

AGENDA ITEM 4A

**PUD Amendment – Lot 2 Woodhouse Place and
Lots 1 & 2 Woodhouse Place Replat 2 – Woodhouse
Auto Family**



**CITY OF LA VISTA
PLANNING DIVISION
RECOMMENDATION REPORT**

CASE NUMBERS: PRP23-0002;

FOR HEARING ON: APRIL 20, 2023

REPORT PREPARED ON: MARCH 29, 2023

I. GENERAL INFORMATION

A. APPLICANT(S):

LB Southwest, LLC
12325 Emmet Street
Omaha, NE 68164

B. PROPERTY OWNERS:

LB Southwest, LLC
12325 Emmet Street
Omaha, NE 68164

C. LOCATION: Southwest of the intersection of Giles Road and 144th Street (Highway 50).

D. LEGAL DESCRIPTION: Lot 2, Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1.

E. REQUESTED ACTION(S): Planned Unit Development (PUD) Site Plan and Ordinance amendment for Woodhouse Place.

F. EXISTING ZONING AND LAND USE: C-3 Highway Commercial / Office Park District with a Gateway Corridor District (Overlay District) and a PUD Planned Unit Development District (Overlay District); the property is currently developed as an automotive dealership.

G. PURPOSE OF REQUEST: Amendment to PUD Site Plan and Ordinance for an automobile dealership to incorporate a small automotive leasing facility into the site plan and to incorporate the Automotive Rental/Leasing use as permitted within the PUD area.

H. SIZE OF SITE: Approximately 30.67 acres.

II. BACKGROUND INFORMATION

A. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

<u>Direction From Subject Property</u>	<u>Future Land Use Designation</u>	<u>Current Zoning Designation</u>	<u>Surrounding Development</u>
North	Business Park	C-1 Shopping Center Commercial District with a Gateway Corridor District (Overlay District)	Vacant
East	Urban Medium Intensity Residential	R-1 Single Family Residential	Single Family Houses
South	Industrial	I-1 Light Industrial with a Gateway Corridor District (Overlay District), I-2 Heavy Industrial	Misc. Industrial Uses
West	Parks, Recreation, and Open Space (Sarpy Co.)	AG Agricultural (Sarpy Co.)	Chalco Hills Recreation Area

B. RELEVANT CASE HISTORY:

1. City Council approved of an amendment to the Plat, the PUD, and the CUP for this project on April 4, 2017.
2. On August 21, 2018 City Council approved of an amendment to the PUD Site Plan and the PUD Ordinance in relation to Site Plan adjustments and signage.

C. APPLICABLE REGULATIONS:

1. Section 5.15 of the Zoning Regulations – PUD Planned Unit Development District (Overlay District)
2. Section 5.13 of the Zoning Regulations – C-3 Highway Commercial / Office Park District

III. ANALYSIS

A. COMPREHENSIVE PLAN:

1. The Future Land Use Map of the La Vista Comprehensive Plan designates the subject property as Regional Commercial.

B. OTHER PLANS: N/A.

C. TRAFFIC AND ACCESS:

1. The proposed amendments have no expected impacts to the traffic or access aspects related to this development from what was approved with the original plat, PUD, and CUP on April 4, 2017.

D. UTILITIES:

1. The property has access to all necessary utilities.

E. PARKING REQUIREMENTS:

1. The minimum off-street parking stall requirement for flex space is one space per 500 square feet of gross floor area, Per Section 7.06 of the La Vista Zoning Ordinance. For the proposed buildings on the Woodhouse Place site, this requirement would equate to 228 parking stalls. The current proposed site plan depicts 1,660 parking stalls, well above the initial required amount.

IV. REVIEW COMMENTS

- A. The use of "Automotive Rental/Leasing" is not an allowed use within the underlying C-3 Highway Commercial / Office Park Zoning District. As such the use will be required to be allowed through the approval of an amendment to the original PUD Ordinance, approved through the initial approval process of the development. A redlined draft of the proposed PUD Ordinance is provided in the attachments to this report.
- B. The design of the additional building proposed in this request and the site immediately surrounding the building will be reviewed through the City's Architectural Design Review process, and must be substantially complete prior to the issuance of any building permits.

V. STAFF RECOMMENDATION – PUD AMENDMENT:

Staff recommends approval of the PUD Amendment as the request is consistent with the Zoning Regulations and the Comprehensive Plan.

VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review Letter
3. Applicant Response Letter
4. Draft amendments to PUD Ordinance
5. PUD Site Plan Map Set

VII. COPIES OF REPORT SENT TO:

- A. Paul Cech; LB Southwest, LLC
- B. Rob Vanderveen; Lamp, Rynearson & Associates, Inc.
- C. Public Upon Request


Prepared by: Deputy Community Development Director


Community Development Director

4/4/23

Date

Giles Road

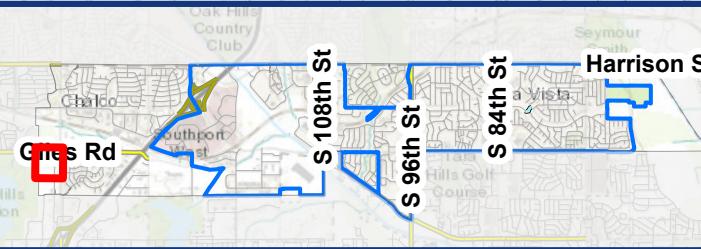
Virginia Street

**Proposed
Enterprise
Rental
Facility
Location**

S. 144th Street

S. 145th Street

Vicinity Map - Woodhouse Place PUD Amendment



Legend

- Property Lines
- PUD Amendment Boundary





February 22, 2023

Rob Vanderveen
Lamp Rynearson
14710 W Dodge Road
Omaha, NE 68154

RE: Planned Unit Development Amendment – Initial Review Letter
Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat 1

Mr. Vanderveen,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.
2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.
3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
402.331.4343 [P](#)
402.331.4375 [F](#)

Community Development
8116 Park View Blvd.
402.593.6400 [P](#)
402.593.6445 [F](#)

Library
9110 Giles Rd.
402.537.3900 [P](#)
402.537.3902 [F](#)

Police
7701 S. 96th St.
402.331.1582 [P](#)
402.331.7210 [F](#)

Public Works
9900 Portal Rd.
402.331.8927 [P](#)
402.331.1051 [F](#)

Recreation
8116 Park View Blvd.
402.331.3455 [P](#)
402.331.0299 [F](#)

If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

4. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.
5. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.
6. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.
7. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.
8. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

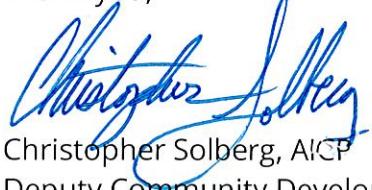
Landscaping Sheet

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

Please submit 2 full size revised copies of the PUD plans and related documents (along with electronic copies) to the City for further review. A timeline for review by the Planning Commission and City Council will be determined based on the timing of the resubmittal and the extent to which the issues noted this review have been sufficiently addressed.

If you have any questions regarding these comments, please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
Deputy Community Development Director
City of La Vista
csolberg@cityoflavista.org
(402) 593-6402

cc:

Paul Cech, Woodhouse Auto Family
Bruce Fountain, Community Development Director – City of La Vista
Cale Brodersen, Associate Planner – City of La Vista
Pat Dowse, City Engineer – City of La Vista
Garrett Delgado, Engineer Assistant – City of La Vista

VIA Email

March 28, 2023

14710 W. Dodge Rd., Ste. 100
Omaha, NE 68154
[P] 402.496.2498
[F] 402.496.2730
LampRynearson.com

Mr. Christopher Solberg, AICP
Deputy Community Development Director
City of La Vista
8116 Park View Blvd.
La Vista, NE 68128

REFERENCE: Woodhouse Place
Planned Unit Development (PUD) Amendment
Comment Response - Initial Review
Job No. 0116050.01-020

Dear Mr. Solberg:

Submitted herewith are our responses to the City of La Vista's comments from the letter dated February 22, 2023 regarding the Woodhouse Place PUD Amendment for Lot 2 and Replat 1 Lots 1 & 2 Initial Review submittal.

GENERAL COMMENTS

1. Please submit an updated schedule of construction, per the requirements of Section 5.15.04.01.

RESPONSE: An updated schedule of construction has been included on the PUD Site Plan exhibit. The schedule of construction is listed here as well.

The following are phase estimated completion dates:

PHASE 1 - HYUNDAI DEALERSHIP	- SEPTEMBER 1, 2018
RIGHT-OF-WAY	- SEPTEMBER 1, 2018
PHASE 2 - EAST PARKING LOT	- OCTOBER 31, 2018
PHASE 3 - NISSAN DEALERSHIP	- MARCH 1, 2019
PHASE 4 - MAZDA DEALERSHIP	- DECEMBER 31, 2019
PHASE 5 - LINCOLN DEALERSHIP	- MARCH 1, 2020
PHASE 6 - ENTERPRISE RENTAL	- NOVEMBER 1, 2023

2. In relation to Section 5.15.04.03, please submit all applicable easements and covenants with neighboring property owners, if applicable.

RESPONSE: The updated PUD site plan includes all easements within the project limits.

3. In relation to Section 5.15.05.04, please show the point of connection and other pertinent design information for the sanitary sewer.

RESPONSE: A utility plan has been provided illustrating the schematic sanitary sewer layout.

4. Please show the means of stormwater conveyance for the proposed project. The locations of any existing and/or proposed drainageways should also be provided (Section 5.15.05.02 (10)).

RESPONSE: A utility plan and grading plan have been provided illustrating the schematic storm sewer layout and drainageways.

5. If the area of disturbance is over one (1) acre, you will need to submit for a NPDES grading permit. If the disturbed area is less than one (1) acre in size, construction of stormwater BMPs will still be required as part of the building permit application.

RESPONSE: Understood.

6. As per Section 5.15.05.02 (1), please emphasize the area of disturbance and confirm that there will be no substantial increase of impervious surface, or significant changes to the drainage pattern due to the project. Dependent upon changes in drainage pattern and/or impervious area, the existing Post Construction Stormwater Management Plan (PCSMP) for this site may need to be modified in order to account for the proposed surface drainage.

RESPONSE: The area of disturbance for Phase 6 is indicated on the PUD site plan. No substantial increase of impervious surface or modification of the existing drainage pattern is anticipated.

7. As per Section 5.15.05.02 (5), widths of existing right-of-ways need to be displayed.

RESPONSE: All right-of-way widths are shown on the updated PUD site plan.

8. Per Section 5.15.05.05 a legal description needs to be provided on the PUD Site Plan. The legal description provided needs to be updated to the current legal description for the three (3) lots involved in the PUD Site Plan.

RESPONSE: The legal description has been updated as indicated.

9. The design for the proposed automotive rental/leasing building must be approved through the City's design review process, prior to application for building permits. We have received the application, some preliminary elevations, and some building materials, but are still in need of a method of payment for the application fee of \$1,500 before the submittal can be forwarded to the City's design review architect.

RESPONSE: A \$1,500 check has been provided by the owner.

10. As the use of "automotive rental/leasing" is not an allowed use within the C-3 Zoning District, an amendment to the adopting ordinance for the original PUD will need to be conducted as part of this process that would allow the use within the boundaries of the Woodhouse Place PUD District.

RESPONSE: Understood.

LANDSCAPING SHEET

1. The landscaping plan is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed.

RESPONSE: Understood.

Comments were also received from the city's design review process on March 15, 2023 from Dan Kerns. An additional Enterprise Landscaping Plan has been included with this resubmittal. The following are responses to the landscape-related items.

PUD – LANDSCAPE PLAN

- a. Significant portions of the proposed plantings are straight line, which is not in compliance with 4.III.F.

RESPONSE: The landscaping plan varies plantings within the landscape islands and the perimeter landscaping to the south. The landscaping along 144th Street provides screening for the garage doors and is consistent with the current planting arrangement.

- b. No information provided to indicate irrigation IAW 4.III.F.

RESPONSE: All landscaped areas will receive irrigation. The irrigation limits are noted on the included Enterprise Landscape Plan.

The following documents are included with this submittal:

1. Revised PUD site plan (2 copies)
2. PUD utility plan (2 copies)
3. PUD grading plan (2 copies)
4. Enterprise landscape plan (2 copies)

Please call if you have any questions or concerns regarding this submittal.

Sincerely,

LAMP RYNEARSON



Rob Vanderveen, P.E.
Senior Project Engineer

Enclosure

c w/enc: Paul Cech
 Bruce Fountain
 Cale Brodersen
 Pat Dowse
 Garrett Delgado

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, AMMENDING THE ZONING DISTRICT MAP OF THE CITY OF LA VISTA, NEBRASKA; ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. The Planned Unit Development plan for Woodhouse Place (the "Woodhouse PUD") is hereby adopted for the following described real estate, to wit:

LEGAL DESCRIPTION

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The Woodhouse PUD is hereby adopted to provide for the development of planned automotive dealerships that will service not only the City, but also the surrounding market area. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying commercial zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

Section 3. Definitions

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Automotive Sales" shall mean the storage and display for sale or lease, and the actual sale or lease, of new or used motor vehicles, or any type of trailer (provided the trailer is unoccupied) at any one time, and where repair or body work is incidental to the operation of the new or used motor vehicle sales or leasing operations. Automobile sales shall includes all motor vehicle retail sales and leases including cars, SUV's, trucks, vans, recreational vehicles, boats, motorcycles or other similar motorized transportation vehicles.
- B. "Developer" shall mean LB Southwest, LLC, their successors and assigns.
- C. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

- D. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well landscaped pedestrian places, pools, pool decks and roof gardens.
- E. "Woodhouse PUD" shall mean the planned unit development that is subject to this Ordinance, as developed and approved, that outlines certain provisions for the development of the Subdivision and its uses. Such plan shall consist of the final plat, design guidelines, landscaping, etc.
- F. "Plat" or "the Plat," shall mean the final plat of the Subdivision approved by the City Council or an administrative plat approved by staff.
- G. "Woodhouse Place Design Guidelines" shall mean the specific guidelines jointly developed, agreed to and amended by Developer and City for the Subdivision for the purpose, among others, of creating cohesiveness and ensure quality of materials, aesthetics and maintenance upon which all tenants and owners can rely and to ensure view continuity and creation of a sense of place through the use of common elements of site and architecture. A copy of the Woodhouse Place Design Guidelines is attached to this Woodhouse PUD as Exhibit "C".
- H. "Subdivision" shall mean the 30.67 acres of land described in Exhibit "A" hereto, to be known as "Woodhouse Place."

Section 4. Parcel Identification Map

Attached hereto and made a part of Woodhouse PUD for parcel delineation is the Parcel Identification Map for the Woodhouse PUD marked as Exhibit "B".

Section 5. Conceptual Site Plan

A conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

Section 6. Allowed Uses

Unless otherwise provided in this Ordinance, all Permitted and Permitted Conditional Uses allowed within the C-3 Highway Commercial/Office Park District shall be allowed within the Woodhouse Place PUD area, except as modified below:

- A. The following uses shall be allowed outright:
 - i. Automotive Rental/Leasing

Section 76. Building Design Guidelines and Criteria

A copy of the Woodhouse Place Design Guidelines in the form approved and amended by the City is attached to this Woodhouse PUD as Exhibit "C". All applications shall adhere to requirements of the approved Woodhouse PUD and Design Guidelines. Prior to issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria. The Woodhouse Place Design Guidelines shall take

the place of Appendix A, B, and C of the City's Commercial Building Design Guide and Criteria dated September 17, 2013.

Section 78. Conditions

All uses within the Subdivision shall adhere to the underlying zoning district except as herein provided.

A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Woodhouse PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this Woodhouse PUD and Woodhouse Place Design Guidelines.
- ii. Unless otherwise specified herein, the development of the Woodhouse PUD shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

B. Land Use Design Criteria

Unless provided otherwise in this Woodhouse PUD, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the appropriate commercial zoning district shall apply to any development within Lots 1 and 2Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One. The negative elements of such uses as loading docks, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The intent of the design and layout of Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat OneLots 1 and 2, Woodhouse Place is to develop the site for motor vehicle sale and lease uses, with service and repair as an accessory use.
 - a. Building Height. Permitted building heights shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
 - b. Building Setback. Building setbacks shall be the same as those listed in the C-3 Highway Commercial / Office Park District regulations unless otherwise approved by the City Council as part of a PUD Plan.
 - c. Landscaping. Landscaping along Highway 50 (South 144th Street) and Giles Road and throughout the Subdivision shall be consistent with the PUD Site Plan map set, Exhibit "B" and the Woodhouse

Place Design Guidelines, Exhibit "C". A complete and detailed landscape plan is required prior to building permit approval to assure compliance with the vision of Woodhouse Place and its approved guidelines.

d. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.

C. Woodhouse Place Design Guidelines

The Woodhouse Place Design Guidelines take the place of Gateway Corridor District Design Guideline dated September 17, 2013.

D. Access and Off-Street Parking

i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the final plat and subdivision agreement. Any deviation from this shall require the approval of the City.

ii. Off-Street Parking. Parking on lots in Lot 2 Woodhouse Place and Lots 1 and 2 Woodhouse Place Replat One Lots 1 and 2 should be provided based on the aggregate ratio of one (1) off-street parking spaces per five hundred (500) square feet of gross floor area of improvements constructed on each lot, separate from those spaces dedicated to automotive sales inventory, unless off-site/public parking is utilized with approval of the city.

E. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified herein. To the extent that the provisions of Woodhouse PUD conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of the Woodhouse PUD shall control.

This Ordinance recognizes that because of the size and scope of the project, and because access will be obtained to the development via large public arterial streets, the project has an extraordinary need for flexibility in the signage regulations applicable thereto. See the PUD Site Plan map set, Exhibit "B", for proposed site signage approximate locations.

i. Center Identification Signs. Free standing buildings on Lot 1 may be allowed to advertise on one Center Identification Sign as depicted on Lot 2 of the PUD Site Plan.

ii. Monument Signs. Free-standing buildings on Lots 1 and 2 Woodhouse Place Replat 1 may be allowed to advertise on Monument Signs as depicted on Lot 2 Woodhouse Place of the PUD Site Plan. The overall development shall be limited to no more than four monument signs, one for each building

- located on Lots 1 and 2 Woodhouse Place as depicted on the PUD Site Plan. Monument signs shall not exceed twenty-one (21) feet in height.
- iii. On-Site Directional Signs. On-Site Directional Signs, such as signs indicating exits, loading areas and parking areas, shall be consistent in design and color, or incorporate aesthetic features compatible with the architecture of the building, and shall not exceed six (6) square feet of sign area per sign. Freestanding On-Site Directional Signs shall not exceed three (3) feet in height.
- iv. Wall Signs. Free-standing buildings on Lot 1s and 2 Woodhouse Place Replat 1 are allowed a total of 2.5 square feet of wall signs per lineal foot of façade width on facades with frontage along a right-of-way to a maximum of 600 sq.ft.

Section 89. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 910. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS 16TH DAY OF MAY, 2023.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk

EXHIBIT A

| Lot 2 Woodhouse Place and Lots 1 and 2, Woodhouse Place Replat 1 located in the N ½, NE ¼, Section 23, Township 14 North, Range 11 East of the 6th P.M. Sarpy County, Nebraska.

EXHIBIT B

EXHIBIT C

ROOM NO.	ROOM NAME	FLOOR	BASE	CEILING MAT		WALL MATERIAL	N	S	E	W	REMARKS
				W	E						
01	LOBBY	T-1	AC-1	-	P-1	P-1	NOTE 1				1: VINYL WALL GRAPHIC BY TENANT,
02	OPEN OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
03	OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
04	OFFICE	CPT-1	RB-1	AC-1	P-1	P-1	P-1				
05	OFFICE	T-1	AC-1	-	P-1	P-1	P-1				
06	BREAK RM	VCT-1	RB-1	AC-1	FRR-1/R-2	FRR-1/R-2	FRR-1/R-2	FRR-1/R-2	PROVIDE FRP UP TO 42" AFF. PAINT ABOVE		
07	STORAGE	ST	RB-1	AC-1	M-1/R-2	P-1	P-1	P-1	P-1/R-2	PROVIDE VERTICAL 4X8 FRP SHEET AT MCP SINK	
08	CORRIDOR	T-1	T-1	AC-1	-	P-1	P-1	P-1	P-1		CORER
09	UTILITY	SC	RB-1	EXP	PVC	PVC	PVC				
10	RESTROOM	T-2	AC-1	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2		
11	MEN'S	T-2	T-2	AC-1	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2		
12	WOMEN'S	T-2	T-2	AC-1	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2	T-3/R-2		
13	WASHRDL	SC	-	EXP	PVC	PVC	PVC	PVC	PVC		

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO EXTERIOR FACE OF METAL PANEL.
2. INTERIOR FACE OF GYPSUM WALL BOARD.
3. OPENINGS: NOMINAL OPENING WIDTH.
4. OPENINGS: NOMINAL OPENING WIDTH.
5. COORDINATE W/ OWNER'S CARWASH VENDOR

FLOOR PLAN NOTES	
#	NOTE
1	REPLACE (1) LAYER OSB W/(1) LAYER 1/2" OSB
2	CASEWORK BY OWNER
3	DOOR: 36" X 80" SEE STRUCT.
4	6" GALVANIZED PIPE BOLLARD, FILL WITH CONCRETE AND CAP.
5	SEE CONC. SLAB TO GRAIN
6	ROOF HATCH & LADDER

STRUCTURAL ENGINEER
LAND STRUCURAL GROUP
1012 S 40TH ST, STE 302
OMAHA, NE 68102
V-402 345 7271
lsgen@lsgen.com

MFG PLANNER
MCGRAWHILL ENGINEERING
4840 N 118TH ST
OMAHA, NE 68154
V-402 491 4144
mleisay@mhengineering.com

DRW. BUILDER
LAMP INCARSON
147 10 W DODGE RD #100
OMAHA, NE 68154
V-402 499 2488
hmcic.com

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION
1	5/7/2023	

WOODHOUSE PLACE -
ENTERPRISE

PROJECT: 2041 DATE: 5/7/2023
BVH ARCHITECTURE

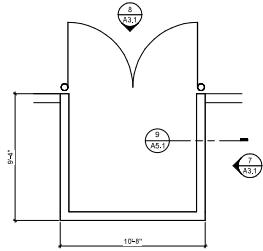
DRAFT

FIRST FLOOR PLAN,
REFLECTED CEILING
PLAN, & ROOM FINISH
SCHEDULE

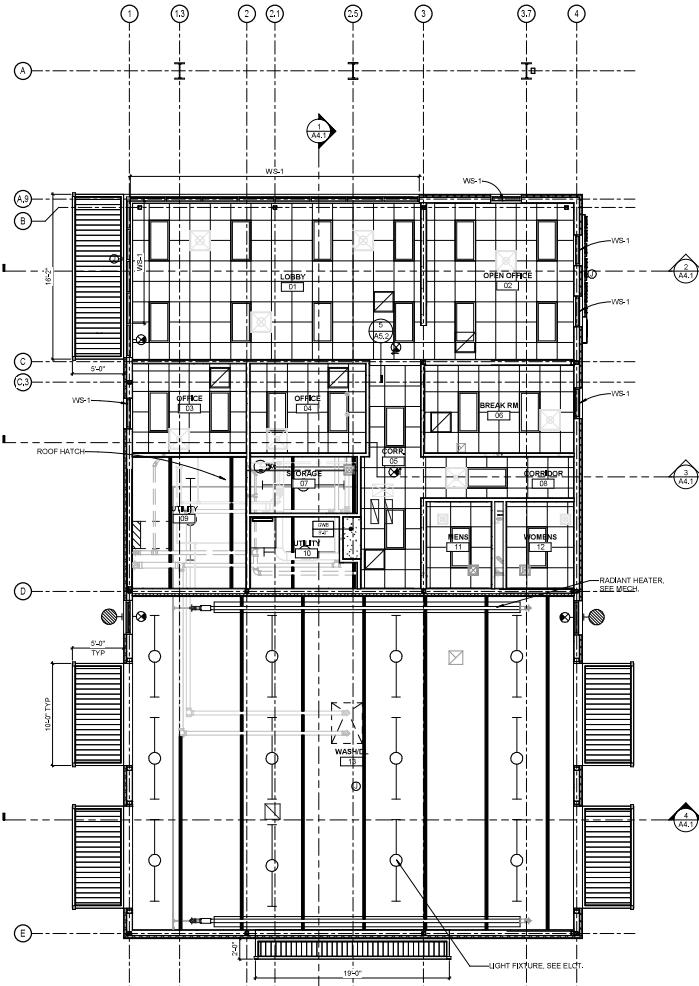
NORTH
A1.1

RCP FINISHES NOTES

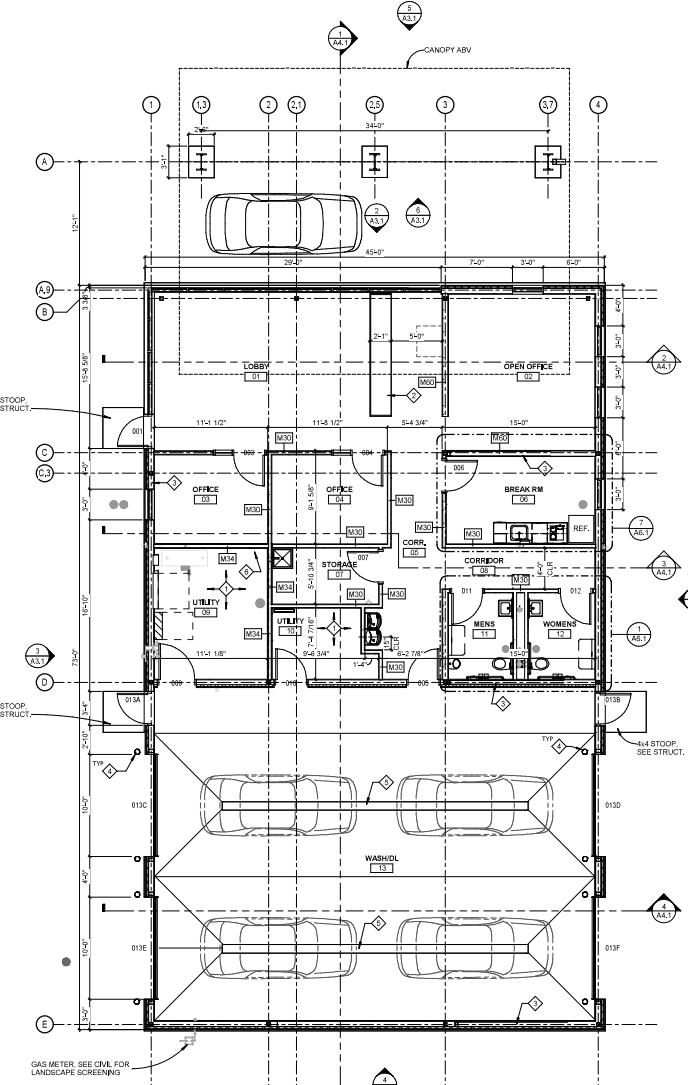
1. CEILING HEIGHT = 84" AFF. UNLESS NOTED OTHERWISE.
2. EXPOSED STRUCTURE TO BE PAINTED P-A.
3. ALL CEILING LIGHTS AND FAKERS SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
4. ALL CEILING DEVICES AND FIXTURES SHALL BE CENTERED IN THE CEILING TILE UNLESS NOTED OTHERWISE.
5. IN AREAS WITH AN EXPOSED CEILING, COORDINATE TO ALL EQUIPMENT, DEVICES, AND FIXTURES FOR CLERK AND ORDERER APPEARANCE.
6. REFER TO ROOM FINISH SCHEDULE FOR CEILING TYPES.
7. WS-1: ROLLER WINDOW SHADE, SEE SPECS.



3 PLAN - DUMPSTER ENCLOSURE



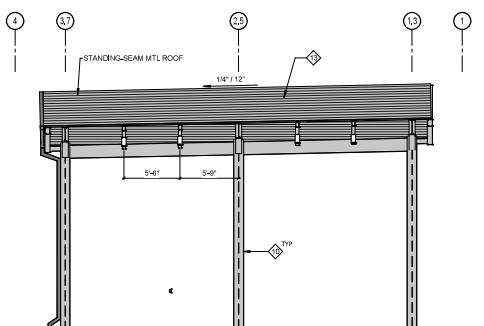
2 FIRST FLOOR REFLECTED CEILING PLAN



1 FIRST FLOOR PLAN

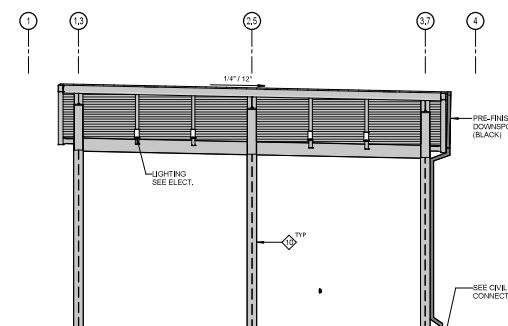
ELEVATION NOTES

◆	DESCRIPTION	MFR	PRODUCT	COLOR	SIZE	COMMENTS
1	METAL WALL PANEL	PAO-CLAD	FLUSH WALL PANELS	MATTE BLACK	12"	22 GAUGE STEEL CENTRIA IV SERIES NOT APPROVED ALTERNATE MATERIAL
2	METAL WALL PANEL	PAO-CLAD	BOX RIB WALL PANELS	GRAY	12"	HORIZONTAL
3	ALUMINUM STOREFRONT	TUBELITE	T1400 STOREFRONT	BLACK, CLASSI ANODIZED	4.5" DEPTH 2' SIGHTLINE	THERMALLY BROKEN
4	PRE-ENGINEERED METAL CANOPY	MAPES	SUPER LUMIDECK CANTILEVER	BLACK	40' DEPTH, SEE PLAN FOR LENGTHS, 2'-0" DEPTH AT B:	
5	OVERHEAD DOOR	OVERHEAD DOOR CO.	MODEL 521 ALUM. DOOR	BLACK POWDER COAT	AS SCHEDULED	INSULATED GLASS WITH SOLID BOTTOM PANELS (BLACK)
6	CONC. STEM/WALL	BY G.C.				FORMED IN
7	HEET MTL CAP FLASHING	PAO-CLAD		BLACK		PRE-FINISHED
8	GLAZING	VITRO	SOLARIAN 80 (2) SOLARGRAY + CLEAR	SOLARGRAY	1" INSULATED	BLACK SPACERS.
9	RTU SCREEN	CITY SCAPES	ENVISOR	SILVER SATIN		DIRECT-ATTACHED RTU SCREEN
10	PAINT	TNEMEC	TOPCOAT: FLUONSERIES 102	BLACK		ADVANCED THERMOSET SOLUTION FLUORPOLYMER
11	STEEL PIPE BOLLARD	BY G.C.		PAINT BLACK (TNEMEC)	6' PIPE, GALVANIZED	
12	GROUND-FACE CMU	ECHELON	CORDOVA STONE	MIDNIGHT	8'x8'x16"	GROUT: PRISM PH10 SLATE GREY, WITH SLOPED COPING UNIT (CS)
13	STANDING SEAM METAL ROOF	HOLCIUM ELEVATE	UNA-CLAD UC-2	BLACK		24 GA



5 CANOPY ELEVATION - NORTH

3/16" = 1'-0"

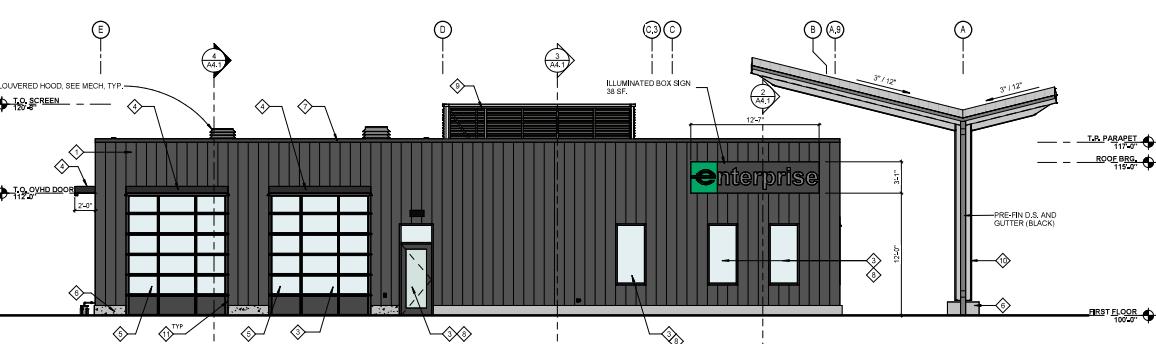


6 CANOPY ELEVATION - SOUTH

3/16" = 1'-0"



8 TRASH ENCL. - NORTH



1 EAST ELEVATION

3/16" = 1'-0"

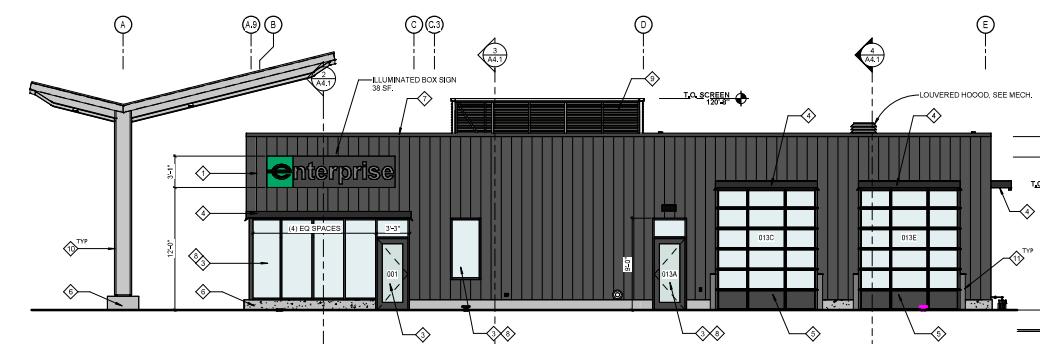
7 TYP. TRASH ENCLOSURE ELEVATION

3/16" = 1'-0"

REVISIONS SCHEDULE		
MARK	DATE	DESCRIPTION

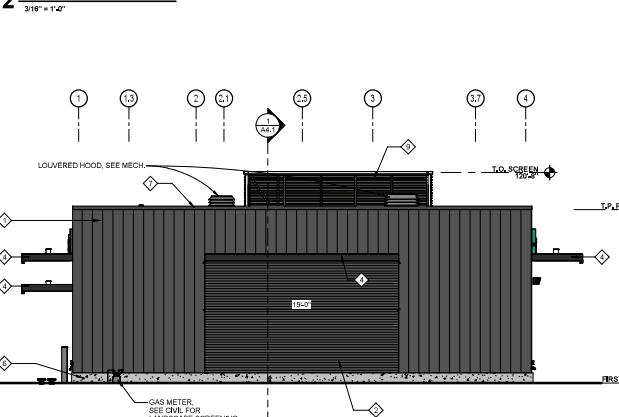
2 NORTH ELEVATION

3/16" = 1'-0"



3 WEST ELEVATION

3/16" = 1'-0"



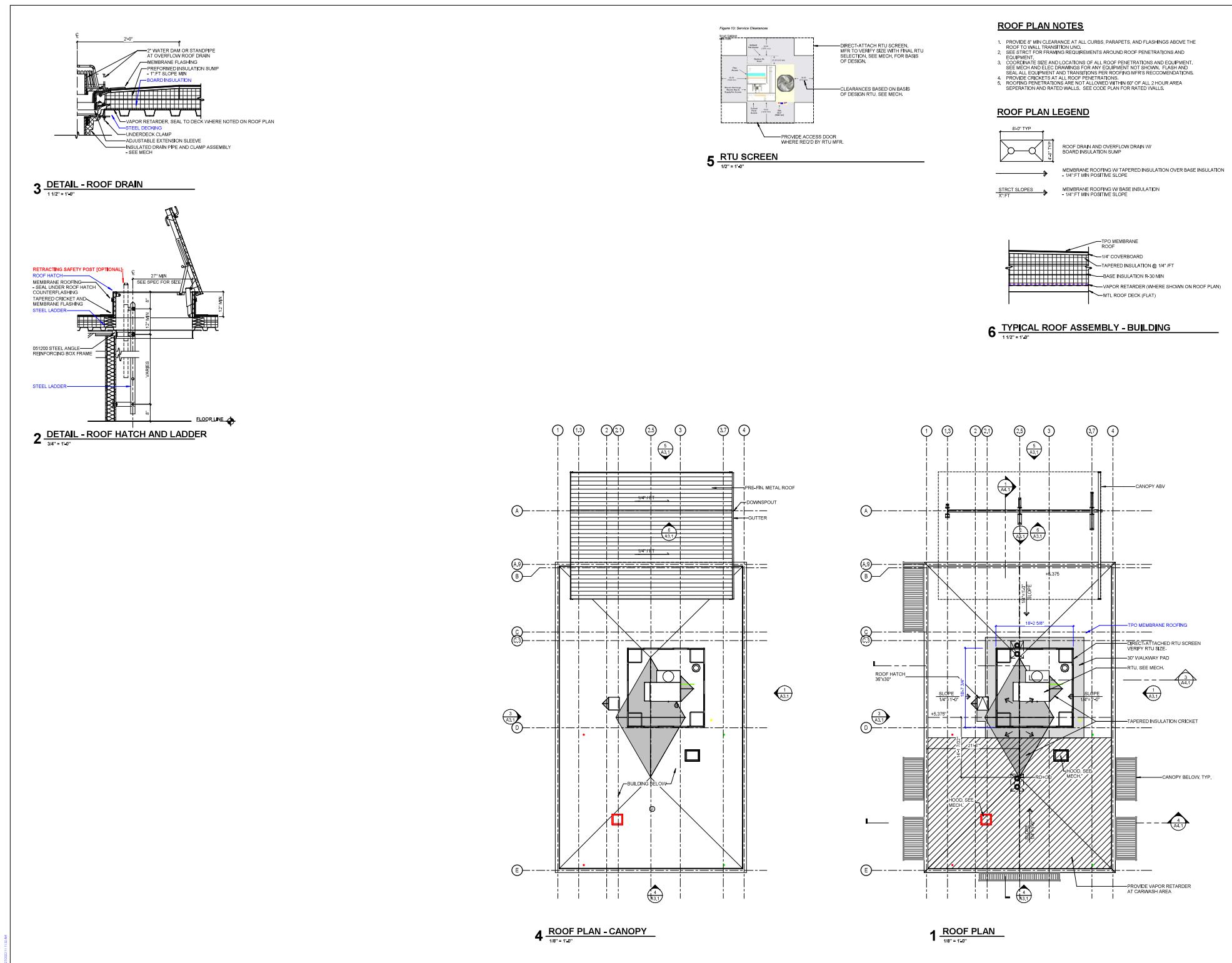
4 SOUTH ELEVATION

3/16" = 1'-0"

WOODHOUSE PLACE -
ENTERPRISEPROJECT: 2041 DATE: 5/07/2023
801 JONES STREET, OMAHA, NE 68102

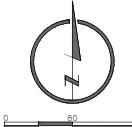
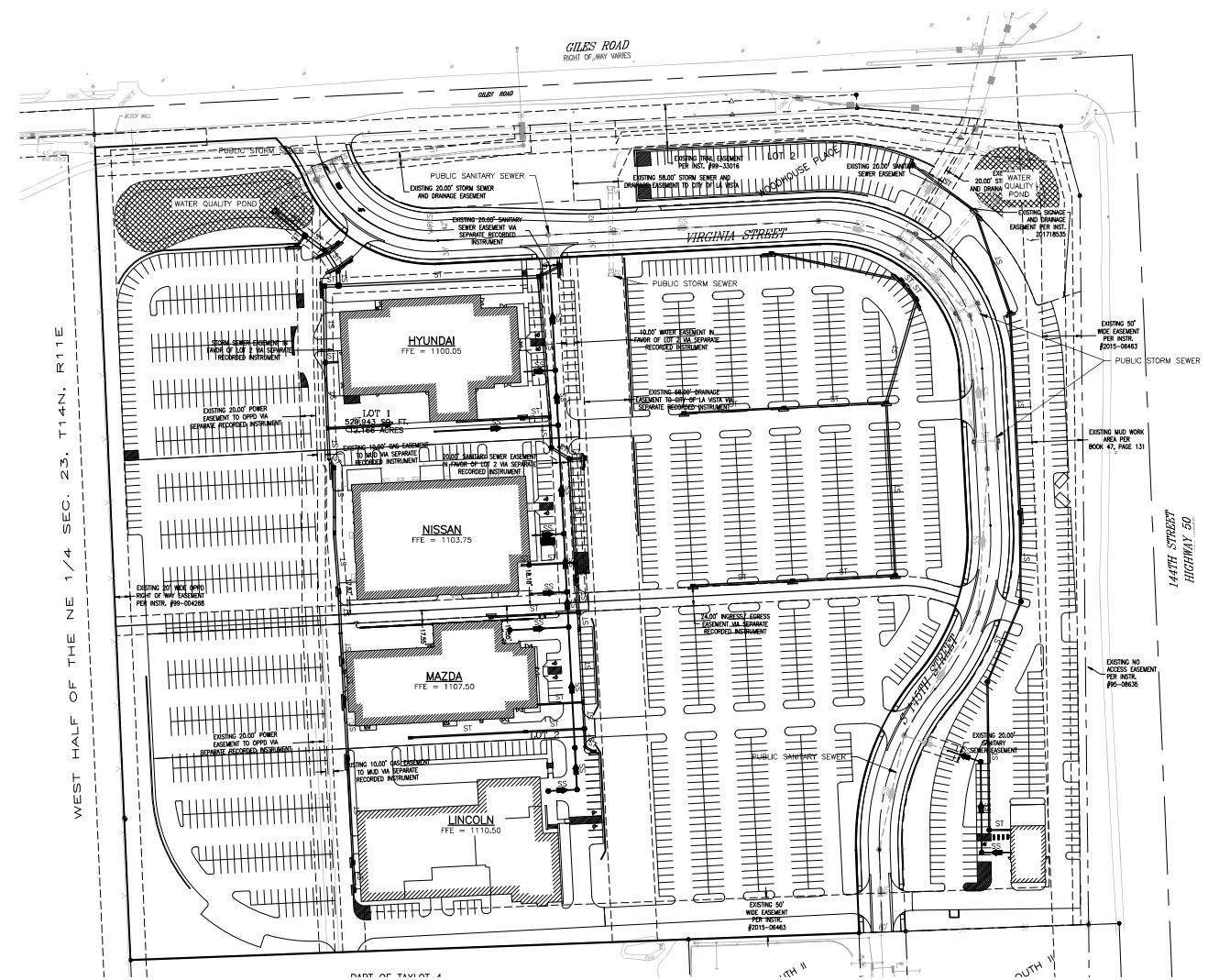
DRAFT

BUILDING
ELEVATIONS



ALL UTILITIES AND
LINES PRIOR TO CO

112 1 11 SEC 23. T14N, R11E



LEGEND

— — —	PROPERTY LINE		PROPOSED CONTOUR	
— — — 55 — — —	SANITARY SEWER		EXISTING CONTOUR	
— — — 57 — — —	STORM SEWER		PC CURB AND GUTTER	
— — — 10 — — —	FIBER OPTIC		RETAINING WALL	
— — — 6 — — —	GAS		PC CONCRETE SIDEWALK	
— — — 8 — — —	WATER		PC CONCRETE PAVEMENT WITH INTEGRAL CURB AND GUTTER	
— — — 15P — — —	UNDERGROUND POWER			BUILDING
— — — 15P — — —	OVERHEAD POWER			BUILDING
— — — 7 — — —	TELEPHONE		(15)	PARKING STALL COUNT
— — — 01 — — —	CABLE TELEVISION			BUILDABLE AREA
	MANHOLE		SS	PROPOSED SANITARY SEWER
	CURB INLET		ST	PROPOSED STORM SEWER
	GRATE INLET			PROPOSED MANHOLE
	HOODED GRATE INLET			PROPOSED F.E.S.
	HYDRANT			PROPOSED CURB INLET (BY OTHERS)
	WATER HYDRANT			PROPOSED WATER QUALITY POND
	GAS MANHOLE			

PLANNED UNIT DEVELOPMENT
UTILITY PLAN

PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

10 of 10

ANSWER

SHEET

1 OF 1