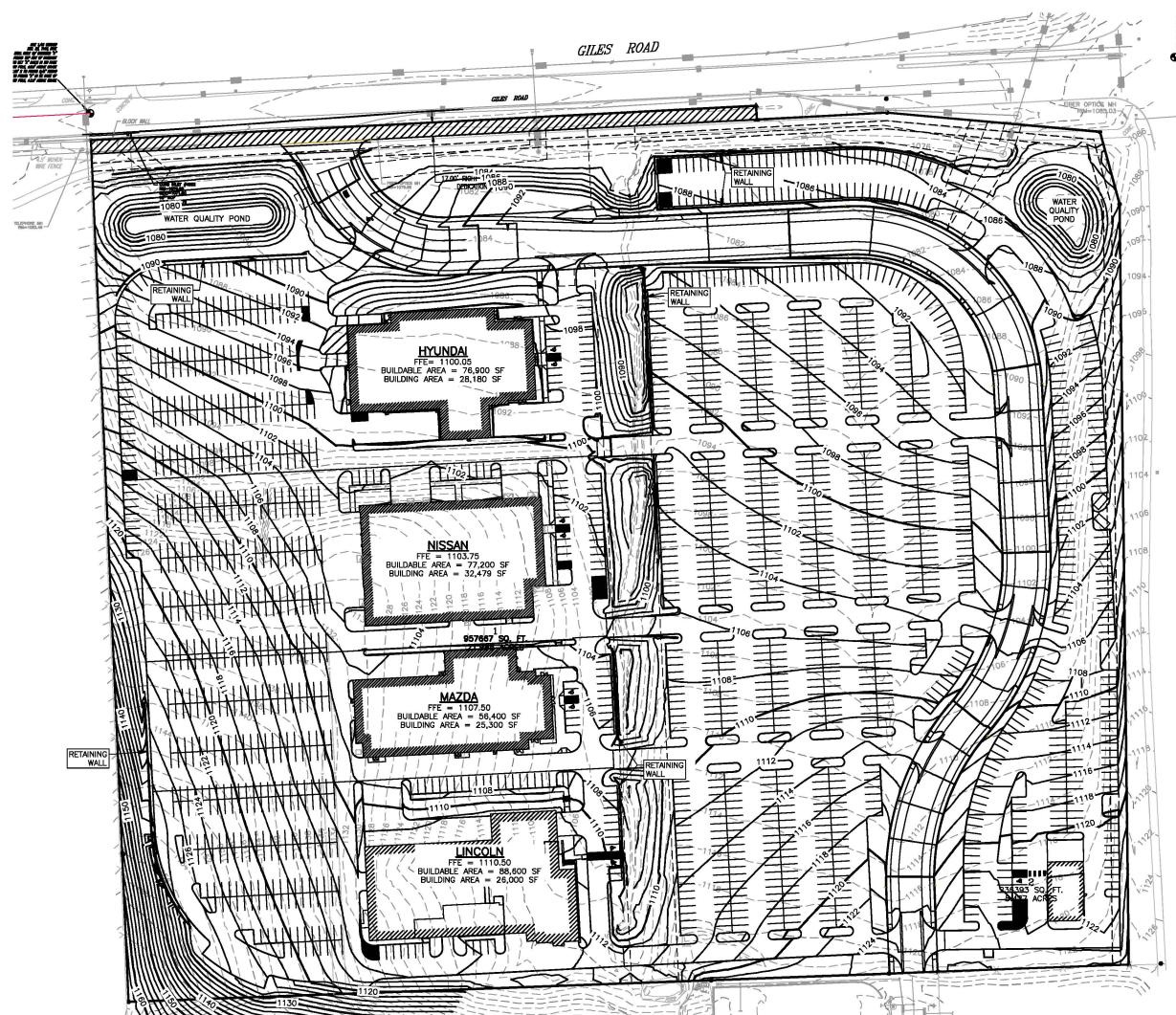
Ordinance No.

**EXHIBIT B**

Ordinance No.

**EXHIBIT C**





S 144TH STREET

## LEGEND

— — —	PROPERTY LINE		PROPOSED CONTOUR
— — —	SANITARY SEWER		EXISTING CONTOUR
— — —	STORM SEWER		PC CURB AND GUTTER
— — —	FIBER OPTIC		RETAINING WALL
— — —	GAS		PC CONCRETE SIDEWALK
— — —	WATER		PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
— — —	UNDERGROUND POWER		BUILDING
— — —	OVERHEAD POWER		PARKING STALL COUNT
— — —	TELEPHONE		BUILDABLE AREA
— — —	CABLE TELEVISION		
	MANHOLE		
	CURB INLET		
	GRATE INLET		
	HOODED GRATE INLET		
	HYDRANT		
	WATER HYDRANT		
	GAS MANHOLE		
	LIGHT POLE		

PLANNED UNIT DEVELOPMENT  
GRADING PLAN

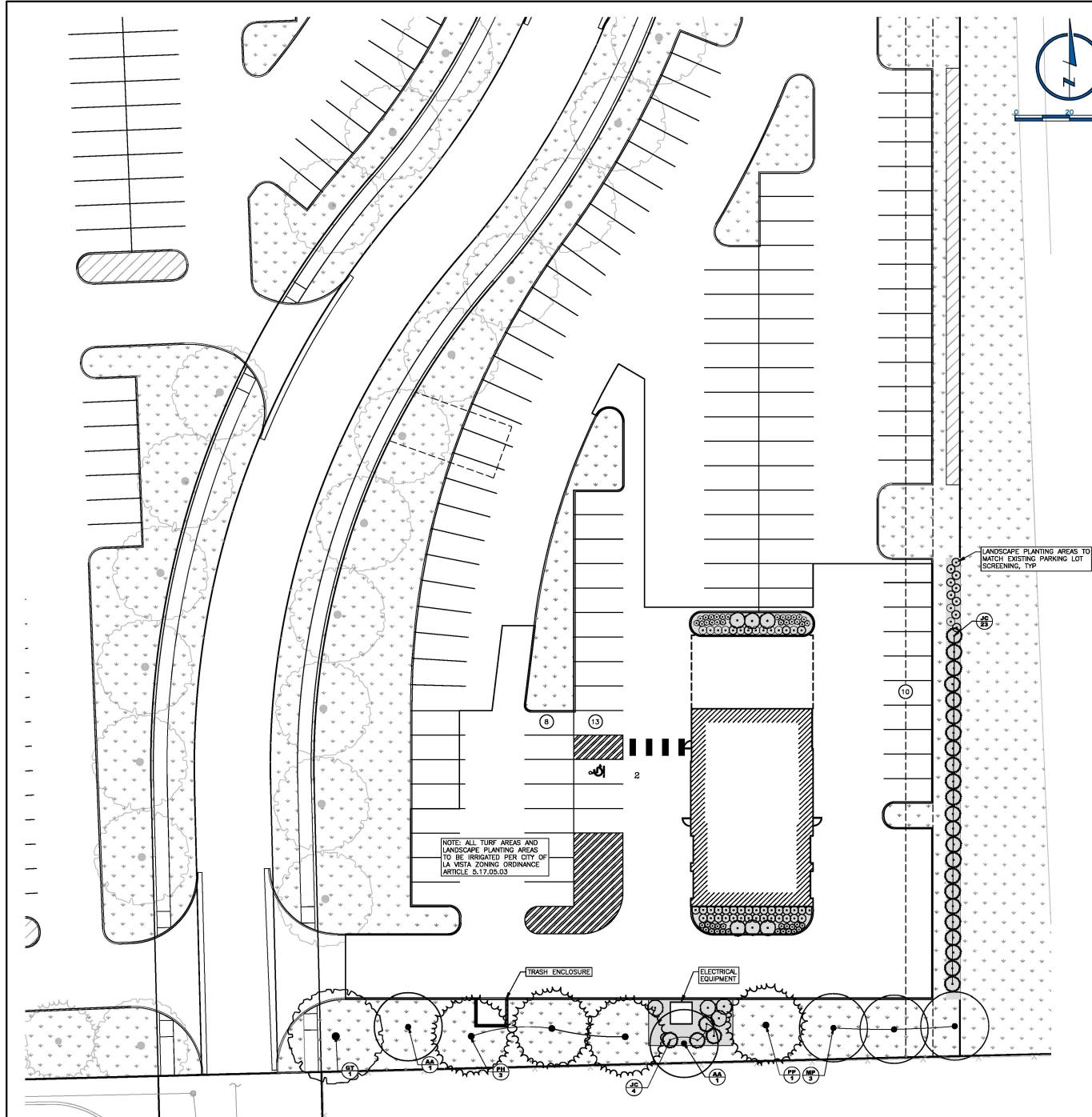
## PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

1 OF 1



KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.



**811**  
Know what's below.  
Call before you dig.

TREE LEGEND						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>DECIDUOUS TREES</b>						
	CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5" Cal.	50-75	50
	AR	Acer rubrum 'Magnificent Mogneto'	Burgundy Belle Red Maple	2.5" Cal.	45	45
	GT	Gleditsia triacanthos var. inermis 'Helika'	Halka Honeylocust	2.5" Cal.	40	40
	QB	Quercus bicolor	Swamp White Oak	2.5" Cal.	50-60	40-50
	QM	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	40-50	50
	GD	Gymnocladus dioicus 'Espresso'	Kentucky Coffeetree 'Espresso'	2.5" Cal.	50-60	40-50
	TC	Tilia cordata 'Greenspire'	Greenspire Linden	2.5" Cal.	40-50	30-35
	AA	Amelanchier arborea	Downy Serviceberry, clump-form	2.5" Cal.	15-25	15-25
	MP	Malus 'Prairiefire'	Prairiefire Crabapple	2.5" Cal.	15-20	15-20
	MA	Malus 'Adams'	Adams Crabapple	2.5" Cal.	25	20
	MS	Malus 'Snowdrift'	Snowdrift Crabapple	2.5" Cal.	15-20	20-25
<b>CONIFEROUS TREES</b>						
	PP	Picea pungens	Colorado Spruce	6'-7' Ht.	60	10-20
	PH	Pinus heldreichii	Bosnian Pine	6'-7' Ht.	50-70	20-40
	PG	Picea glauca	Black Hills Spruce	6'-7' Ht.	35-45	25-30
	JC	Juniper chinensis 'Spartan'	Spartan Juniper	6'-7' Ht.	15	5
<b>SHRUB, GROUNDCOVER, PERENNIAL, AND ORNAMENTAL GRASS LEGEND</b>						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 Gal.	4-6	4-6
	JS	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 Gal.	1-1.5	3-5
	SC	Symphoricarpos x chenault 'Hancock'	Hancock Coralberry	5 Gal.	1.5-2	6-8
	SB	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	5 Gal.	3-4	3-4
	CS	Cornus stolonifera 'Farrow'	Arctic Fire Dogwood	5 Gal.	3-4	3-4
	VD	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	5 Gal.	5-7	4-6
	RA	Rhus aromatica 'Gro Low'	Gro Low Sumac	5 Gal.	2.5-3	6-8
	CA	Calamagrostis acutiflora	Karl Foerster Feather Reed Grass	1 Gal.	2	3
	HL	Humeroocallis 'Little Business'	Little Business Daylily	1 Gal.	1.5	1-2
	HH	Humeroocallis 'Happy Returns'	Happy Returns Daylily	1 Gal.	1.5	1-2
	SN	Salvia nemorosa 'Mainacht'	May Night Salvia	1 Gal.	1.5	1.5-2
<b>LANDSCAPE PLANTING AREAS</b>						
<b>SEEDING LEGEND</b>						
	Turf-type fescue					
	Native grasses and forbs					

**LANDSCAPE REQUIREMENTS:****STREET FRONTRAGE (7.17.03.02)**

## LOT 1:

STREET FRONTRAGE: 1,806 LF  
LANDSCAPE AREA REQUIRED (STREET FRONTRAGE X 15'): 27,090 SF  
LANDSCAPE AREA PROVIDED: 31,260 SF  
TREES REQUIRED (1 TREE/40 LF FRONTRAGE): 45 TREES  
TREES PROVIDED: 45

## LOT 2:

STREET FRONTRAGE: 2,158 LF  
LANDSCAPE AREA REQUIRED (STREET FRONTRAGE X 15'): 32,370 SF  
LANDSCAPE AREA PROVIDED: 34,284 SF  
TREES REQUIRED (1 TREE/40 LF FRONTRAGE): 54 TREES  
TREES PROVIDED: 54

**PERIMETER LANDSCAPING (7.17.03.02)**

## LOT 1:

STREET FRONTRAGE: 283 LF  
INTERIOR LANDSCAPING (1 TREE/40 LF FRONTAGE): 7 TREES  
TREES PROVIDED: 7

## LOT 2:

STREET FRONTRAGE: 2,158 LF  
INTERIOR LANDSCAPING REQUIRED (1 TREE/40 LF FRONTAGE): 54 TREES  
INTERIOR LANDSCAPING PROVIDED: 54

**PARKING AREA INTERIOR LANDSCAPING (7.17.03.06)**

## LOT 1:

PARKING STALLS: 1,468 STALLS  
INTERIOR LANDSCAPING REQUIRED (10 SF/PARKING STALL): 14,680 SF  
INTERIOR LANDSCAPING PROVIDED: 14,284 SF

## LOT 2:

PARKING STALLS: 269 STALLS  
INTERIOR LANDSCAPING REQUIRED (10 SF/PARKING STALL): 2,690 SF  
INTERIOR LANDSCAPING PROVIDED: 9,131 SF

DRAWN BY	BLK
DESIGNED BY	REV
FOR APPROVAL	DATE
JOB NUMBER	01160010-1003
BOOK AND PAGE	1402-496-2498   P 402-496-2670   F

**LAMP RYNEARSON & ASSOCIATES**  
14710 West Dodge Road, Suite 100, Omaha, Nebraska 68154-2027  
www.LRA-Inc.com

**ENTERPRISE LANDSCAPE PLAN**  
WOODHOUSE PLACE  
SARPY COUNTY, NEBRASKA

LAMP RYNEARSON - ENGINEERS

**PRELIMINARY**

NOT RELEASED FOR CONSTRUCTION

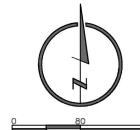
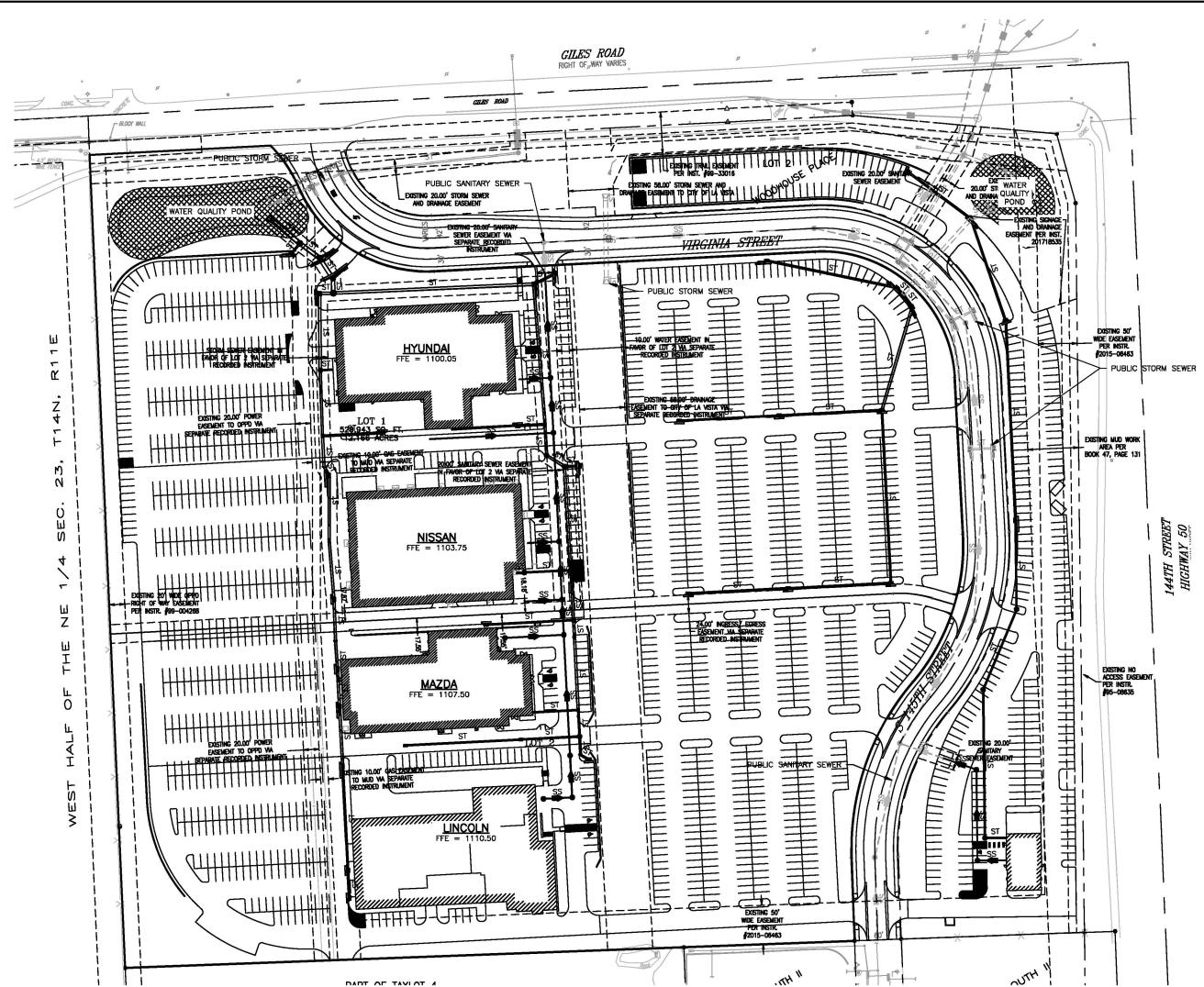
**SHEET**

1 OF 1



Know what's below.  
Call before you dig.

WEST HALF OF THE NE 1/4 SEC. 23, T14N, R11E



LEGEND	
PROPERTY LINE	PROPOSED CONTOUR
—SS— SANITARY SEWER	EXISTING CONTOUR
—ST— STORM SEWER	PC CURB AND GUTTER
—FD— FIBER OPTIC	RETAINING WALL
—G— GAS	PC CONCRETE SIDEWALK
—W— WATER	PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
—UP— UNDERGROUND POWER	BUILDING
—OP— OVERHEAD POWER	15 PARKING STALL COUNT
—T— TELEPHONE	BUILDABLE AREA
—CT— CABLE TELEVISION	PROPOSED SANITARY SEWER
○ MANHOLE	PROPOSED STORM SEWER
□ CURB INLET	PROPOSED MANHOLE
■ GRADE INLET	PROPOSED F.E.S.
◆ HOODED GRADE INLET	PROPOSED CURB INLET (BY OTHERS)
◆ HYDRANT	PROPOSED WATER QUALITY POND
◆ WATER HYDRANT	LAMP RYNEARSON - ENGINEERS
◆ GAS MANHOLE	
◆ LIGHT POLE	

PLANNED UNIT DEVELOPMENT  
UTILITY PLAN

LAMP RYNEARSON & ASSOCIATES  
WOODHOUSE PLACE  
SARPY COUNTY, NEBRASKA

PRELIMINARY  
NOT RELEASED FOR CONSTRUCTION

SHEET  
1 OF 1

DRAWN BY	
BLK	
CHECKED BY	
RV	
FORWARD	
JOHN HAMPTON/TABIS	
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**WOODHOUSE PLACE  
DESIGN GUIDELINES**

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**City of La Vista, Nebraska**

**La Vista City Hall  
8116 Park View Boulevard  
La Vista, Nebraska  
4 April 2017**

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## **1. INTRODUCTION**

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The Developer of Woodhouse Place and the City of La Vista, Nebraska, jointly have established the following Design Guidelines. These Guidelines have been developed as part of the Master Planning Process to ensure Visual Continuity and the Creation of a Sense of Place through the use of Common Elements of Site and Architecture within the Woodhouse Place Project.

"The Woodhouse Place Design Guidelines take the place of City's Gateway Corridor District Design Guideline dated September 17, 2013. It shall be the City Administrator who shall determine which design criteria is applicable in the event of a conflict between the two documents referenced herein."

The Design Guidelines illustrate a Color Palette, Allowable Building Materials and a Selection of Required Site Amenities. Individual Tenants and Owners shall be required to use these Elements to create a Type of Architecture Characterized by the Developer of Woodhouse Place as Clean and Contemporary.

The criteria contained herein are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles that can result in creative solutions that will develop a satisfactory visual appearance within the city jurisdiction, preserve taxable values, and promote the public health, safety, and welfare.

## **2. GEOGRAPHIC AREA AND CRITERIA**

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It is the intent of the City for this Building Criteria to apply to all property within the Woodhouse Place PUD Overlay District and as a part of the Gateway Corridor District (Overlay District), as shown on the City's official zoning map.

New construction and modifications to existing buildings, including the structure and the surrounding property, are required to have compliance reviewed through the design review process.

### 3. DEFINITIONS

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*Appearance.* The outward aspect visible to the public.

*Appropriate.* Sympathetic, or fitting, to the context of the site and the whole community.

*Appurtenances.* The visible, functional objects accessory to and part of buildings.

*Architectural concept.* The basic aesthetic idea of a building, or group of buildings or structures, including the site and landscape development, that produces the architectural character.

*Architectural feature.* A prominent or significant part or element of a building, structure, or site.

*Architectural style.* The characteristic form and detail, as of buildings of a particular historic period.

*Berm.* A raised form of earth to provide screening or to improve the aesthetic character.

*City.* City of La Vista

*Code.* The Municipal Code of the City of La Vista.

*Cohesiveness.* Unity of composition between design elements of a building or a group of buildings and the landscape development.

*Compatibility.* Harmony in the appearance of two or more external design features in the same vicinity.

*Conservation.* The protection and care that prevent destruction or deterioration of historical or otherwise significant structures, buildings, or natural resources.

*Cornice.* A horizontal molded projection that crowns or completes a building or wall.

*Eclectic.* Choosing what appears to be the best from diverse sources, systems, or styles.

*Exterior building component.* An essential and visible part of the exterior of a building.

*External design feature.* The general arrangement of any portion of a building, sign, landscaping, or structure and including the kind, color, and texture of the materials of such portion, and the types of roof, windows, doors, lights, attached or ground signs, or other fixtures appurtenant to such portions as will be open to public view from any street, place, or way.

*Gateway Corridor District.* The City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

*Graphic element.* A letter, illustration, symbol, figure, insignia, or other device employed to express and illustrate a message or part thereof.

*Harmony.* A quality that represents an appropriate and congruent arrangement of parts, as in an arrangement of varied architectural and landscape elements.

*Logic of design.* Accepted principles and criteria of validity in the solution of the problem of design.

*Mechanical equipment.* Equipment, devices, and accessories, the use of which relates to water supply, drainage, heating, ventilating, air conditioning, and similar purposes.

*Miscellaneous structures.* Structures, other than buildings, visible from public ways. Examples are: fences, walls, and transformers.

*Proportion.* Balanced relationship of parts of a building, landscape, structures, or buildings to each other and to the whole.

*Scale.* Proportional relationship of the size of parts to one another and to the human figure.

*Screening.* Structure of planting that conceals from view from public ways the area behind such structure or planting.

*Site break.* A structural or landscape device to interrupt long vistas and create visual interest in a site development.

*Street hardware.* Man-made objects other than buildings that are part of the streetscape. Examples are: lamp posts, utility poles, traffic signs, benches, litter containers, planting containers.

*Streetscape.* The scene as may be observed along a public street or way composed of natural or man-made components, including buildings, paving, planting, street hardware, and miscellaneous structures.

*Utilitarian structure.* A structure or enclosure relating to mechanical or electrical services to a building.

*Utility hardware.* Devices such as poles, crossarms, transformers and vaults, gas pressure regulating assemblies, and hydrants that are used for water, gas, oil, sewer, and electrical services to a building or a project.

## **4. CRITERIA FOR APPERANCE**

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### **I. RELATIONSHIP OF BUILDING TO SITE**

- A.** The site shall be planned to accomplish a desirable transition from the sit to the adjoining streetscape and to provide for adequate planting, safe pedestrian movement, and parking areas.
- B.** Site planning is encouraged to provide an interesting relationship between buildings.
- C.** Without restricting the permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
- D.** Newly installed utility services, and service revisions necessitated by exterior alterations, shall be underground.

### **II. RELATIONSHIP OF BUILDINGS AND SITE TO ADJOINING AREA (OUTSIDE OF SUBDIVISION)**

- A.** Attractive landscape transition to adjoining properties shall be provided where possible.
- B.** Harmony in texture, lines, and masses is required. Monotony shall be avoided.

### **III. LANDSCAPE AND SITE TREATMENT**

Landscape elements included in these criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.

- A.** Where natural or existing topographic patterns contribute to beauty and utility of a development, they shall be preserved and developed. Modification to topography will be permitted where it contributes to good appearance. All modifications to topography shall be designed to provide varied and more natural grading practices. Consistent, even topography that provides an engineered feel is not acceptable.
- B.** Grades of walks, parking spaces, terraces, and other paved areas shall provide an inviting and stable appearance for walking and, if seating is provided, for sitting.
- C.** Landscape treatment shall be provided to enhance architectural features, strengthen vistas and important axes, and provide shade.
- D.** Unity of the design shall be achieved by repetition of certain plant varieties and other materials and by correlation with adjacent developments. All projects are required to use the minimum number of species under each category from the variety list in Appendix A.
  - 1.** A minimum of two species listed under the deciduous tree category
  - 2.** A minimum of one species listed under the coniferous tree category
  - 3.** A minimum of one species listed under the deciduous shrubs category
  - 4.** A minimum of one species listed under the coniferous shrubs category
- E.** Plant material shall be selected for interest in its structure, texture, and color and for its ultimate growth. Plants that are indigenous to the area and others

that will be hardy, harmonious to the design, and of good appearance shall be used.

- F.** The landscape plan shall be designed to provide natural undulating landscape forms. Avoid consistent straight line plantings.
- G.** Irrigation of all landscape elements as defined above and turf area is required. Provide specification or information showing compliance in design submittal.
- H.** Parking areas and traffic ways shall be enhanced with landscaped spaces containing trees or tree groupings. Shrubs or other landscaping elements may be allowed in lieu of trees on a limited basis as approved by the City of La Vista within the PUD Landscape Plan.
- I.** Screening of service yards, mechanical, electrical, phone equipment and pedestals and other places that tend to be unsightly shall be accomplished by use of walls, fencing, planting, or combinations of those. Screening shall be equally effective in winter and summer.
- J.** Exterior lighting, when used, shall enhance the building design and the adjoining landscape. Lighting standards and fixtures for the parking areas and drives within the building area shall be similar in appearance and quality level as the light fixtures identified in Appendix B. Building fixtures shall be of a design and size compatible with the building and adjacent areas. Lighting shall be restrained in design and excessive brightness avoided. Wall Pack and exterior lighting with visible lamps are not permitted. Lighting shall be Dark Sky compliant, and limit wash onto abutting properties. Exceptions to Dark Sky compliance may be made for specific emergency lighting situations. Fixture, poles and/or other support cut sheets are required in the design submittal for all exterior lighting fixtures to be utilized.
- K.** Storm water management shall be integrated into the design of the site and landscaping. Storm water management criteria are found in the following reference materials:
  - 1. Papillion Creek Watershed Partnership Storm Water Management Policies
  - 2. Storm Water Management Regulations, Chapter 154 of the City of La Vista Municipal Code
  - 3. City of La Vista Subdivision Regulations, 2003 Edition and latest amendments
  - 4. Omaha Regional Storm Water Design Manual, Draft Revision of Chapter 8 dated June, 2012 or latest edition.
  - 5. Nebraska Bioretention and Rain Garden Plants Guide, 2010 or latest edition

#### **IV. BUILDING DESIGN**

- A.** Architectural style is not restricted; however architectural style should be consistent throughout the subdivision. Evaluation of the appearance of the projects shall be based on the quality of its design and relationship to surroundings.
- B.** Buildings shall have good scale and be harmonious conformance with permanent neighboring development.
- C.** All buildings are to be designed from a four-sided (360 degree) structure perspective, thus requiring the same caliber of finishes and design attention

on all facades of the building. Large areas of blank exterior are to be avoided and are grounds for non-compliance.

**D.** All buildings shall feature a prominent entrance.

**E. Building Materials:**

1. Building Materials shall be limited to the following:
  - a) Aluminum Composite Material (ACM)
  - b) Clear or tinted glass
  - c) Clay brick or stone
  - d) Integrally colored burnished or split face concrete block. Smooth concrete block may be allowed as accents.
  - e) Integrally colored EFIS (exterior insulated finishing system)
  - f) Integrally colored cast stone
  - g) Architectural Precast Concrete may be allowed as Accents
  - h) Integrally colored composite rain screen panels.
  - i) Any combination of the materials listed
2. Materials shall be selected for suitability to the type of buildings and the design in which they are used. Buildings shall have the same materials, or those that are architecturally harmonious, used for all building walls and other exterior building components wholly or partly visible from public ways.
3. Materials shall be of durable quality such as prefinished or integral color for long life with minimal maintenance. Any material requiring a field-applied finish shall have long life, i.e. coatings such as "TNEMEC" or equal. Product data shall be submitted for review.
4. In any design in which the structure frame is exposed to view, the structural materials shall be compatible within themselves and harmonious with their surroundings.

**F.** Building components, such as windows, doors, eaves and parapets, shall have good proportions and relationships to one another.

**G.** Intense, bright, or fluorescent colors should not be used as the predominant color on any wall or roof of any primary or accessory structure. These colors may be used as building accent colors, but should generally not constitute more than 10 percent of the area of each elevation of a building.

**H.** All overhead garage doors shall be recessed into the main building façade a minimum of 8 inches. Depth shall be relative to building wall construction.

**I.** Colors shall be harmonious and shall use only compatible accents.

**J.** Portions of low slope roofs of less than 1/12 may be allowed. They may be either adhered or ballasted. If adhered, the membrane shall be in the lighter color ranges, such as white, to be more energy conscious and less absorptive. An SRI of 29 or greater is required.

**K.** Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building or they shall be so located as not to be visible from an elevation view and all angles associated with any public view. A section view shall be provided demonstrating appropriate screening. Mechanical screening shall match building elements and materials. Ground mounted mechanical equipment may utilize vegetative or other screening in a design approved by the City.

- L.** Exterior lighting shall be part of the architectural concept. Fixtures, standards, and all exposed accessories shall be harmonious with building design. Use of more energy conscious lamps, such as LED's or similar is encouraged. The approved parking light fixture is provided in **Appendix B**.
- M.** If used, fencing and site furniture, including waste cans, directories, ash urns, guard rails or railing enclosures, shall be similar to those in existing locations in the Gateway Corridor Overlay District. The color of the site furnishings shall blend with the colors of the rest of the building/site. Provide selection documentation and color for review.
- N.** Refuse and waste removal areas, shall be screened from public view, using materials as stated in criteria for equipment screening.
- O.** All landscaping shall be in compliance with the Landscaping Requirements from the City of La Vista Zoning Ordinance.
- P.** Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest. In multiple building projects, variable siting or individual buildings may be used to prevent a monotonous appearance.
- Q.** Exterior roof access ladders are not allowed within the Woodhouse Place PUD District.
- R.** Exterior bracing of parapets or other features shall be screened from elevation views. Screening shall match building elements and materials.

## **V. SIGNS**

- A.** Every sign shall have good scale and proportion in its design and in its visual relationship to the buildings and surroundings.
- B.** Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- C.** The colors, materials, and lighting of every sign shall be restrained and harmonious with the building and site to which it principally relates.
- D.** The number of graphic elements on a sign shall be held to the minimum needed to convey the sign's major message and shall be composed in proportion to the area of the sign face.
- E.** Each sign shall be compatible with signs on adjoining premises and shall not compete for attention.
- F.** Identification signs of a prototype design and corporation logos shall conform to the criteria for all other signs.
- G.** Monument signage shall vary between vehicle manufacturers, and shall correspond w/ building materials and branding. These monument signs may be internally lit.
- H.** Dealer signage, or center monument signage reading "Woodhouse Place", shall be relatively similar in height, construction, and material usage as the other manufacturer signs, and may have low spot lighting.

## **VI. MAINTENANCE—PLANNING AND DESIGN FACTORS**

- A.** Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of

finishes and other protective measures, must be conducive to easy maintenance and upkeep.

- B.** Materials and finishes shall be selected for their durability and wear as well as for their beauty. Proper measures and devices shall be incorporated for protection against elements, neglect, damage, and abuse.
- C.** If prefinished metal is utilized, TNEMEC coated metal, or approved equal is required.

## **VII. FACTORS FOR EVALUATION**

The following factors and characteristics, which affect the appearance of the development, will govern the evaluation of a design submission:

- A.** Conformance to city ordinances and the Design Guideline
- B.** Logic of design.
- C.** Exterior space utilization.
- D.** Architectural character.
- E.** Attractiveness.
- F.** Material selection.
- G.** Harmony and compatibility.
- H.** Circulation - vehicular and pedestrian.
- I.** Maintenance requirements.

## **VIII. APPROVAL OF CHANGES AFTER DESIGN ACCEPTANCE**

It is the owner's responsibility to point out and submit any exterior modifications that are proposed between design acceptance and completion of construction to assure timely issuance of a Certificate of Occupancy.

## **5. PROCESS**

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**PRE-APPLICATION  
CONFERENCE:**

A pre-application conference with city staff and/or a preliminary meeting with the city design review architect gives the applicant an opportunity to discuss plans before a great deal of time or money is expended. If a certain design is inappropriate, the applicant will know beforehand.

**APPLICATION FOR  
DESIGN REVIEW:**

The applicant needs to fill out the "Application for Design Review and submit it along with the required submittals. A listing of required submittals is included as part of the application form. The application fee required for this submittal shall be in accordance with La Vista's Master Fee Schedule.

**RESUBMITTAL REQUIREMENTS:**

After the initial submittal, digital submissions are acceptable, with the exception of material and color samples. A final hard copy submittal in 11" x 17" format shall be required after final approval.

**DESIGN REVIEW:**

The City of La Vista staff in association with the city design review architect will review the submittal documents for compliance with the Woodhouse Place Design Guidelines.

**SCHEDULE OF REVIEWS:**

A completed application will take approximately three weeks to review. Incomplete applications may cause a delay. Additional reviews will be necessary for all revised submittals until a Certificate of Design Approval is issued.

**CERTIFICATE OF APPROVAL:**

Upon a successful review the City of La Vista will issue to the applicant a Certificate of Design Approval. A copy of this will need to be included with the Building Permit documents in order to receive a Building Permit.

**APPEALS:**

In the event where the applicant and the City cannot come to an agreement within 180 days of initial application submission, the applicant may request a meeting with the City Administrator regarding an appeal to the City Council.

**OCCUPANCY PERMIT:**

After the building permit is issued, all design requirements must be completed as approved in order for a Certificate of Occupancy to be issued.

**MAINTENANCE OF DESIGN REQUIREMENTS:**

The applicant needs to maintain the Design Requirements for the life of the project. In the event that they fail to do so, the City may revoke the Occupancy Permit.

## **APPENDIX A – Approved Plant List**

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### **DECIDIOUS TREES**

**Min. Size**  
2.5" cal

Downy Serviceberry/Amelanchier arborea – clump form  
Prairie Pride hackberry/Celtis occidentalis ‘Prairie Pride’  
Freeman Maple “Marmo”/ Acer saccharinum  
Burgundy Belle Red Maple/ Acer rubrum  
Norway Maple/ Acer platanoides  
Halka Honeylocust/ Gleditsia triacanthos var. inermis “Halka”  
Prairifire Crab/Malus ‘Prairifire’  
Swamp White Oak/Quercus bicolor  
Glenleven Littleleaf Linden/Tilia x flavescens ‘Glenleven’  
River Birch/Betula Nigra  
Heritage Oak/ Quercus virginiana  
Chinquapin Oak/ Quercus muehlenbergii  
Kentucky Coffee/ Gymnocladus dioicus espresso  
Adams Crab/ Malus ‘Adams’  
Snowdrift Crab/ Malus ‘Snowdrift’  
Greenspire/ Tilia cordata  
Red Maple/ Acer rubrum

### **CONIFEROUS TREES**

6' tall

Colorado Spruce/Picea pungens  
Vanderwolf Pine/ Pinus flexilis ‘Vanderwolf’s’  
Bosnian Pine/ Pinus heldreichii  
Black Hills Spruce/ Picea glauca

### **DECIDUOUS SHRUBS**

5 gallon

Miniature Snowflake Mockorange/Philadelphus x ‘Miniature Snowflake’  
Gro-Low Fragrant Sumac/Rhus aromatica ‘Gro-Low’  
Japanese White Spirea/Spirea albiflora  
Anthony Waterer Spirea-Sapho/Spirea x bumalda ‘Anthony Waterer’  
Hancock Coralberry/Symporicarpos x chenault ‘Hancock’  
Dwarf Lilac/ Syringa meyeri ‘Palibin’  
Alpine Currant/ Ribes alpinum  
Burning Bush/ Euonymus alatus  
Birchleaf Spirea  
Dogwood/ firedane red twig  
Blue muffin Viburnum

**CONIFEROUS SHRUBS** 5 gallon

Green Tam Juniper/ Juniperus Sabina ‘Tamariscifolia’  
Sea Green Juniper/ Juniperus chinensis ‘Sea Green’

**GROUNDCOVERS** 1 gallon

Purple Winter Creeper/Euonymus fortunei var. ‘Coloratus’  
Vinca Minor

**PERENNIALS/BULBS** 1 gallon

Butterscotch Ruffles Daylily/Hemerocallis ‘Butterscotch Ruffles’  
Fairy Tale Pink Daylily/Hemerocallis ‘Fairy Tale Pink’  
Hyperion Daylily/Hemerocallis ‘Hyperion’  
Irish Elf Daylily/Hemerocallis ‘Irish Elf’  
Little Business Daylily/Hemerocallis ‘Little Business’  
Pardon Me Daylily/Hemerocallis ‘Pardon Me’  
Happy Returns Daylily/Hemerocallis ‘Happy Returns’  
Mount Hood Daffodil/Narcissus sp. ‘Mount Hood’  
May Night Salvia/ Salvia nemorosa ‘May Night’

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**APPENDIX B – Approved Parking Light Fixture**



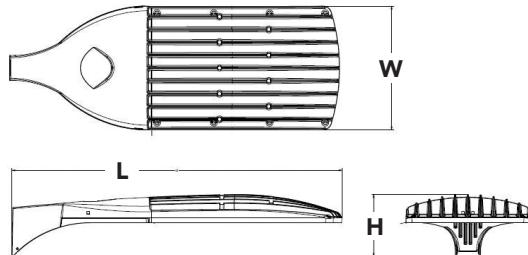
# D-Series Size 2

## LED Area Luminaire



### Specifications

EPA:	1.1 ft <sup>2</sup> (0.10 m <sup>2</sup> )
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/4" (18.4 cm)
Weight (max):	36 lbs (16.3 kg)



### Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED								
Series	LEDs	Drive current	Color temperature	Distribution			Voltage	Mounting
DSX2 LED	Forward optics	530 530 mA	30K 3000 K	T1S Type I Short	T5VS Type V Very Short	MVOLT <sup>7</sup>	Shipped included	
	80C 80 LEDs (four engine)	700 700 mA	40K 4000 K	T2S Type II Short	T5S Type V Short	120 <sup>7</sup>	SPA	Square pole mounting
	100C 100 LEDs (four engines)	1000 1000 mA <sup>2,3</sup> (1A)	50K 5000 K	T2M Type II Medium	T5M Type V Medium	208 <sup>7</sup>	RPA	Round pole mounting
			AMBP <sup>C</sup> Amber phosphor converted <sup>4</sup>	T3S Type III Short	T5W Type V Wide	240 <sup>7</sup>	WBA	Wall bracket
	Rotated optics <sup>1</sup>			T3M Type III Medium	BLC Backlight control <sup>2,5,6</sup>	277 <sup>7</sup>	SPUMBA	Square pole universal mounting adaptor <sup>9</sup>
	90C 90 LEDs	1200 1200 mA <sup>2,3</sup> (1.2 A)		T4M Type IV Medium	LCCO Left corner cutoff <sup>2,5,6</sup>	347 <sup>7</sup>	RPUMBA	Round pole universal mounting adaptor <sup>9</sup>
				TFTM Forward Throw	RCCO Right corner cutoff <sup>2,5,6</sup>	480 <sup>8</sup>		
				Medium			Shipped separately	
							KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>

Control options	Other options	Finish (required)
<p><b>Shipped installed</b></p> <p>PER NEMA twist-lock receptacle only (no controls)<sup>11</sup></p> <p>PERS Five-wire receptacle only (no controls)<sup>11,12</sup></p> <p>PER7 Seven-wire receptacle only (no controls)<sup>11,12</sup></p> <p>DMG 0-10V dimming driver (no controls)<sup>13</sup></p> <p>DCR Dimmable and controllable via ROAM® (no controls)<sup>14</sup></p> <p>DS Dual switching<sup>15,16</sup></p> <p>PIRH Bi-level, motion/ambient sensor, 15'-30' mounting height, ambient sensor enable at 5fc<sup>17</sup></p>	<p><b>Shipped installed</b></p> <p>PIRH1FC3V Bi-level, motion sensor, 15'-30' mounting height, ambient sensor enabled at 1fc<sup>17</sup></p> <p>BL30 Bi-level switched dimming, 30%<sup>16,18</sup></p> <p>BL50 Bi-level switched dimming, 50%<sup>16,18</sup></p> <p>PNMTDD3 Part night, dim till dawn<sup>19</sup></p> <p>PNMT5D3 Part night, dim 5 hrs<sup>19</sup></p> <p>PNMT6D3 Part night, dim 6 hrs<sup>19</sup></p> <p>PNMT7D3 Part night, dim 7 hrs<sup>19</sup></p> <p>FAO Field Adjustable Output<sup>19</sup></p>	<p>DDBXD Dark bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural aluminum</p> <p>DWHXD White</p> <p>DBBTXD Textured dark bronze</p> <p>DBLBXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>

### Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>23</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>23</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>23</sup>
DSHORTSBK U	Shorting cap <sup>23</sup>
DSX2HS 80C U	House-side shield for 80 LED unit <sup>21</sup>
DSX2HS 90C U	House-side shield for 90 LED unit <sup>21</sup>
DSX2HS 100C U	House-side shield for 100 LED unit <sup>21</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>24</sup>
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>10</sup>

### Accessories

Ordered and shipped separately.

For more control options, visit [DTL](#) and [ROAM](#) online.

### NOTES

- Rotated optics option (L90 or R90) required for 90C.
- Not available in AMBP<sup>C</sup>.
- Not available with BLC, LCCO or RCCO distributions.
- Only available with 530mA or 700mA.
- Not available with 1200mA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: [sales@roamservices.net](mailto:sales@roamservices.net). N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

16 Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PERS, PER7, DCR, BL30, BL50 or PNMT options.

17 Requires an additional switched circuit.

18 PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PERS or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.

19 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PERS, PER7 or PNMT options. Not available with PIRH1FC3V.

20 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PERS, PER7, BL30 or BL50. Not available with PIRH1FC3V. Separate on/off required.

21 Dimming driver standard. Not available with PERS, PER7, DMG, DCR, DS, BL30, BL50 or PNMT options, PIRH or PIRH1FC3V.

22 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.

23 90 LEDs (90C option) only.

24 Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.

25 For retrofit use only.



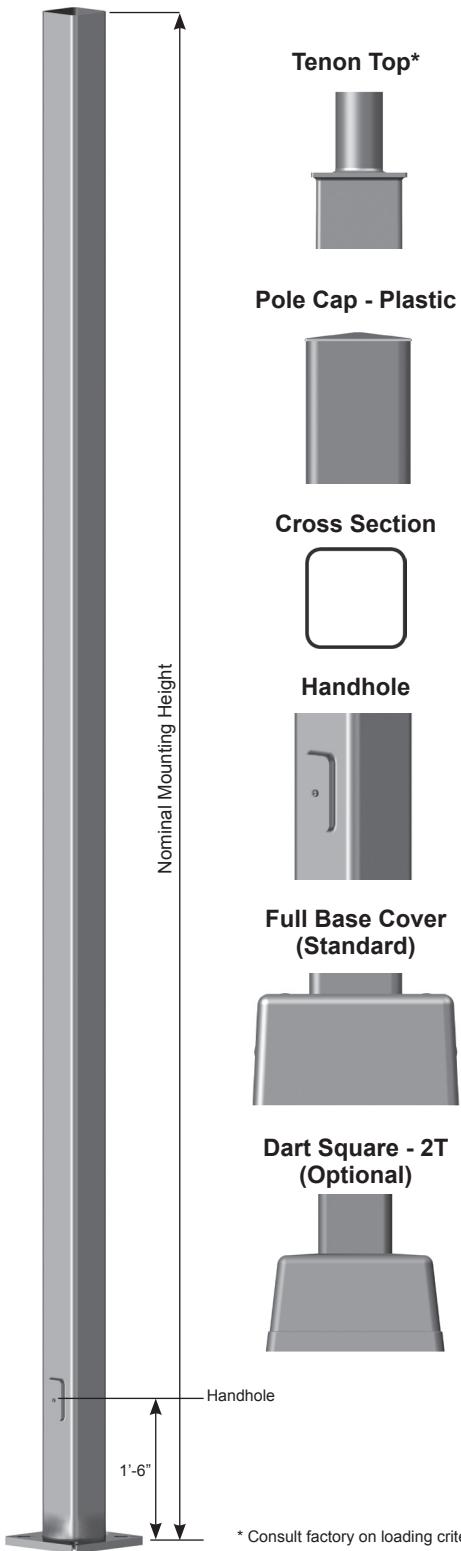
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Job Name: \_\_\_\_\_  
Job Location - City: \_\_\_\_\_ State: \_\_\_\_\_  
Product: \_\_\_\_\_ Quote: \_\_\_\_\_

Client Name: \_\_\_\_\_  
Created By: \_\_\_\_\_ Date: \_\_\_\_\_  
Customer Approval: \_\_\_\_\_ Date: \_\_\_\_\_

## SPECIFICATIONS



**Pole** - The pole shaft is fabricated from hot rolled commercial quality carbon steel of one-piece construction with a minimum yield strength of 55,000 psi.

**Pole Top** - A removable pole cap is provided for poles receiving drilling patterns for side-mount luminaire arm assemblies. For top mount luminaire and/or bracket consult the factory.

**Handhole** - A covered handhole and grounding provision with hardware is provided.

**Full Base Cover** - The two-piece standard full base cover is fabricated from ABS plastic. Optional Dart Square-2T cast and decorative base covers available as special order.

**Anchor Base** - The anchor base (base plate) conforms to ASTM A36.

**Anchor Bolts** - Anchor bolts conform to ASTM F1554 Grade 55 and are provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

**Hardware** - All structural fasteners are galvanized high strength carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

**Finish** - Standard finishes are galvanized, prime painted or any of Valmont's V-PRO™ Protection Systems. Additional finish options available upon request.

**Design Criteria** - Please reference Design Criteria Specification for appropriate design conditions.

\* Consult factory on loading criteria for pole top mounted luminaires and/or brackets.

# SOFT SQUARE STEEL

## DS330

### Fatigue Resistant



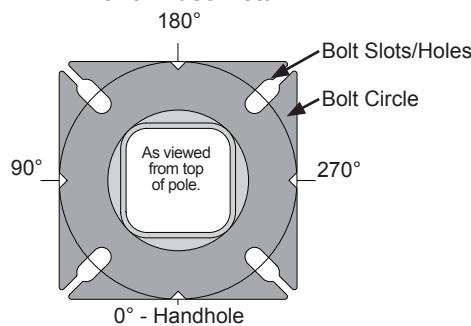
STRUCTURES

Job Name: _____	Client Name: _____		
Job Location - City: _____	State: _____	Created By: _____	Date: _____
Product: _____	Quote: _____	Customer Approval: _____	Date: _____

#### ANCHORAGE DATA

POLE BASE SQUARE (IN)	BASE PLATE				ANCHOR BOLTS		
	WALL THK (GA)	BOLT CIRCLE DIA (IN)	± (IN)	SQUARE THK (IN)	DIA x LENGTH x HOOK (IN)	PROJECTION (IN)	± (IN)
4.00	11	8.50	0.50	8.25	0.750 0.75 x 17.00 x 3.00	3.50	0.25
4.00	7	8.50	0.50	8.25	0.875 0.75 x 17.00 x 3.00	3.63	0.25
5.00	11	11.00	1.00	11.00	1.000 0.75 x 17.00 x 3.00	3.75	0.25
5.00	7	11.00	1.00	11.00	1.000 0.75 x 17.00 x 3.00	3.75	0.25
6.00	7	12.00	1.00	12.50	1.000 1.00 x 36.00 x 4.00	4.25	0.25

#### Anchor Base Detail



#### LOAD AND DIMENSIONAL DATA

NOMINAL MOUNTING HEIGHT	DESIGN INFORMATION						POLE DIMENSIONS (3)				MODEL NUMBER	
	80 MPH w/1.3 GUST		90 MPH w/1.3 GUST		100 MPH w/1.3 GUST		BASE SQUARE OD <sup>(3)</sup> (IN)	TOP SQUARE OD (IN)	WALL THK (GA)	STRUCTURE WEIGHT <sup>2</sup> (LBS)		
	MAX EPA <sup>1</sup> (SQ.FT)	MAX WEIGHT <sup>1</sup> (LBS)	MAX EPA <sup>1</sup> (SQ.FT)	MAX WEIGHT <sup>1</sup> (LBS)	MAX EPA <sup>1</sup> (SQ.FT)	MAX WEIGHT <sup>1</sup> (LBS)						
10'-0"	30.6	765	23.8	595	18.9	473	4.00	4.00	11	75	S400Q100	
12'-0"	24.4	610	18.8	470	14.8	370	4.00	4.00	11	90	S400Q120	
14'-0"	19.9	498	15.1	378	11.7	293	4.00	4.00	11	100	S400Q140	
16'-0"	15.9	398	11.8	295	8.9	223	4.00	4.00	11	115	S400Q160	
18'-0"	12.6	315	9.2	230	6.7	168	4.00	4.00	11	125	S400Q180	
	9.6	240	6.7	167	4.5	150	4.00	4.00	11	140	S400Q200	
20'-0"	17.7	443	12.7	343	9.4	235	5.00	5.00	11	185	S500Q200	
	28.1	703	21.4	535	16.2	405	5.00	5.00	7	265	S500W200	
	4.8	150	2.6	100	1.0	50	4.00	4.00	11	170	S400Q250	
25'-0"	10.8	270	7.7	188	5.4	135	4.00	4.00	7	245	S400W250	
	9.8	245	6.3	157	3.7	150	5.00	5.00	11	225	S500Q250	
	18.5	463	13.3	333	9.5	238	5.00	5.00	7	360	S500W250	
	6.7	168	4.4	110	2.6	65	4.00	4.00	7	291	S400W300	
30'-0"	4.7	150	2.0	50	N/A	N/A	5.00	5.00	11	265	S500Q300	
	10.7	267	6.7	167	3.9	100	5.00	5.00	7	380	S500W300	
	19.0	475	13.2	330	9.0	225	6.00	6.00	7	520	S600W300	
	5.9	150	2.5	100	N/A	N/A	5.00	5.00	7	440	S500W350	
35'-0"	12.4	310	7.6	190	4.2	105	6.00	6.00	7	540	S600W350	
40'-0"	7.2	180	3.0	75	N/A	N/A	6.00	6.00	7	605	S600W400	

1. Maximum EPA (Effective Projected Area) and weight values are based on side mounted fixtures only. Consult factory on loading criteria for pole top mounted luminaires and/or brackets. Variations from sizes above are available upon inquiry at the factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.
2. Structure weight is a nominal value which includes the pole shaft and base plate only.
3. Bellied-bottom will have reduced thickness due to the cold-working process. However, the bellied-bottom meets or exceeds the structural capacity of the original square section. In addition, the rounded section provides better fatigue resistance.

#### PRODUCT ORDERING CODES

DESIGN SERIES	MODEL NUMBER	Fixture Mounting	FINISH	COLOR	V-PRO™ PROTECTION SYSTEM	OPTIONS
DS330						See Accessories at valmontstructures.com (Please Specify)
	S400Q100 S400Q120 S400Q140 S400Q160 S400Q180 S400Q200 S500Q200 S500W200 S400Q250 S400W250 S500Q250 S500W250 S400W300 S500Q300 S500W300 S600W300 S500W350 S600W350 S600W400	Drill Mounting D1 = 1 Luminaire D2 = 2 @ 180° D4 = 4 @ 90° D5 = 2 @ 90° D6 = 3 @ 90°  Tenon Mounting P2 = 2.38" OD x 4.00" P4 = 4.00" OD x 6.00"	GV = Galvanize PP = Prime Paint FP = Finish Paint GF = Galvanized + Finish Paint	-- = Galvanize -- = Prime Paint WH = White ST = Sandstone BK = Black SM = Silver Metallic SL = Silver LG = Light Gray SG = Slate Gray DT = Dark Tan MB = Medium Bronze CB = Bronze DB = Dark Bronze BN = Brown HG = Hunter Green DG = Dark Green RD = Red SC = Special Color (Contact Factory)	-- = Galvanize -- = Prime Paint V1 = V-PRO 1 Basic 1 Coat Powder. V2 = V-PRO 2 2 Coat Powder or Liquid. Includes epoxy primer & top coat. V3 = V-PRO 3 2 Coat Powder or Liquid. Includes zinc primer & top coat. V4 = V-PRO 4 2 Coat Powder or Liquid. Includes zinc primer & premium top coat.	



**CITY OF LA VISTA  
PLANNING DIVISION  
RECOMMENDATION REPORT**

---

CASE NUMBERS: PRP23-0002;

FOR HEARING ON: MAY 16, 2023

REPORT PREPARED ON: MAY 9, 2023

**I. GENERAL INFORMATION**

**A. APPLICANT(S):**

LB Southwest, LLC  
12325 Emmet Street  
Omaha, NE 68164

**B. PROPERTY OWNERS:**

LB Southwest, LLC  
12325 Emmet Street  
Omaha, NE 68164

**C. LOCATION:** Southwest of the intersection of Giles Road and 144th Street (Highway 50).

**D. LEGAL DESCRIPTION:** Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1.

**E. REQUESTED ACTION(S):** Planned Unit Development (PUD) Site Plan and Ordinance amendment for Woodhouse Place.

**F. EXISTING ZONING AND LAND USE:** C-3 Highway Commercial / Office Park District with a Gateway Corridor District (Overlay District) and a PUD Planned Unit Development District (Overlay District); the property is currently developed as an automotive dealership.

**G. PURPOSE OF REQUEST:** Amendment to PUD Site Plan and Ordinance for an automobile dealership to incorporate a small automotive leasing facility into the site plan and to incorporate the Automotive Rental/Leasing use as permitted within the PUD area.

**H. SIZE OF SITE:** Approximately 30.67 acres.

## **II. BACKGROUND INFORMATION**

### **A. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Business Park	C-1 Shopping Center Commercial District with a Gateway Corridor District (Overlay District)	Vacant
East	Urban Medium Intensity Residential	R-1 Single Family Residential	Single Family Houses
South	Industrial	I-1 Light Industrial with a Gateway Corridor District (Overlay District), I-2 Heavy Industrial	Misc. Industrial Uses
West	Parks, Recreation, and Open Space (Sarpy Co.)	AG Agricultural (Sarpy Co.)	Chalco Hills Recreation Area

### **B. RELEVANT CASE HISTORY:**

1. City Council approved of an amendment to the Plat, the PUD, and the CUP for this project on April 4, 2017.
2. On August 21, 2018 City Council approved of an amendment to the PUD Site Plan and the PUD Ordinance in relation to Site Plan adjustments and signage.

### **C. APPLICABLE REGULATIONS:**

1. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District)
2. Section 5.13 of the Zoning Regulations – C-3 Highway Commercial / Office Park District

## **III. ANALYSIS**

### **A. COMPREHENSIVE PLAN:**

1. The Future Land Use Map of the La Vista Comprehensive Plan designates the subject property as Regional Commercial.

**B. OTHER PLANS: N/A.**

**C. TRAFFIC AND ACCESS:**

1. The proposed amendments have no expected impacts to the traffic or access aspects related to this development from what was approved with the original plat, PUD, and CUP on April 4, 2017.

**D. UTILITIES:**

1. The property has access to all necessary utilities.

**E. PARKING REQUIREMENTS:**

1. The minimum off-street parking stall requirement for flex space is one space per 500 square feet of gross floor area, Per Section 7.06 of the La Vista Zoning Ordinance. For the proposed buildings on the Woodhouse Place site, this requirement would equate to 228 parking stalls. The current proposed site plan depicts 1,660 parking stalls, well above the initial required amount.

**IV. REVIEW COMMENTS**

- A. The use of "Automotive Rental/Leasing" is not an allowed use within the underlying C-3 Highway Commercial / Office Park Zoning District. As such the use will be required to be allowed through the approval of an amendment to the original PUD Ordinance, approved through the initial approval process of the development. A redlined draft of the proposed PUD Ordinance is provided in the attachments to this report.
- B. The design of the additional building proposed in this request and the site immediately surrounding the building will be reviewed through the City's Architectural Design Review process, and must be substantially complete prior to the issuance of any building permits.

**V. PLANNING COMMISSION RECOMMENDATION – PUD AMENDMENT:**

The Planning Commission held a public hearing on April 20, 2023, and voted unanimously to recommend approval of the PUD Amendment as the request is consistent with the Zoning Regulations and the Comprehensive Plan.

**VI. STAFF RECOMMENDATION – PUD AMENDMENT:**

Staff recommends approval of the PUD Amendment as the request is consistent with the Zoning Regulations and the Comprehensive Plan.

## **VII. ATTACHMENTS TO REPORT:**

1. Vicinity Map
2. Staff Review Letter
3. Applicant Response Letter
4. Draft amendments to PUD Ordinance
5. PUD Site Plan Map Set

**VIII. COPIES OF REPORT SENT TO:**

- A. Paul Cech; LB Southwest, LLC
- B. Rob Vanderveen; Lamp, Rynearson & Associates, Inc.
- C. Public Upon Request

Prepared by: Deputy Community Development Director

## Community Development Director

5/9/23  
Date

Giles Road

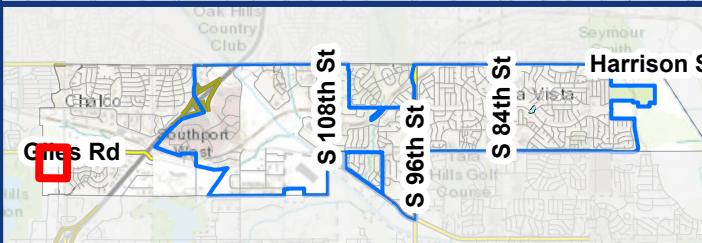
Virginia Street

**Proposed  
Enterprise  
Rental  
Facility  
Location**

S. 144th Street

S. 145th Street

### Vicinity Map - Woodhouse Place PUD Amendment



#### Legend

- Property Lines
- PUD Amendment Boundary





February 22, 2023

Rob Vanderveen  
Lamp Rynearson  
14710 W Dodge Road  
Omaha, NE 68154

RE: Planned Unit Development Amendment – Initial Review Letter  
Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1

Mr. Vanderveen,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.
2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.
3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

**City Hall**  
8116 Park View Blvd.  
La Vista, NE 68128-2198  
402.331.4343 [P](#)  
402.331.4375 [F](#)

**Community Development**  
8116 Park View Blvd.  
402.593.6400 [P](#)  
402.593.6445 [F](#)

**Library**  
9110 Giles Rd.  
402.537.3900 [P](#)  
402.537.3902 [F](#)

**Police**  
7701 S. 96th St.  
402.331.1582 [P](#)  
402.331.7210 [F](#)

**Public Works**  
9900 Portal Rd.  
402.331.8927 [P](#)  
402.331.1051 [F](#)

**Recreation**  
8116 Park View Blvd.  
402.331.3455 [P](#)  
402.331.0299 [F](#)

If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

4. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.
5. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.
6. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.
7. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.
8. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

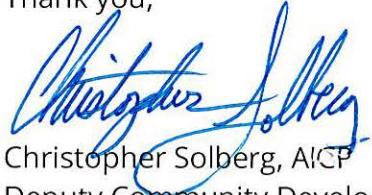
#### Landscaping Sheet

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

Please submit 2 full size revised copies of the PUD plans and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP  
Deputy Community Development Director  
City of La Vista  
[csolberg@cityoflavista.org](mailto:csolberg@cityoflavista.org)  
(402) 593-6402

cc:

Paul Cech, Woodhouse Auto Family  
Bruce Fountain, Community Development Director – City of La Vista  
Cale Brodersen, Associate Planner – City of La Vista  
Pat Dowse, City Engineer – City of La Vista  
Garrett Delgado, Engineer Assistant – City of La Vista

VIA Email

March 28, 2023

14710 W. Dodge Rd., Ste. 100  
Omaha, NE 68154  
[P] 402.496.2498  
[F] 402.496.2730  
LampRynearson.com

Mr. Christopher Solberg, AICP  
Deputy Community Development Director  
City of La Vista  
8116 Park View Blvd.  
La Vista, NE 68128

REFERENCE: Woodhouse Place  
Planned Unit Development (PUD) Amendment  
Comment Response - Initial Review  
Job No. 0116050.01-020

Dear Mr. Solberg:

Submitted herewith are our responses to the City of La Vista's comments from the letter dated February 22, 2023 regarding the Woodhouse Place PUD Amendment for Lot 2 and Replat 1 Lots 1 & 2 Initial Review submittal.

#### GENERAL COMMENTS

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.

**RESPONSE:** An updated schedule of construction has been included on the PUD Site Plan exhibit. The schedule of construction is listed here as well.

*The following are phase estimated completion dates:*

PHASE 1 - HYUNDAI DEALERSHIP	- SEPTEMBER 1, 2018
RIGHT-OF-WAY	- SEPTEMBER 1, 2018
PHASE 2 - EAST PARKING LOT	- OCTOBER 31, 2018
PHASE 3 - NISSAN DEALERSHIP	- MARCH 1, 2019
PHASE 4 - MAZDA DEALERSHIP	- DECEMBER 31, 2019
PHASE 5 - LINCOLN DEALERSHIP	- MARCH 1, 2020
PHASE 6 - ENTERPRISE RENTAL	- NOVEMBER 1, 2023

2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.

**RESPONSE:** The updated PUD site plan includes all easements within the project limits.

3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

**RESPONSE:** A utility plan has been provided illustrating the schematic sanitary sewer layout.

4. Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

**RESPONSE:** A utility plan and grading plan have been provided illustrating the schematic storm sewer layout and drainageways.

5. If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

**RESPONSE:** Understood.

6. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.

**RESPONSE:** The area of disturbance for Phase 6 is indicated on the PUD site plan. No substantial increase of impervious surface or modification of the existing drainage pattern is anticipated.

7. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.

**RESPONSE:** All right-of-way widths are shown on the updated PUD site plan.

8. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.

**RESPONSE:** The legal description has been updated as indicated.

9. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.

**RESPONSE:** A \$1,500 check has been provided by the owner.

10. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

**RESPONSE:** Understood.

#### **LANDSCAPING SHEET**

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

**RESPONSE:** Understood.

Comments were also received from the city's design review process on March 15, 2023 from Dan Kerns. An additional Enterprise Landscaping Plan has been included with this resubmittal. The following are responses to the landscape-related items.

**PUD – LANDSCAPE PLAN**

- a. Significant portions of the proposed plantings are straight line, which is not in compliance with 4.III.F.

**RESPONSE:** The landscaping plan varies plantings within the landscape islands and the perimeter landscaping to the south. The landscaping along 144<sup>th</sup> Street provides screening for the garage doors and is consistent with the current planting arrangement.

- b. No information provided to indicate irrigation IAW 4.III.F.

**RESPONSE:** All landscaped areas will receive irrigation. The irrigation limits are noted on the included Enterprise Landscape Plan.

The following documents are included with this submittal:

1. Revised PUD site plan (2 copies)
2. PUD utility plan (2 copies)
3. PUD grading plan (2 copies)
4. Enterprise landscape plan (2 copies)

Please call if you have any questions or concerns regarding this submittal.

Sincerely,

LAMP RYNEARSON



Rob Vanderveen, P.E.  
Senior Project Engineer

Enclosure

c w/enc:            Paul Cech  
                          Bruce Fountain  
                          Cale Brodersen  
                          Pat Dowse  
                          Garrett Delgado

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, ~~AMMENDING THE ZONING DISTRICT MAP OF THE CITY OF LA VISTA, NEBRASKA;~~ ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for Woodhouse Place (the "Woodhouse PUD") is hereby adopted for the following described real estate, to wit:

LEGAL DESCRIPTION

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Woodhouse PUD is hereby adopted to provide for the development of planned automotive dealerships that will service not only the City, but also the surrounding market area. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying commercial zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

Section 3. Definitions

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

A. "Automotive Rental" shall mean the rental of automobiles, noncommercial trucks, and motorcycles, including incidental maintenance and servicing.

A.B. "Automotive Sales" shall mean shall mean the storage and display for sale or lease, and the actual sale or lease, of new or used motor vehicles, or any type of trailer (provided the trailer is unoccupied) at any one time, and where repair or body work is incidental to the operation of the new or used motor vehicle sales or leasing operations. Automobile sales shall includes all motor vehicle retail sales and leases including cars, SUV's, trucks, vans, recreational vehicles, boats, motorcycles or other similar motorized transportation vehicles.

B.C. "Developer" shall mean LB Southwest, LLC, their successors and assigns.

C.D. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

D.E. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well-landscaped pedestrian places, pools, pool decks and roof gardens.

E.F. "Woodhouse PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guidelines, landscaping, etc.

F.G. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.

G.H. "Woodhouse Place Design Guidelines" shall mean the specific guidelines jointly developed, agreed to and amended by Developer and City for the Subdivision for the purpose, among others, of creating cohesiveness and ensure quality of materials, aesthetics and maintenance upon which all tenants and owners can rely and to ensure view continuity and creation of a sense of place through the use of common elements of site and architecture. A copy of the Woodhouse Place Design Guidelines is attached to this Woodhouse PUD as Exhibit "C".

H.I. "Subdivision" shall mean the 30.67 acres of land described in Exhibit "A" hereto, to be known as "Woodhouse Place."

#### Section 4. Parcel Identification Map

Attached hereto and made a part of Woodhouse PUD for parcel delineation is the Parcel Identification Map for the Woodhouse PUD marked as Exhibit "B".

#### Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

#### Section 6. Allowed Uses

Unless otherwise provided in this Ordinance, all Permitted and Permitted Conditional Uses allowed within the C-3 Highway Commercial/Office Park District shall be allowed within the Woodhouse Place PUD area, except as modified below:

A. The following uses shall be allowed outright:  
i. Automotive Rental

#### Section 76. Building Design Guidelines and Criteria

A copy of the Woodhouse Place Design Guidelines in the form approved and amended by the City is attached to this Woodhouse PUD as Exhibit "C". All applications shall adhere to requirements of the approved Woodhouse PUD and Design Guidelines. Prior to issuance of a

building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria. The Woodhouse Place Design Guidelines shall take the place of Appendix A, B, and C of the City's Commercial Building Design Guide and Criteria dated September 17, 2013.

## Section 78. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

### A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Woodhouse PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Woodhouse PUD and Woodhouse Place Design Guidelines.
- ii. Unless otherwise specified herein, the development of the Woodhouse PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

### B. Land Use Design Criteria

Unless provided otherwise in this Woodhouse PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate commercial zoning district shall apply to any development within Lots 1 and 2 Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One. The negative elements of such uses as loading docks, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The intent of the design and layout of Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One Lots 1 and 2, Woodhouse Place is to develop the site for motor vehicle sale and lease uses, with service and repair as an accessory use.
  - a. Building Height. Permitted building heights shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
  - b. Building Setback. Building setbacks shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.

- c. Landscaping. Landscaping along Highway 50 (South 144<sup>th</sup> Street) and Giles Road and throughout the Subdivision shall be consistent with the PUD Site Plan map set, Exhibit "B" and the Woodhouse Place Design Guidelines, Exhibit "C". A complete and detailed landscape plan is required prior to building permit approval to assure compliance with the vision of Woodhouse Place and its approved guidelines.
- d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Woodhouse Place Design Guidelines

The Woodhouse Place Design Guidelines take the place of Gateway Corridor District Design Guideline dated September 17, 2013.

D. Access and Off-Street Parking

- i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and subdivision agreement. Any deviation from this shall require the approval of the City.
- ii. Off-Street Parking. Parking on lots in Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One Lots 1 and 2 should be provided based on the aggregate ratio of one (1) off-street parking spaces per five hundred (500) square feet of gross floor area of improvements constructed on each lot, separate from those spaces dedicated to automotive sales inventory, unless off-site/public parking is utilized with approval of the city.

E. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Woodhouse PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Woodhouse PUD shall control.

This Ordinance recognizes that because of the size and scope of the project, and because access will be obtained to the development via large public arterial streets, the project has an extraordinary need for flexibility in the signage regulations applicable thereto. See the PUD Site Plan map set, Exhibit "B", for proposed site signage approximate locations.

- i. Center Identification Signs. Free standing buildings on Lot 1 may be allowed to advertise on one Center Identification Sign as depicted on Lot 2 of the PUD Site Plan.

- ii. Monument Signs. Free-standing buildings on Lots 1 and 2 Woodhouse Place Replat 1 may be allowed to advertise on Monument Signs as depicted on Lot 2 Woodhouse Place of the PUD Site Plan. The overall development shall be limited to no more than four monument signs, one for each building located on Lots 1 and 2 Woodhouse Place as depicted on the PUD Site Plan. Monument signs shall not exceed twenty-one (21) feet in height.
- iii. On-Site Directional Signs. On-Site Directional Signs, such as signs indicating exits, loading areas and parking areas, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign. Freestanding On-Site Directional Signs shall not exceed three (3) feet in height.
- iv. Wall Signs. Free-standing buildings on Lot 1s and 2 Woodhouse Place Replat 1 are allowed a total of 2.5 square feet of wall signs per lineal foot of façade width on facades with frontage along a right-of-way to a maximum of 600 sq.ft.

Section 89. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 910. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 16<sup>TH</sup> DAY OF MAY, 2023.

CITY OF LA VISTA

ATTEST:

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Douglas Kindig, Mayor

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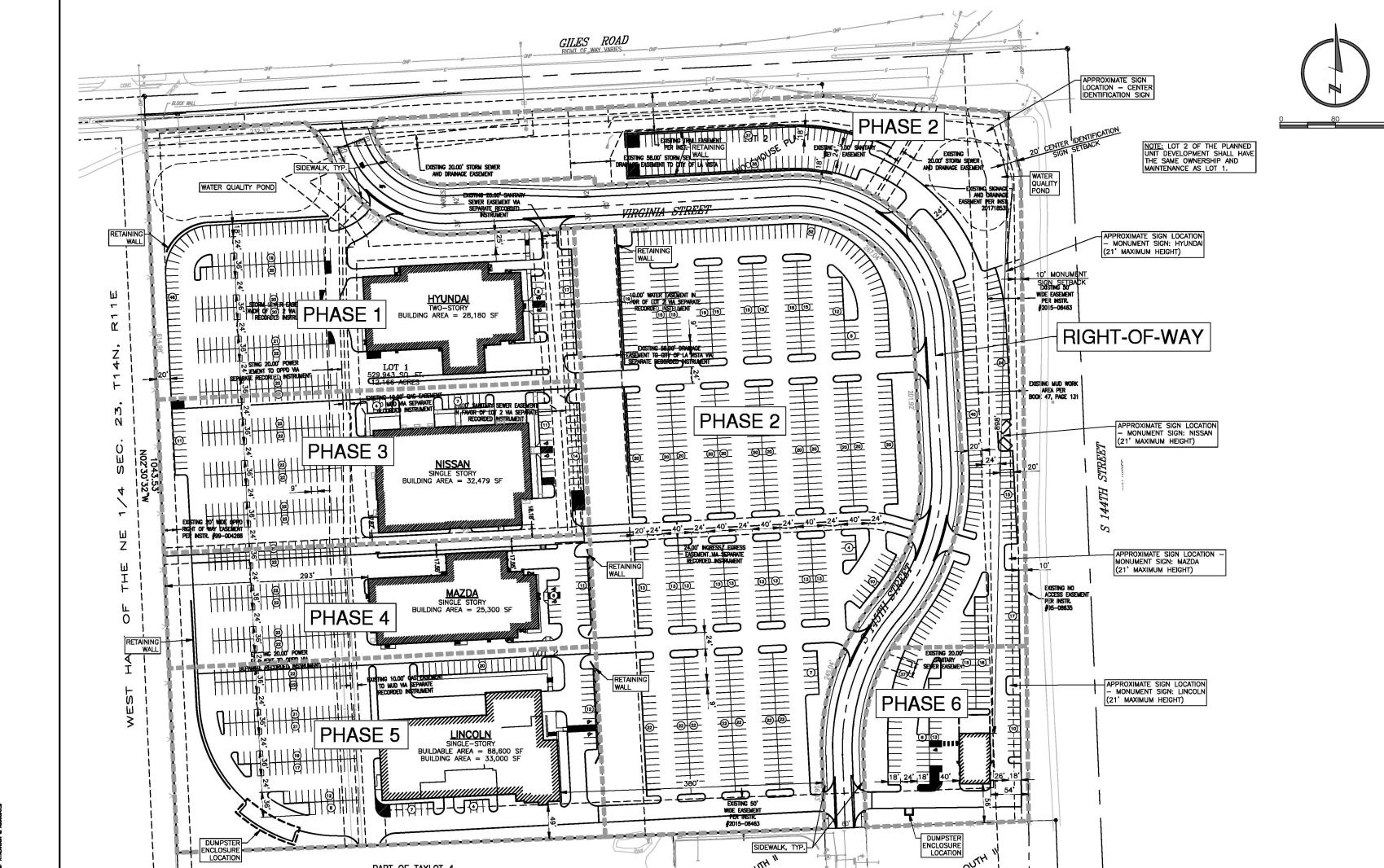
Pamela A. Buethe, CMC  
City Clerk

EXHIBIT A

| Lot 2 Woodhouse Place and Lots 1 and 2, Woodhouse Place Replat 1 located in the N ½, NE ¼, Section 23, Township 14 North, Range 11 East of the 6th P.M. Sarpy County, Nebraska.

**EXHIBIT B**

EXHIBIT C



#### PROJECT PHASING

THE FOLLOWING ARE ESTIMATED PHASE COMPLETION DATES:

PHASE 1 - HYUNDAI DEALERSHIP	SEPTEMBER 1, 2018
RIGHT-OF-WAY	SEPTEMBER 1, 2018
PHASE 2 - EAST PARKING LOT	OCTOBER 31, 2018
PHASE 3 - NISSAN DEALERSHIP	MARCH 1, 2019
PHASE 4 - MAZDA DEALERSHIP	DECEMBER 31, 2019
PHASE 5 - LINCOLN DEALERSHIP	MARCH 1, 2020
PHASE 6 - BY-LEVEL RETAIL	NOVEMBER 1, 2023

#### ACCESSIBLE STALLS

REPLAT 1, LOTS 1 AND 2:  
ACCESSIBLE STALLS REQUIRED: 7  
VAN ACCESSIBLE STALLS PROVIDED: 4  
TOTAL ACCESSIBLE STALLS PROVIDED: 8

ACCESSIBLE STALLS REQUIRED: 7 (1 VAN) PER SECTION 7.08 BASED ON 220 CUSTOMER/EMPLOYEE STALLS REQUIRED FOR BUILDING  
SQUARE FOOTAGE. REMAINDER OF PARKING STALLS ARE VEHICLE  
STORAGE OR DISPLAY ONLY.

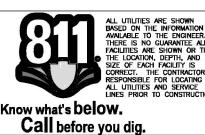
LOT 2:  
ACCESSIBLE STALLS PROVIDED: 0  
VAN ACCESSIBLE STALLS PROVIDED: 1

TOTAL ACCESSIBLE STALLS PROVIDED: 1

ACCESSIBLE STALLS REQUIRED: 1 (1 VAN) PER SECTION 7.08 BASED ON 7 CUSTOMER/EMPLOYEE STALLS REQUIRED FOR BUILDING  
SQUARE FOOTAGE. REMAINDER OF PARKING STALLS ARE VEHICLE  
STORAGE OR DISPLAY ONLY.



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JOH NAMER TAKIS	
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REVISIONS	
14710 West Dodge Road, Suite 100	402-496-2498
Omaha, Nebraska 68154-2027	402-496-2730
www.LRA-Nebraska.com	
LAMP RYNEARSON & ASSOCIATES	
WOODHOUSE PLACE	
SARPY COUNTY, NEBRASKA	
PLANNED UNIT DEVELOPMENT	
SITE PLAN	
LAMP RYNEARSON - ENGINEERS	
PRELIMINARY	
NOT RELEASED FOR CONSTRUCTION	
SHEET	
1 OF 1	



### FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO:
  - EXTERIOR FACE OF METAL PANEL.
  - INTERIOR FACE OF GYPSUM WALL BOARD.
  - STOREFRONT EXTERIOR FACE OF FRAME.
  - OPENINGS: NOMINAL OPENING WIDTH.
2. COORDINATE W OWNER'S CARWASH VENDOR

FLOOR PLAN NOTES 

#	NOTE
1	REPLACE (1) LAYER GWB W/(1) LAYER 1/2" OSB
2	CASEWORK BY OWNER
3	DIAGONAL BRACING, SEE STRUCT.
4	6" GALVANIZED PIPE BOLLARD, FILL WITH CONCRETE AND CAP.
5	SLOPE CONC. SLAB TO DRAIN
6	ROOF HATCH & LADDER

**STRUCTURAL ENGINEER**  
**LANGE STRUCTURAL GROUP**  
1919 S 40TH STREET, SUITE 302  
LINCOLN NE 68506  
V 402 421 8540  
[langestructuralgroup.com](http://langestructuralgroup.com)

MEP ENGINEER  
MORRISSEY ENGINEERING  
4840 N 118TH ST  
OMAHA, NE 68164  
V 402 491 4164

**CIVIL ENGINEER**  
**LAMP RYNEARSON**  
147 10 W DODGE RD #100  
OMAHA, NE 68154  
V 402 496 2498  
lrcinc.com

REVISIONS SCHEDULE

WOODHOUSE PLACE .  
ENTERPRISE

PROJECT:22041 DATE: 3/27/2023  
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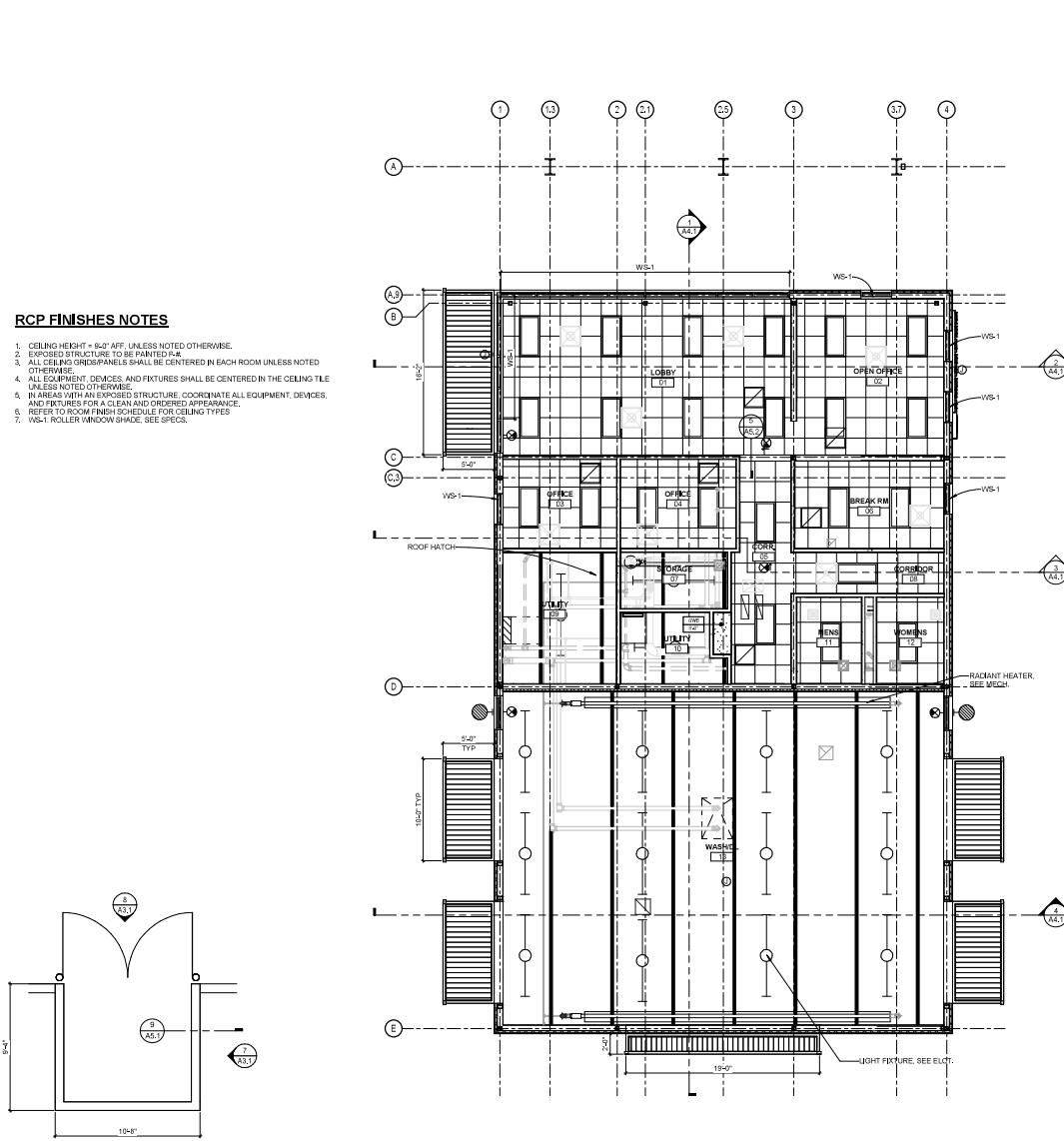
**FIRST FLOOR PLAN,  
REFLECTED CEILING  
PLAN, & ROOM FINISH  
SCHEDULE**

NORTH

ROOM NO	ROOM NAME	FLOOR	BASE	CEILING MAT	WALL MATERIAL				REMARKS
					N	S	E	W	
01	LOBBY	T-1	T-1	ACT-1	-	P-1	P-1	NOTE 1	-
02	OPEN OFFICE	OPT-1	RB-1	ACT-1	-	P-1	P-1	P-1	1: VINYL WALL GRAPHIC BY TENANT.
03	OFFICE	OPT-1	RB-1	ACT-1	-	P-1	P-1	P-1	
04	OFFICE	OPT-1	RB-1	ACT-1	-	P-1	P-1	P-1	
05	CORR	T-1	T-1	ACT-1	-	P-1	P-1	P-1	
06	BREAK RM	VC-1	RB-1	ACT-1	RB-1/BL-1	FR-1/FR-1	FR-1/FR-1	FR-1/FR-1	1: VINYL WALL GRAPHIC BY TENANT. 2: 48" OFF. PAINT ABOVE CORER.
07	STORAGE	SC	RB-1	ACT-1	FR-1/FR-1	P-1	P-1	P-1	PREVIOUS VERTICAL 48" FR SHEET AT MCP BHK CORER.
08	CORRIDOR	T-1	T-1	ACT-1	-	P-1	P-1	P-1	
09	UTILITY	SC	RB-1	EXP	PVC	PVC	PVC	PVC	
10	UTILITY	SC	RB-1	EXP	PVC	PVC	PVC	PVC	
11	MENS	T-2	T-2	ACT-1	T-3/FR-1	T-3/FR-1	T-3/FR-1	T-3/FR-1	
12	WOMENS	T-2	T-2	ACT-1	T-3/FR-1	T-3/FR-1	T-3/FR-1	T-3/FR-1	
13	WASHRJ	SC	RB-1	EXP	PVC	PVC	PVC	PVC	

## RCP FINISHES NOTES

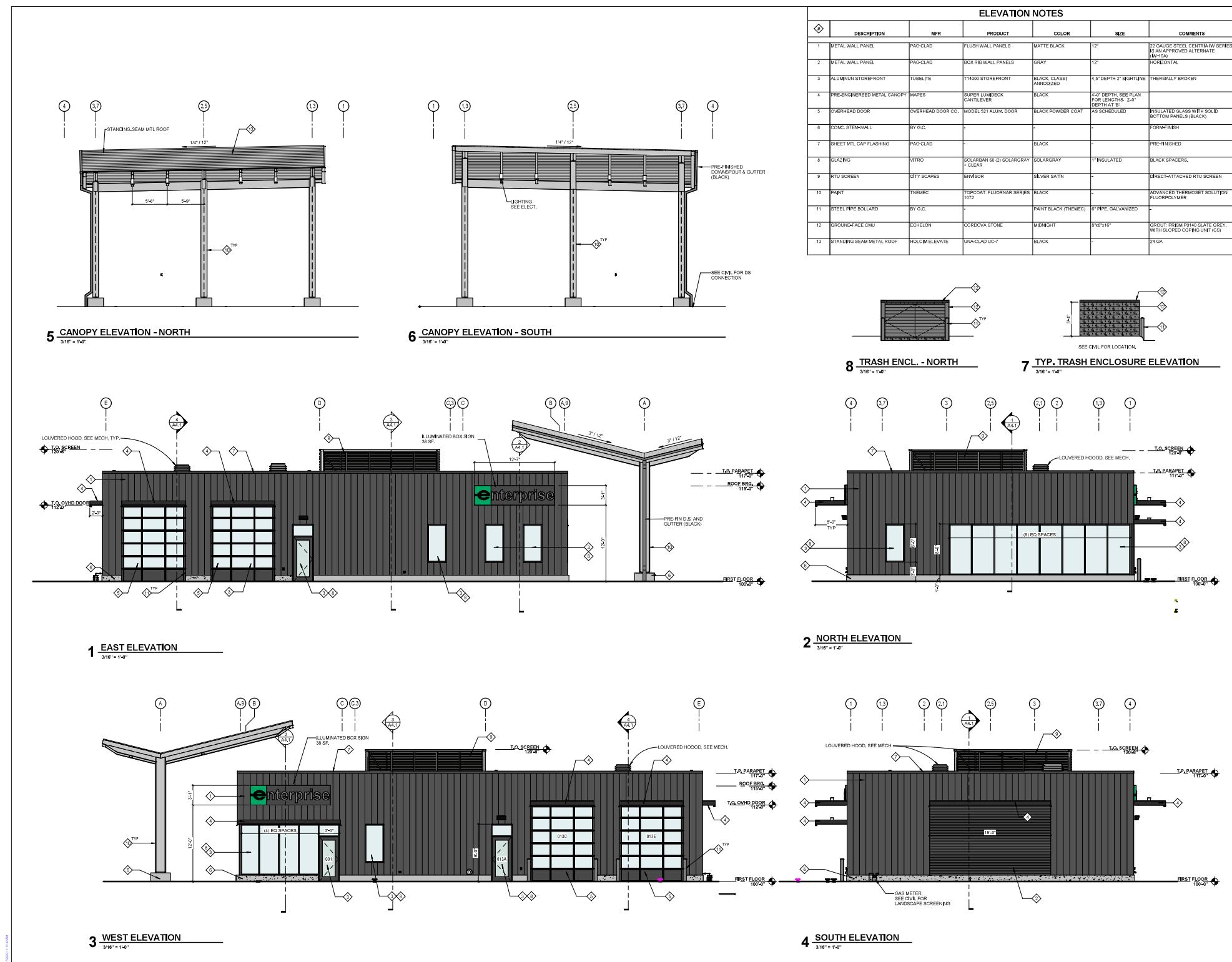
1. CEILING HEIGHT = 9'0" AFF. UNLESS NOTED OTHERWISE.
2. EXPOSED STRUCTURE TO PAINTED P.W
3. ALL CEILING GRID/SPANELS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
4. ALL EQUIPMENT, DEVICES, AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
5. INSURE THAT EXPOSED STRUCTURE, COORDINATE ALL EQUIPMENT, DEVICES, AND FIXTURES FOR A CLEAN AND ORDERED APPEARANCE.
6. REFER TO ROOM FINISH SCHEDULE FOR CEILING TYPES
7. WS-1. ROLLER WINDOW SHADE. SEE SPECS.

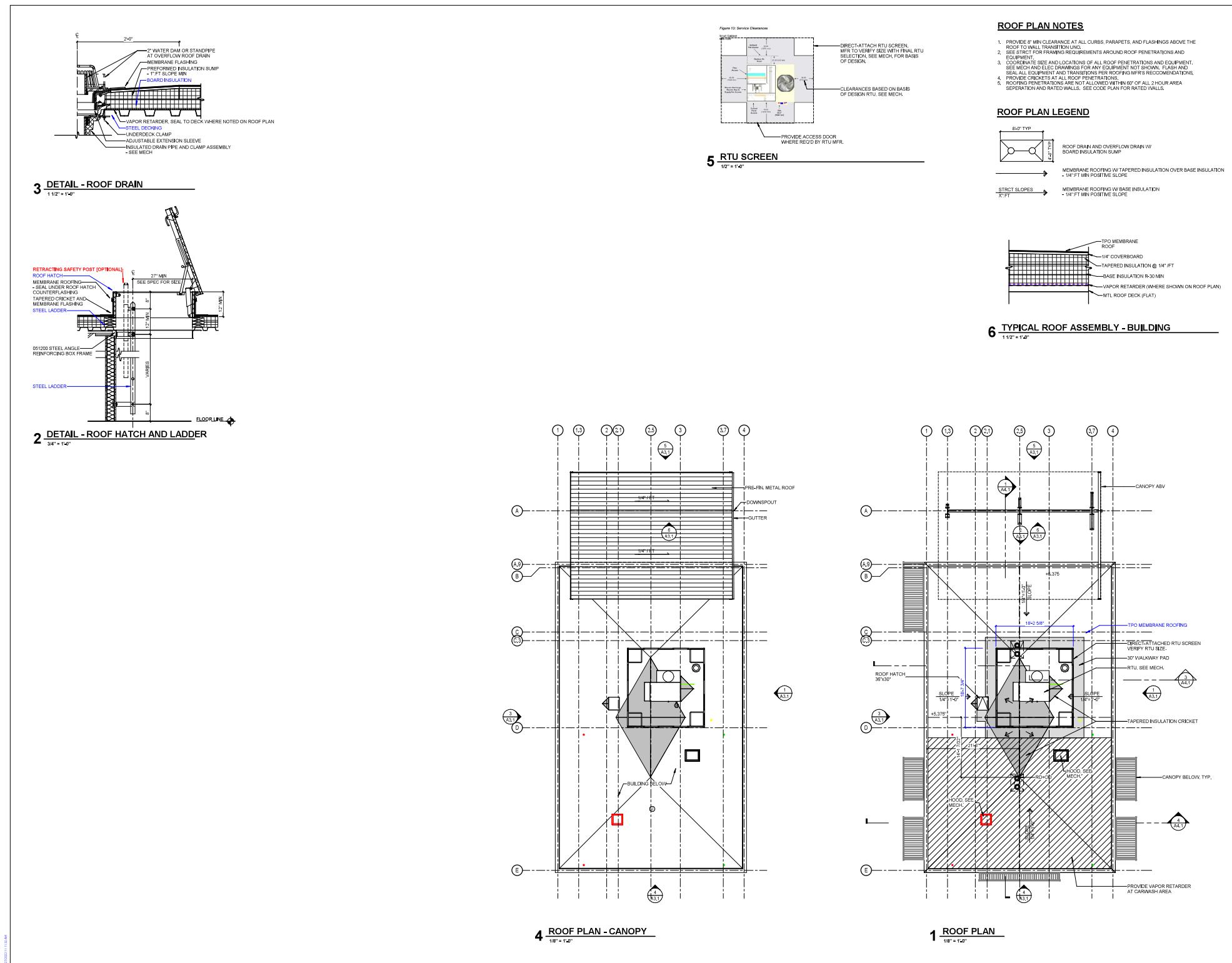


### **3 PLAN - DUMPSTER ENCLOSURE**

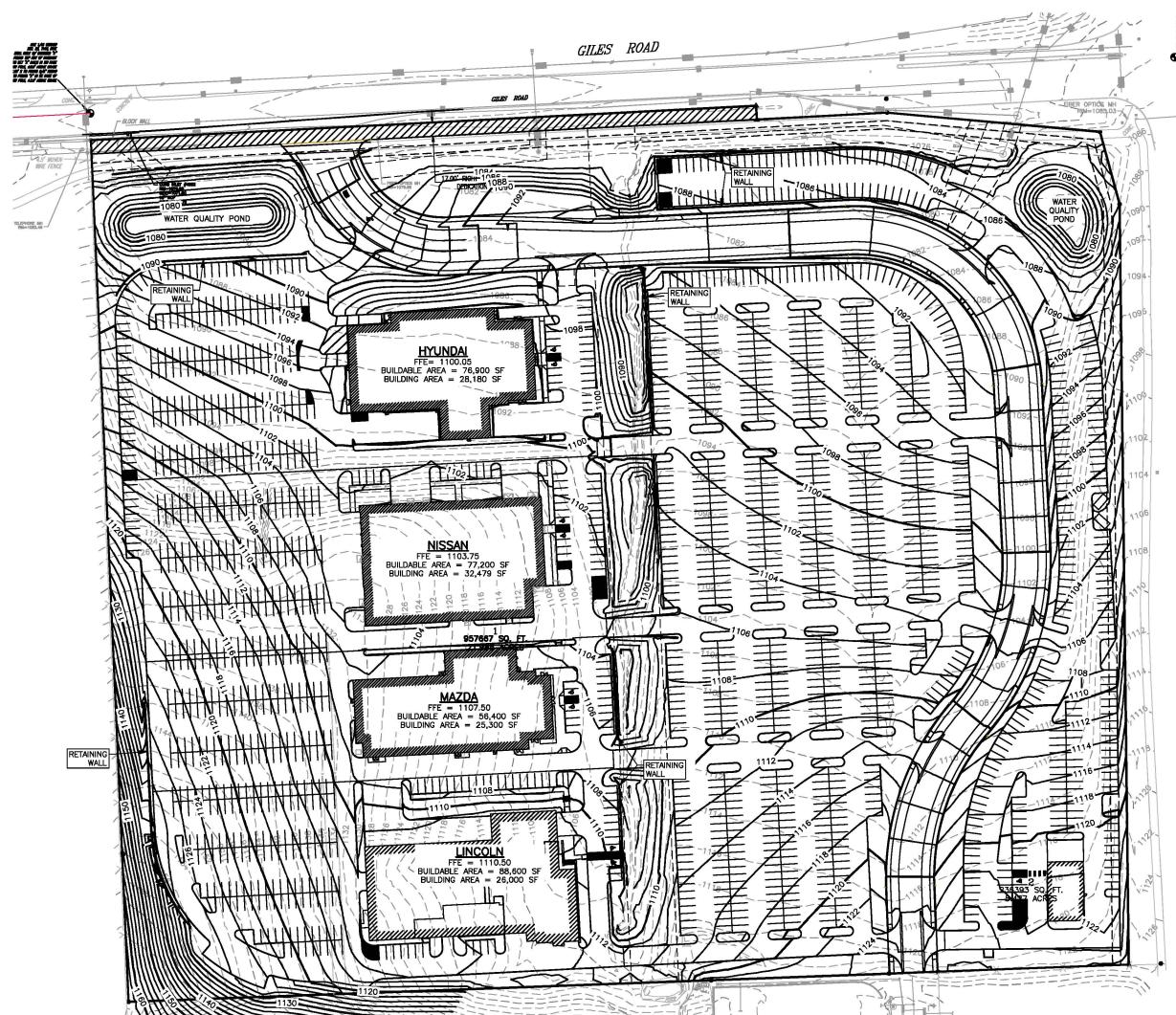
## 2 FIRST FLOOR REFLECTED CEILING PLAN

## 1 FIRST FLOOR PLAN









S 144TH STREET

## LEGEND

	PROPERTY LINE		PROPOSED CONTOUR
	SANITARY SEWER		EXISTING CONTOUR
	STORM SEWER		PC CURB AND GUTTER
	FIBER OPTIC		RETAINING WALL
	GAS		PC CONCRETE SIDEWALK
	WATER		PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER
	UNDERGROUND POWER		BUILDING
	OVERHEAD POWER		PARKING STALL COUNT
	TELEPHONE		BUILDABLE AREA
	CABLE TELEVISION		
	MANHOLE		
	CURB INLET		
	GRATE INLET		
	HOODED GRATE INLET		
	HYDRANT		
	WATER HYDRANT		
	GAS MANHOLE		
	LIGHT POLE		

1000 J. POLYMER SCIENCE: PART A

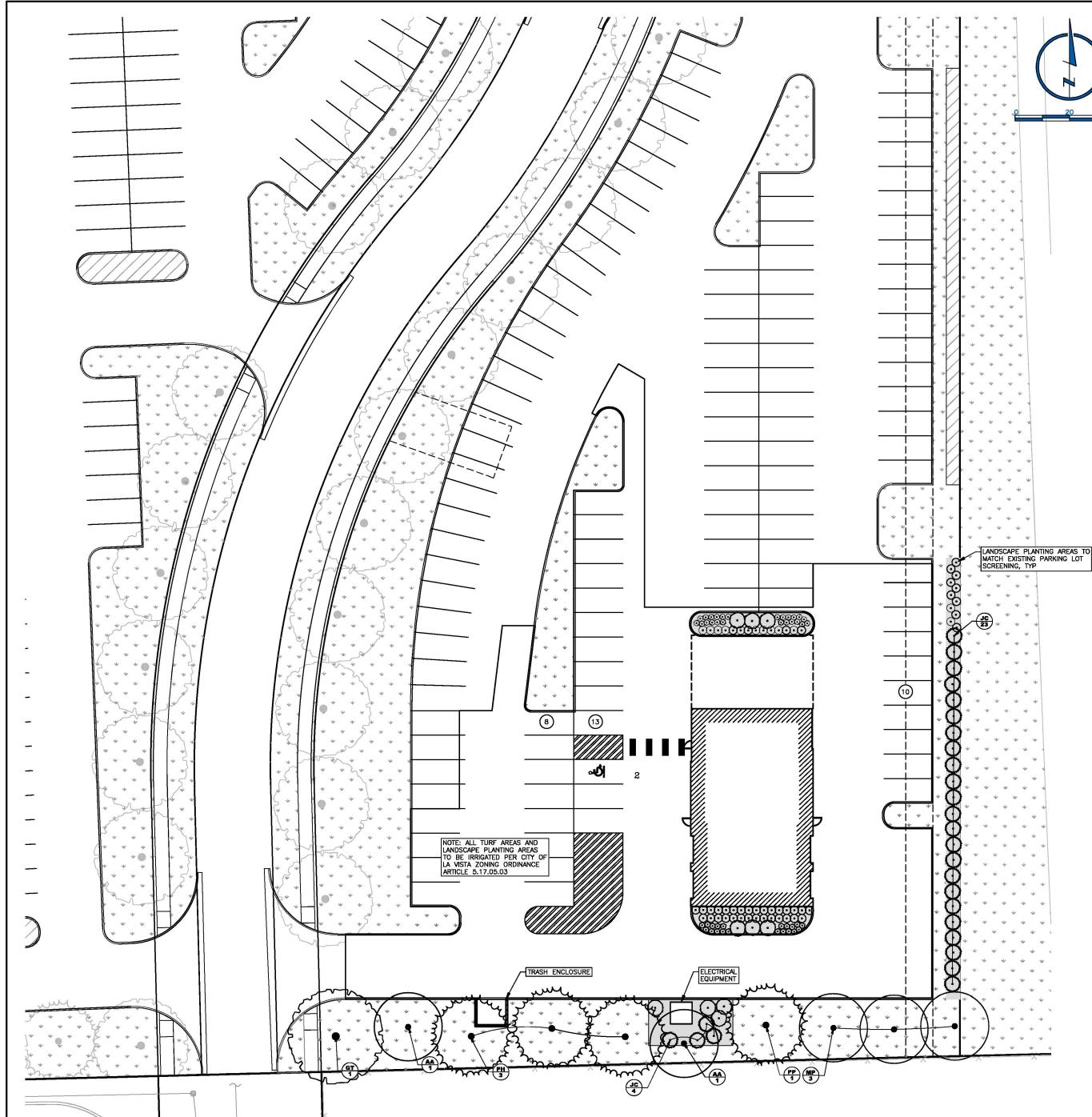
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1 OF 1



ALL UTILITY  
LINES PRIOR



TREE LEGEND						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
<b>DECIDUOUS TREES</b>						
	CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5" Cal.	50-75	50
	AR	Acer rubrum 'Magnificent Mognato'	Burgundy Belle Red Maple	2.5" Cal.	45	45
	GT	Gleditsia triacanthos var. inermis 'Helika'	Halka Honeylocust	2.5" Cal.	40	40
	QB	Quercus bicolor	Swamp White Oak	2.5" Cal.	50-60	40-50
	QM	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	40-50	50
	GD	Gymnocladus dioicus 'Espresso'	Kentucky Coffeetree 'Espresso'	2.5" Cal.	50-60	40-50
	TC	Tilia cordata 'Greenspire'	Greenspire Linden	2.5" Cal.	40-50	30-35
	AA	Amelanchier arborea	Downy Serviceberry, clump-form	2.5" Cal.	15-25	15-25
	MP	Malus 'Prairiefire'	Prairiefire Crabapple	2.5" Cal.	15-20	15-20
	MA	Malus 'Adams'	Adams Crabapple	2.5" Cal.	25	20
	MS	Malus 'Snowdrift'	Snowdrift Crabapple	2.5" Cal.	15-20	20-25
<b>CONIFEROUS TREES</b>						
	PP	Picea pungens	Colorado Spruce	6'-7' Ht.	60	10-20
	PH	Pinus heldreichii	Bosnian Pine	6'-7' Ht.	50-70	20-40
	PG	Picea glauca	Black Hills Spruce	6'-7' Ht.	35-45	25-30
	JC	Juniper chinensis 'Spartan'	Spartan Juniper	6'-7' Ht.	15	5
<b>SHRUB, GROUNDCOVER, PERENNIAL, AND ORNAMENTAL GRASS LEGEND</b>						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH
	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 Gal.	4-6	4-6
	JS	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 Gal.	1-1.5	3-5
	SC	Symphoricarpos x chenault 'Hancock'	Hancock Coralberry	5 Gal.	1.5-2	6-8
	SB	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	5 Gal.	3-4	3-4
	CS	Cornus stolonifera 'Farrow'	Arctic Fire Dogwood	5 Gal.	3-4	3-4
	VD	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	5 Gal.	5-7	4-6
	RA	Rhus aromatica 'Gro Low'	Gro Low Sumac	5 Gal.	2.5-3	6-8
	CA	Calamagrostis acutiflora	Karl Foerster Feather Reed Grass	1 Gal.	2	3
	HL	Heucherella 'Little Business'	Little Business Daylily	1 Gal.	1.5	1-2
	HH	Heucherella 'Happy Returns'	Happy Returns Daylily	1 Gal.	1.5	1-2
	SN	Salvia nemorosa 'Mainacht'	May Night Salvia	1 Gal.	1.5	1.5-2
<b>LANDSCAPE PLANTING AREAS</b>						
	Turf-type fescue					
	Native grasses and forbs					
<b>SEEDING LEGEND</b>						
	Turf-type fescue					
	Native grasses and forbs					

**LANDSCAPE REQUIREMENTS:****STREET FRONTRAGE (7.17.03.02)**

## LOT 1:

STREET FRONTRAGE: 1,806 LF  
LANDSCAPE AREA REQUIRED (STREET FRONTRAGE X 15'): 27,090 SF  
LANDSCAPE AREA PROVIDED: 31,260 SF  
TREES REQUIRED (1 TREE/40 LF FRONTRAGE): 45 TREES  
TREES PROVIDED: 45

## LOT 2:

STREET FRONTRAGE: 2,108 LF  
LANDSCAPE AREA REQUIRED (STREET FRONTRAGE X 15'): 31,620 SF  
LANDSCAPE AREA PROVIDED: 34,284 SF  
TREES REQUIRED (1 TREE/40 LF FRONTRAGE): 54 TREES  
TREES PROVIDED: 54

**PERIMETER LANDSCAPING (7.17.03.02)**

## LOT 1:

STREET FRONTRAGE: 283 LF  
INTERIOR LANDSCAPING REQUIRED (1 SF/40 LF FRONTAGE): 7 TREES  
TREES PROVIDED: 7

## LOT 2:

STREET FRONTRAGE: 2,108 LF  
INTERIOR LANDSCAPING REQUIRED (1 SF/40 LF FRONTAGE): 54 TREES  
TREES PROVIDED: 54

**PARKING AREA INTERIOR LANDSCAPING (7.17.03.06)**

## LOT 1:

PARKING STALLS: 1,468 STALLS  
INTERIOR LANDSCAPING REQUIRED (10 SF/PARKING STALL): 14,680 SF  
INTERIOR LANDSCAPING PROVIDED: 14,284 SF

## LOT 2:

PARKING STALLS: 269 STALLS  
INTERIOR LANDSCAPING REQUIRED (10 SF/PARKING STALL): 2,690 SF  
INTERIOR LANDSCAPING PROVIDED: 9,131 SF

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FOR	2023
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**LAMP RYNEARSON & ASSOCIATES**  
14710 West Dodge Road, Suite 100, Omaha, Nebraska 68154-2027  
www.LRA-Inc.com

**ENTERPRISE LANDSCAPE PLAN**

LAMP RYNEARSON - ENGINEERS

**PRELIMINARY**

NOT RELEASED FOR CONSTRUCTION

**SHEET**

1 OF 1

