



CITY OF LA VISTA
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
P: (402) 331-4343

**PLANNING COMMISSION AGENDA
SEPTEMBER 19, 2019 – 6:30 P.M.**

- 1. Call to Order**
- 2. Approval of Meeting Minutes – August 15, 2019**
- 3. Old Business**
- 4. New Business**
 - A. Election of Officers**
 - B. Zoning Ordinance Amendment – Sections 5.06-5.09 (Setbacks for Public Facilities in Zones R1-R4)**
 - i. Staff Report – Chris Solberg
 - ii. Public Hearing
 - iii. Recommendation
 - C. Zoning Ordinance Amendment – Sections 2.17, 5.10-5.12, and 5.19 (Definitions and Permitted Uses in Zones C1-C3, and MU-CC)**
 - i. Staff Report – Chris Solberg
 - ii. Public Hearing
 - iii. Recommendation
 - D. Planned Unit Development – Brixmor Property Group, LLC**
 - i. Staff Report – Chris Solberg
 - ii. Applicant Presentation
 - iii. Public Hearing
 - iv. Recommendation
- 5. Comments from the Floor**
- 6. Comments from the Planning Commission**
- 7. Comments from Staff**
- 8. Adjournment**

The public is welcome and encouraged to attend all meetings. If special accommodations are required please contact City Hall prior to the meeting at (402) 331-4343. A copy of the Open Meeting Act is posted in the Council Chamber. Citizens may address the Planning Commission about items not on the agenda under "comments from the floor". Comments should be limited to five minutes. We ask for your cooperation in order to provide for an organized meeting.



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PLANNING COMMISSION MINUTES
AUGUST 15, 2019 6:30 P.M.

The City of La Vista Planning Commission held a meeting on Thursday, August 15, 2019 in the Harold “Andy” Anderson Council Chamber at La Vista City Hall, 8116 Park View Boulevard. Chairman Tom Miller called the meeting to order at 6:30 p.m. with the following members present: Gayle Malmquist, Mike Krzywicki, John Gahan, Tom Miller, and Kevin Wetuski. Members absent were: Jason Dale, Kathleen Alexander, Harold Sargus, and Mike Circo. Also in attendance were Chris Solberg, Senior Planner; Meghan Engberg, Permit Technician; Cale Brodersen, Assistant Planner; Pat Dowse, City Engineer; and John Kottmann, City Engineer.

Legal notice of the public meeting and hearing were posted, distributed and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public.

1. Call to Order

The meeting was called to order by Chairman Miller at 6:30 p.m. Copies of the agenda and staff reports were made available to the public.

2. Approval of Meeting Minutes – July 18, 2019

Malmquist moved, seconded by Gahan, to approve the July 18th minutes. **Ayes: Malmquist, Krzywicki, Gahan, Miller, and Wetuski. Nays: None. Abstain: None. Absent: Dale, Sargus, Circo and Alexander. Motion Carried, (5-0)**

3. Old Business

A. Comprehensive Plan Amendment-Future Land Use Map

- i. **Staff Report – Chris Solberg:** Solberg stated that the applicant, La Vista City Centre LLC, is requesting a Comprehensive Plan Amendment (Future Land Use Map) for portions of proposed Lot 3 La Vista City Centre Theater from Parks and Recreation to Mixed Use. Staff recommends approval of the Comprehensive Plan Amendment, subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of an amendment to the Redevelopment Plan and approval and recording of final replat, redevelopment agreement amendment, subdivision agreement amendment, and applicable property conveyances. Solberg reminded the commission that the public hearing is still open, so they will need to continue with the public hearing and close it out before making the recommendation.

- ii. **Public Hearing (Continued from 7/18/2019):** Miller closed the public hearing as no members of the public came forward.

Krzywicki brought up the map and asked if there would be any concerns about the very narrow strips of land on the lower left and right of the red outlined area for maintenance by the city.

Solberg said that the city doesn't have any qualms about that as it's an area that they are already taking care of and in those areas there will mainly be some steps, which go from the park area up to the development area. It's a way of public access to the park.

- 4. **Recommendation:** Malmquist moved, seconded by Gahan to recommend approval of the Comprehensive Plan Amendment subject to satisfaction of all applicable requirements, including without limitation, notice, hearing, and approval of an amendment to the Redevelopment Plan and approval and recording of final replat, redevelopment agreement amendment, subdivision agreement amendment, and applicable property conveyances. **Ayes: Malmquist, Krzywicki, Gahan, Miller, and Wetuski. Nays: None. Abstain: None. Absent: Dale, Sargus, Circo and Alexander. Motion Carried, (5-0)**

5. New Business

A. Conditional Use Permit – Quakes Softball, Inc.

- i. **Staff Report – Cale Brodersen:** Brodersen stated that the applicant, Quakes Softball Inc., is requesting a Conditional Use Permit for an indoor practice facility for their softball team in an industrial building located at 8820 S 117th Street. Staff recommends approval of the Conditional Use Permit as the CUP request is consistent with the Comprehensive Plan and the Zoning Ordinance.
- ii. **Applicant Presentation:** Pat O'Donnell and Dick Jablonski came up and spoke on behalf of the applicant. O'Donnell went into the history of the organization to give the commissioners a little background into who they are. He said that their goal is to teach life lessons through the sport of softball. Jablonski said that they love the new facility and that it's perfect for their organization. He said that the reason they need an indoor facility is to accommodate for the winter months. He said that there will be no games there, it is strictly a practice facility. Jablonski mentioned that there will be tunnels for pitching and hitting. He said that teams practice and leave, so it's a constant in and out. He said that they are very careful about scheduling, cleaning up and taking care of the facility. O'Donnell and Jablonski then invited the commission to ask any questions they may have.

Gahan asked if they could describe what a tunnel is.

O'Donnell said that a tunnel is basically a batting cage, which consists of nets 12 feet wide, by 12 feet high, by 55 feet long.

Gahan asked if there are pitchers or a machine.

O'Donnell said that their plan is to have one pitching machine in each of the sets of 5 tunnels. He said that at the level that most of their teams play, live pitching would not be consistent enough, so they will use the pitching machines and tees.

Miller mentioned that he had experience with what the applicants are doing and that winter practices are very important. He said that he did notice that their neighbor signed off on some parking that they will be able to use during practice hours since it looks like the facility will be full quite a bit.

O'Donnell said that at times they would, but a lot of the times kids are dropped off for practice.

Krzywicki brought up the parking and where it talked about them having 53 stalls, but that they are only indicating 24 dedicated parking stalls and asked why there was a difference.

Nate Gieselman from RDG came up and said that there are roughly 53 stalls on site, but the adjacent tenant uses them as outdoor storage, so they didn't count those. He said that there are two buildings on that site, so it's no different than a strip mall where there's multiple bays sharing parking. He said that on the site there are 53 stalls, but they have dedicated the ones closest to them for the facility.

Krzywicki brought up the lot that is circled on the application packet shows two buildings and requested confirmation that they are only going to be in one of the buildings.

Gieselman said that was correct.

iii. Public Hearing: Miller opened the public hearing.

Miller closed the public hearing as no members of the public came forward.

Krzywicki brought up the parking requirements section of the recommendation report and read part of Section 3E that says that Quakes may be required to provide additional parking spaces if it's no longer sufficient and asked why they put in the word 'may' instead of 'will'.

Brodersen said that parking was the biggest concern that they had when they were reviewing this and said that Dowse helped out a lot with this as well. He brought up that street parking is not allowed on either of those streets. He said that he did call the neighboring tenant to make sure they were aware and that they did sign off on the agreement and to verify when their employees are generally there. He brought up that there was a provision put into the CUP that if parking is overflowing and they

are seeing parking in the streets, that the city can go and require them to provide additional parking if need be.

Solberg mentioned that the wording in the CUP states 'will', while the staff report says 'may'. He mentioned that he will have this corrected prior to the city council meeting.

- iv. **Recommendation:** Gahan moves, seconded by Malmquist to recommend approval for item 4A, Conditional Use Permit for Quakes Softball Inc., be approved by the city council as the Conditional Use Permit is consistent with the Comprehensive Plan and Zoning Ordinance. **Ayes:** *Malmquist, Krzywicki, Gahan, Miller, and Wetuski.* **Nays:** *None.* **Abstain:** *None.* **Absent:** *Dale, Sargus, Circo and Alexander.* **Motion Carried, (5-0)**

6. Comments from the Floor:

No members of the public came forward.

7. Comments from the Planning Commission:

Miller mentioned this was officially his last meeting as a member of the Planning Commission.

8. Comments from Staff:

Solberg said that this fall, the Nebraska Planning Zoning Association (NPZA) will be having a fall workshop on October 30th and 31st in Nebraska City. He said that we will provide an email with information and will cover their expenses for the conference. He said that APA Nebraska is also having a workshop November 15th in Lincoln with a concentration on housing.

Solberg thanked Miller for his work on the commission.

Solberg brought up to the commission that based on the bylaws, the chair position does not just get moved over to the vice chair, there will have to be another election. He brought up that we are also looking for another planning commission member and 2 board of adjustment members.

9. Adjournment

Miller adjourned the meeting at 7:00 p.m.

Reviewed by Planning Commission:

Planning Commission Secretary

Planning Commission Chair

Date

AGENDA ITEM 4B

**Zoning Ordinance Amendment—
Sections 5.06-5.09 (Setbacks for Public Facilities in
Zones R1-R4)**

Memorandum



To: Planning Commission

From: Chris Solberg, Senior Planner

Date: 9/11/2019

Re: Public Hearing regarding text amendments to the Zoning Ordinance – Sections 5.06-5.09, and 5.19 (Setbacks in Zones R1-R4, MU-CC)

Upon review, staff has concluded that an update to the Zoning Ordinance - Sections 5.06-5.09, and 5.19 (R1-R4, and MU-CC Districts) relating to the building setbacks for publicly owned and operated facilities is warranted. La Vista's current Zoning Ordinance does not directly address the building setbacks for publicly owned and operated facilities in all residential and mixed-use districts. The proposed changes will provide the City with more flexibility in the placement of its public facilities in these districts.

A redline copy of the proposed amendments is attached.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed amendments.

Section 5.06 R-1 Single-Family Residential.

5.06.01 Intent: The Single-Family Residential District is intended to permit low to medium-density residential developments to accommodate residential and compatible uses.

5.06.02 Permitted Uses:

- 5.06.02.01 Single family dwellings.
- 5.06.02.02 Public and private schools.
- 5.06.02.03 Public Services.
- 5.06.02.04 Publicly owned and operated facilities.
- 5.06.02.05 *Child Care Home, as per Section 7.10. (Ordinance No. 880, 11-19-02)*
- 5.06.02.06 *Group Care Home (Ordinance No. 1118, 4-6-10)*

5.06.03 Permitted Conditional Uses:

- 5.06.03.01 Public and private recreation areas as, country clubs, golf courses, lakes, common areas and swimming pools.
- 5.06.03.02 Churches, temples, seminaries, convents, including residences for teachers and pastors.
- 5.06.03.03 Public utility main transmission lines including substations, distribution centers, regulator stations, pumping stations, storage, equipment buildings, garages, towers, or similar public service uses.
- 5.06.03.04 Home Occupations, as per Section 7.10.
- 5.06.03.05 Child Care Center.

5.06.04 Permitted Accessory Uses:

- 5.06.04.01 Buildings and uses customarily incidental to the permitted uses.
- 5.06.04.02 Decks, elevated patios either attached or detached.
- 5.06.04.03 Private swimming pool, tennis court, and other recreational facilities in conjunction with a residence.
- 5.06.04.04 Parking for permitted uses as per Section 7.05 through 7.09.
- 5.06.04.05 Signs allowed in Section 7.01 through 7.04.
- 5.06.04.06 Temporary buildings incidental to construction work where such building or structures are removed upon completion of work.
- 5.06.04.07 Landscaping as required by Section 7.17.

5.06.05 Height and Lot Requirements:

5.06.05.01 The height and minimum lot requirements shall be as follows:

Uses	Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Building Coverage
Single-family Dwelling (existing development ⁴) ²	5,000	60'	30'	5'	30'	35'	35%
Single-family Dwelling (future development ³) ²	7,000	70'	30'	10'	30'	35'	40%
Other Permitted Uses	8,000	75'	25'	25'	25'	35'	25%
Other Conditional Uses	8,000	75'	25'	25'	25'	45'	25%
<u>Publicly owned and operated facilities</u>	=	=	=	=	=	=	=
Accessory Buildings	-	-	50'	5'	5'	17'	10% ¹

¹ Provided total area of accessory structures for single family does not exceed 700 sq. ft. and the total lot coverage of all buildings and accessory structure does not exceed 50%

² On Corner Lots the following criteria apply to setbacks. In existing developed areas, the Street Side Yard setback may conform to existing setbacks of existing structures along that street. In new developments, the Street Side Yard setback shall be equal to the Front Yard setback.

³ Future development shall be defined as all new subdivisions created after *the adoption of Ordinance No. 848 on November 20, 2001.*

⁴ Existing development shall be defined as existing prior to the adoption of this regulation and shall not include any replatting or lot splits done after the date of original adoption.

Section 5.07 R-2 Two-Family Residential

5.07.01 Intent: The purpose of this district is to permit single-family density residential with an increase of density to include duplexes and similar residential development in areas providing all public facilities and supporting facilities to maintain a sound and pleasant environment for the inhabitants.

5.07.02 Permitted Uses:

- 5.07.02.01 Single family detached dwellings.
- 5.07.02.02 Single family attached.
- 5.07.02.03 Two-family, duplex, dwellings.
- 5.07.02.04 Public and private schools.
- 5.07.02.05 Publicly owned and operated facilities.
- 5.07.02.06 Public Services.
- 5.07.02.07 *Child Care Home, as per Section 7.10. (Ordinance No. 880, 11-19-02)*
- 5.07.02.08 *Group Care Home (Ordinance No. 1118, 4-6-10)*

5.07.03 Permitted Conditional Uses:

- 5.07.03.01 Bed and Breakfasts.
 - 1. Guest rooms shall be within the principal residential building only and not within an accessory building.
 - 2. Each room that is designated for guest occupancy must be provided with a smoke detector which is kept in good working order.
- 5.07.03.02 Churches, temples, seminaries, and convents including residences for teachers and pastors.
- 5.07.03.03 *Nursing care and rehabilitation facilities, or assisted living facilities (Ordinance No. 1118, 4-6-10)*
- 5.07.03.04 Public utility substations, distribution centers, regulator stations, pumping stations, storage, equipment buildings, garages, towers, or similar uses.
- 5.07.03.05 Home Occupations as per Section 7.10.
- 5.07.03.06 Child Care Center.

5.07.04 Permitted Accessory Uses:

- 5.07.04.01 Buildings and uses customarily incidental to the permitted uses.
- 5.07.04.02 Decks, elevated patios either attached or detached.
- 5.07.04.03 Temporary buildings incidental to construction work where such buildings or structures are removed upon completion of work.
- 5.07.04.04 Signs as provided for in Section 7.01 through 7.04.
- 5.07.04.05 Parking as provided for in Section 7.05 through 7.09.
- 5.07.04.06 Private swimming pool, tennis court, and other recreational facilities in conjunction with a residence.
- 5.07.04.07 Landscaping as required by Section 7.17.

5.07.05 Height and Lot Requirements:

	5.07.05.01	The height and minimum lot requirements shall be follows:						
		Lot Area (SF)	Lot Width	Front Yard	Side Yard ³	Rear Yard	Max. Height	Max. Building Coverage
Single-family Dwelling (existing development ⁵) ²		5,000	50'	30'	5'	30'	35'	35%
Single-family Dwelling (future development ⁴) ²		7,000	70'	30'	10'	30'	35'	40%
Two-family Dwelling ²		10,000	100'	30'	10'	30'	35'	40%
Single-family attached		4,500 per unit	50' per unit	30'	10'	30'	35'	40%
Other Permitted Uses		8,000	75'	30'	10'	30'	35'	30%
Other Conditional Uses		8,000	75'	30'	10'	30'	45'	30%
<u>Publicly owned and operated facilities</u>		=	=	=	=	=	=	=
Accessory Buildings		-	-	50'	5'	5'	17'	10% ¹

¹ Provided total area of accessory structures for single family does not exceed 700 sq. ft. and the total lot coverage of all buildings and accessory structure does not exceed 50%.

² On Corner Lots the following criteria apply to setbacks. In existing developed areas, the Street Side Yard setback may conform to existing setbacks of existing structures along that street. In new developments, the Street Side Yard setback shall be equal to the Front Yard setback.

³ The side yard along the common wall shall be 0 feet. The common wall shall be along the adjoining lot line.

⁴ Future development shall be defined as all new subdivisions created after the adoption of Ordinance No. 848 on November 20, 2001.

⁵ Existing development shall be defined as existing prior to the adoption of Ordinance No. 848 and shall not include any replatting or lot splits done after the adoption of Ordinance No. 848 on November 20, 2001.

(Ordinance No. 895, 2-04-03) (Ordinance No. 968, 11-15-05)

Section 5.08 R-3 High Density Residential

5.08.01 Intent: The purpose of this district is to permit high density residential in areas providing all public facilities and supporting facilities to maintain a sound and pleasant environment for the inhabitants.

5.08.02 Permitted Uses:

- 5.08.02.01 Townhouses and Condominiums.
- 5.08.02.02 Public and private schools.
- 5.08.02.03 Publicly owned and operated facilities.
- 5.08.02.04 Public Services.
- 5.08.02.05 *Child Care Home, as per Section 7.10. (Ordinance No. 880, 11-19-02)*
- 5.08.02.06 *Group Care Home (Ordinance No. 1118, 4-6-10)*
- 5.08.02.07 *Multiple family dwellings constructed prior to November 20, 2001 (Ordinance No. 1132, 12-7-10)*

5.08.03 Permitted Conditional Uses:

- 5.08.03.01 Multiple family dwellings constructed after November 20, 2001.
- 5.08.03.02 Bed and Breakfast.
 - 1. Guest rooms shall be within the principal residential building only and not within an accessory building.
 - 2. Each room that is designated for guest occupancy must be provided with a smoke detector which is kept in good working order.
- 5.08.03.03 Public utility substations, distribution centers, regulator stations, pumping stations, storage, equipment buildings, garages, towers, or similar uses.
- 5.08.03.04 Home Occupations, as per Section 7.10.
- 5.08.03.05 Child Care Center.
- 5.08.03.06 Charitable clubs and organizations.
- 5.08.03.07 Nursing care and rehabilitation facilities, and assisted living facilities (Ordinance No. 1118, 4-6-10)
- 5.08.03.08 Congregate housing, senior apartments (age restricted to 55+ years old), or continuing care retirement community. (Ordinance No. 1118, 4-6-10)

5.08.04 Permitted Accessory Uses:

- 5.08.04.01 Buildings and uses customarily incidental to the permitted uses.
- 5.08.04.02 Decks, elevated patios either attached or detached.
- 5.08.04.03 Temporary buildings incidental to construction work where such buildings or structures are removed upon completion of work.
- 5.08.04.04 Signs as provided for in Section 7.01 through 7.04.
- 5.08.04.05 Parking as provided for in Section 7.05 through 7.09.
- 5.08.04.06 Private swimming pool, tennis court, and other recreational facilities in conjunction with a residence.
- 5.08.04.07 Landscaping as required by Section 7.17.

5.08.05 Height and Lot Requirements:

Uses	5.08.05.01	The height and minimum lot requirements shall be follows:						
		Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Building Coverage
Townhouses/Condominiums ⁴		2,500 per unit	25' per unit	30'	10' ⁵	30'	35'	40%
Multi-family Dwelling ³		2,250 per unit	100'	30'	(¹)	30'	45' ¹	40%
Other Permitted Uses		8,500	75'	30'	10'	30'	35'	30%
Other Conditional Uses		8,500	75'	30'	10'	30'	45'	30%
<u>Publicly owned and operated facilities</u>		-	-	-	-	-	-	-
Accessory Buildings		-	-	50'	5'	5'	17'	10% ²

¹ For Multi-Family units the side yard shall be 10 feet if it is a 3-story structure, and 5 feet additional side yard on each side shall be provided for each story in excess of 3 stories.

² Provided total area of accessory structures for single family does not exceed 700 sq. ft. and the total lot coverage of all buildings and accessory structure does not exceed 50%

³ On Corner Lots the following criteria apply to setbacks. In existing developed areas, the Street Side Yard setback may conform to existing setbacks of existing structures along that street. In new developments, the Street Side Yard setback shall be equal to the Front Yard setback.

⁴ This applies to Condominiums and Townhouses where there are three (3) more units connected and where there is a minimum of two (2) common walls; otherwise the criteria for single-family attached or two-family dwelling shall apply depending upon the appropriate condition.

- 5 Where there are three (3) or more units connected the side yard at the ends shall meet this criteria otherwise the side yard setback shall zero (0) at common walls.

Section 5.09 R-4 Condominium Residential

5.09.01 Intent: The purpose of this district is to permit high density residential, including condominium dwellings, in areas providing all public facilities and supporting facilities to maintain a sound and pleasant environment for the inhabitants.

5.09.02 Permitted Uses:

- 5.09.02.01 Townhouses and Condominium dwellings.
- 5.09.02.02 Public and private schools.
- 5.09.02.03 Publicly owned and operated facilities.
- 5.09.02.04 *Child Care Home, as per Section 7.10. (Ordinance No. 880, 11-19-02)*
- 5.09.02.05 *Multiple family dwellings constructed prior to November 20, 2001. (Ordinance No. 1132, 12-07-10)*

5.09.03 Permitted Conditional Uses:

- 5.09.03.01 Multiple family dwellings *constructed after November 20, 2001.*
- 5.09.03.02 Bed and Breakfast.
 - 1. Guest rooms shall be within the principal residential building only and not within an accessory building.
 - 2. Each room that is designated for guest occupancy must be provided with a smoke detector which is kept in good working order.
- 5.09.03.03 Churches, temples, seminaries, and convents including residences for teachers and pastors.
- 5.09.03.04 Public utility substations, distribution centers, regulator stations, pumping *stations*, storage, equipment buildings, garages, towers, or similar uses.
- 5.09.03.05 Home Occupations, as per Section 7.10.
- 5.09.03.06 Child Care Center.
- 5.09.03.07 Charitable clubs and organizations.
- 5.09.03.08 *Nursing care and rehabilitation facilities, and assisted living facilities (Ordinance No. 1118, 4-6-10)*

5.09.04 Permitted Accessory Uses:

- 5.09.04.01 Buildings and uses customarily incidental to the permitted uses.
- 5.09.04.02 Decks, elevated patios either attached or detached.
- 5.09.04.03 Temporary buildings incidental to construction work where such buildings or structures are removed upon completion of work.
- 5.09.04.04 Signs as provided for in Section 7.01 through 7.04.
- 5.09.04.05 Parking as provided for in Section 7.05 through 7.09.
- 5.09.04.06 Private swimming pool, tennis court, and other recreational facilities in conjunction with a residence.
- 5.09.04.07 Landscaping as required by Section 7.17.

5.09.05 Height and Lot Requirements:

5.09.05.01 The height and minimum lot requirements shall be follows:

Uses	Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Building Coverage
Townhouses/Condominiums ⁴	2,500 per unit	25' per unit	30'	10' ⁵	30'	35'	40%
Multi-family Dwelling ³	2,250 per unit	100'	30'	(¹)	30'	45' ¹	40%
<i>Other Permitted Uses</i>	8,500	75'	30'	10'	30'	35'	30%
<i>Other Conditional Uses</i>	8,500	75'	30'	10'	30'	45'	30%
<i>Publicly owned and operated facilities</i>	-	-	-	-	-	-	-
Accessory Buildings	-	-	50'	8'	10'	17'	10% ²

¹ For Multi-Family units the side yard shall be 10 feet if it is a 3-story structure, and 5 feet additional side yard on each side shall be provided for each story in excess of 3 stories.

² Provided total area of accessory structures for single family does not exceed 700 sq. ft. and the total lot coverage of all buildings and accessory structure does not exceed 50%

- 3 On Corner Lots the following criteria apply to setbacks. In existing developed areas, the Street Side Yard setback may conform to existing setbacks of existing structures along that street. In new developments, the Street Side Yard setback shall be equal to the Front Yard setback.
- 4 This applies to Condominiums and Townhouses where there are three (3) or more units connected and where there is a minimum of two (2) common walls; otherwise the criteria for single-family attached or two-family dwelling shall apply depending upon the appropriate condition.
- 5 Where there are three (3) or more units connected the side yard at the ends shall meet these criteria otherwise the side yard setback shall zero (0) at common walls.
- (Ordinance No. 881, 11-19-02)***

Section 5.19 MU-CC Mixed Use City Centre District

5.19.01 Intent: The intent of the Mixed Use Town Centre District (MU-CC) is to:

1. Accommodate mixed use buildings with neighborhood-serving retail, service, and other uses on the ground floor and residential units and office uses above the ground floor;
2. Buildings can be solely residential provided they are designed in a building-forward environment, with buildings at the street edge or having only shallow front setbacks.
3. Encourage development that exhibits the physical design characteristics of pedestrian-oriented, storefront-style shopping streets; and
4. Promote the health and well-being of residents by encouraging physical activity, alternative transportation, and greater social interaction.

5.19.02 Permitted Uses:

Uses are allowed in “MU-CC” zoning districts in accordance with the use table of this section.

Uses Allowed in the MU-CC Zoning District

Use Category (Specific Use Type)	MU-CC District
Residential:	
Artist Live/Work Space located above the ground floor	P
Artist Live/Work Space, ground floor	P
Bed & breakfasts	P
Townhouses/condominiums	P
Multi-Family, above ground floor	P
Multi-Family, ground floor	C
Senior living: nursing care, rehab facility & assisted living facility	C
Public and Civic:	
Meeting hall	C
Museum	P
Publicly owned and operated facilities	P
Public services	P
Recreation areas/parks (public)	P
Social club/fraternal organizations	C
Parking Structures or Lots	P
Commercial:	
Antique store	P
Apparel shop	P
Art gallery	P
Attorneys	P
Automated Teller Machines	C
Bakery shop (retail)	P
Banks	P
Barber and beauty shop	P
Bicycle shop	P
Book store, not including uses defined in Adult Establishment.	P

Brew pubs	P
Brew-on premises store	P
Business or trade school	C
Business services	P
Camera store	P
Charitable organizations	C
Child care (center)	P
Coffee kiosks	P
Communication services	C
Computer store	P
Confectionery	P
Credit services	P
Dairy product sales	P
Dance studio	P
Dental office	P
Department store	P
Drug store	P
Dry cleaning & laundry pickup	P
Event center	C
Exercise, fitness & tanning spa	P
Finance/investment services	P
Fireworks stands	T
Floral shop	P
Food sales (general)	P
Food sales (limited)	P
Furniture store or showroom	P
Gift shop	P
Gunsmith	C
Hardware store	P
Health club or recreation facility, not including uses defined in Adult Establishment.	C
Hobby, craft store	P
Home occupations	C
Hotels, including restaurants, convention and meeting facilities and other related uses, not including uses defined in Adult Establishment.	P
Insurance	P
Jewelry store	P
Liquor store	P
Locksmith	P
Mail order services	C
Meat market, retail	C
Medical office	P
Micro-breweries, connected to restaurant	P
Music retail store	P

Music studio	P
Newsstands	P
Office	P
Open-air farmers markets	P
Outdoor display of merchandise	P
Paint store	P
Pet health services	P
Pet shop	C
Photographer	P
Picture framing shop	P
Pinball or video games business	C
Produce stands	P
Real estate offices	P
Recreational establishments	C
Restaurants, café, and fast food	P
Second hand stores	C
Security brokers	P
Shoe store	P
Sporting goods	P
Stamp and coin stores	P
Tailors and dressmakers	P
Tanning salon	P
Tavern and cocktail lounge, not including uses defined in Adult Establishment.	P
Theater, indoor, not including uses defined in Adult Establishment.	P
Title abstracting	P
Toy store	P
Travel agencies	P
Video store, not including uses defined in Adult Establishment.	P

Industrial:

Manufacturing: Artisan (Limited) (hand tools only: e.g., jewelry or ceramics)	C
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Other:

Temporary structures (events)	T
Temporary structures (construction)	T

P = permitted by right; C = conditional use; T = temporary

5.19.03 Permitted Accessory Uses

5.19.03.01	Buildings and uses customarily incidental to the permitted uses.
5.19.03.02	Urban residential storage as an accessory to a primary residential use.

- 5.19.03.03 Parking as permitted in Section 7.05 through 7.09.
- 5.19.03.04 Signs allowed in Section 7.01 through 7.04.
- 5.19.03.05 Landscaping as required by Section 7.17.

5.19.04 Setbacks

1. The entire building façade must abut front and street side property lines or be located within 10 feet of such property lines.
2. No rear setback shall be required, except where the rear lot line is contiguous to a residential ~~zone~~use, in which case the following standards shall apply:
 - a. There shall be a minimum rear setback of twenty (25) feet the full width of the lot;
3. No interior side setbacks are required in the MU-CC district, except when MU-CC zoned property abuts ~~R-zoned~~a residential use property, in which case the minimum side setback required in the MU-CC district shall be the same as required for a residential use on the abutting residentially-zoned lot.

5.19.05 Building Height

The maximum building height shall be 90 feet.

5.19.06 Off-Street Parking

1. No off-street parking is required in the MU-CC district.
2. If off-street parking is utilized, it shall comply with Sections 7.08-7.09 of this ordinance.
3. All parking spaces shall be paved with asphalt, concrete or other approved hard surface.
4. The use of shared parking is encouraged.
5. Off-street parking spaces should be located to the rear of the main façade of the principal building or otherwise screened to satisfy the screening requirements of the district design standards.

5.19.10 Circulation and Connectivity

Uses shall be integrated with the surrounding community, easily accessible, and have a good internal circulation system for a variety of travel options.

1. Internal walk connections are required between buildings, and from buildings to all on site facilities, such as parking areas, bicycle facilities, and open space.
2. External walk connections are required to provide direct access from all buildings on the site to existing or planned sidewalks, adjacent multi-use trails, parks, and greenways.

LOT AND AREA REQUIREMENTS	MINIMUM LOT AREA		MIN. YARD SETBACK			MAXIMUM HEIGHT		MAX. LOT COVERAGE
ZONING DISTRICT	LOT AREA	LOT WIDTH (feet)	FRONT (feet)	SIDE (feet)	REAR (feet)	IN STORIES	IN FEET	PERCENT OF LOT AREA
TA: Transitional Agricultural								
Residential dwellings	20 acres	660	75	25	25	2 ½	35	-
Other Permitted Uses	20 acres	660	75	25	25	3	45	-
Permitted Conditional Uses	20 acres	660	75	25	25	3	45	-
Accessory Uses	-	-	100	25	10	1 ½	17	-
R-1: Single-Family Residential								
Single-family detached (existing) ⁴	5,000 s.f.	60	30	5	30	2 ½	35	35%
Single-family detached (future) ⁴	7,000 s.f.	70	30	10	30	2 ½	35	40%
Other Permitted Uses and Conditional Uses	8,000 s.f.	75	25	25	25	3	45	25%
Accessory Uses	-	-	50	5	5	1 ½	17	10% ²
R-2: Two-Family Density Residential								
Single-family detached (existing) ⁴	5,000 s.f.	50'	30	5	30	2 ½	35	35%
Single-family, dwelling (future) ⁴	7,000 s.f.	70	30	10	30	2 ½	35	40%
Two-family dwelling ⁴	10,000 s.f.	100	30	10	30	2 ½	35	40%
Single-family, attached ⁴	4,500 s.f. / du	50 per unit	30	10 ¹	30	2 ½	35	40% per unit
Townhouses/Condominiums	2,500 s.f. / du	25 per unit	30	10	30	2 ½	35	40%
Other Permitted Uses and Conditional Uses	8,000 s.f.	75	30	10	30	3	45	30%
Accessory Uses	-	-	50	5	5	1 ½	17	10% ²
R-3 High Density Residential								
Single-family, detached ⁴	7,000 s.f.	70	30	10	30	2 ½	35	40%
Single family, attached ⁴	4,500 s.f./du	50 per unit	30	10 ¹	30	2 ½	35	40% per unit
Two-family dwelling ⁴	10,000 s.f.	75	30	10	30	2 ½	35	40%
Townhouses	2,500 s.f.	25 per unit	30	(¹)	30	2 ½	35	40%
Multi-family dwellings	2,250 s.f. / unit	100	30	(³)	30	3	45	40%
Other Permitted Uses and Conditional Uses	8,500 s.f.	75	30	10	30	3	45	30%
Accessory Uses	-	-	50	5	5	1 ½	17	10% ²
R-4: Condominium Residential								
Single-family, detached ⁴	7,000 s.f.	70	30	10	30	2 ½	35	40%
Single-family, attached ⁴	4,500 s.f. / du	50 per unit	30	10 ¹	30	2 ½	35	40% per unit
Two-family dwelling ⁴	10,000 s.f.	75	30	10	30	2 ½	35	40%
Condominiums	2,500 s.f.	25 per unit	30	(¹)	30	2 ½	35	40%
Multi-family dwellings	2,250 s.f./unit	100	30	10	30	3	45	40%
Other Permitted Uses and Conditional Uses	8,500 s.f.	75	30	(³)	30	3	45	30%
Accessory Uses	-	-	50	8	10	1 ½	17	10% ²
C-1: Shopping Center Commercial								
Permitted Uses	-	150	25 ⁵	10	25	3	45	60%
Permitted Conditional Uses	-	150	25 ⁵	10	25	3	45	60%
C-2: General Commercial								
Permitted Uses	10,000 s.f.	-	25 ⁵	15	15	3	45	60%
Permitted Conditional Uses	10,000 s.f.	-	25 ⁵	15	15	3	45	60%
C-3: Highway Commercial / Office Park								
Permitted Uses	10,000 s.f.	-	25 ⁵	15	15	3	45	60%
Multi-family residential	10,000 s.f.	-	25 ⁵	15	15	3	45	60%
Permitted Conditional Uses	10,000 s.f.	-	25 ⁵	15	15	3	45	60%
I-1: Light Industrial								
Permitted Uses	10,000 s.f.	-	35 ⁶	30	25	3	45	65%
Permitted Conditional Uses	10,000 s.f.	-	35 ⁶	30	25	3	45	65%
I-2: Heavy Industrial								
Permitted Uses	10,000 s.f.	-	35 ⁶	30	25	3	45	75%
Permitted Conditional Uses	10,000 s.f.	-	35 ⁶	30	25	3	45	75%

¹ The Side Yard setback along the common wall shall be 0 feet and the common wall shall be along the adjoining lot line

² Provided total area of accessory structure for single family does not exceed 700 s.f. or all structures do not exceed 45% total coverage in the R-1 District and 50% total coverage in the remaining Residential Districts.

³ For Multi-family units, the Side Yard setback shall be 10 feet if it is a max. of 3 stories, and 2 additional feet of Side Yard on each side for each additional story in excess of 3 stories.

⁴ On corner lots: existing development = Street Side Yard may conform to existing setbacks along the street. Future Development = Street Side Yard setback shall equal Front Yard setback

⁵ 25 ft Front Yard setback required if no parking otherwise there is a 50 ft Front Yard setback

⁶ 35 feet Front Yard setback required if no parking otherwise there is a 60 feet Front Yard setback

Additional requirements may apply to a Zoning District, please refer to the specific district, the General Requirements and the Supplemental Regulations for more information.

(Ordinance No. 875, 10-15-02) (Ordinance No. 900, 2-04-03) (Ordinance No. 968, 11-15-05)

AGENDA ITEM 4C

**Zoning Ordinance Amendment —
Sections 2.17, 5.10-5.12, and 5.19 (Definitions and
Permitted Uses in Zones C1-C3, and MU-CC)**

Memorandum



To: Planning Commission

From: Cale Brodersen, Assistant Planner

Date: 9/11/2019

Re: Public Hearing regarding text amendments to the Zoning Ordinance – Sections 2.17, 5.10-5.12, and 5.19 (Definitions and Permitted Uses in Zones C1-C3, and MU-CC)

Staff recently received a building permit application for “Float District”, a float spa or sensory deprivation tank spa in Southport West that provides equipment-based therapies. During the zoning review it was found that this use is not addressed in the La Vista Zoning Ordinance, though it does fit the character and intent of the C-1, C-2, C-3, and MU-CC Districts. Additionally, the La Vista Zoning Ordinance does not clearly address similar uses such as nail salons, day spas, or massage therapy spas. Surrounding communities account for these wellness-oriented uses in a category called “Personal Services”.

The proposed changes to the Zoning Ordinance provide for a definition for “Personal Services” and allow for it as a permitted use in the C-1, C-2, C-3, and MU-CC Districts.

A redline copy of the proposed amendments is attached.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed amendments.

Section 2.17 - Definitions: P

PARCEL shall mean a lot or a contiguous group of lots in single ownership or under single control, which may be considered as a unit for purposes of development.

PARK shall mean any public or private land available for recreational, educational, cultural, or aesthetic use.

PARKING AREA or VEHICULAR USE AREA shall refer to all off street areas and spaces designed, used, required, or intended to be used for parking, including driveways or access ways in and to such areas. (*Ordinance No. 1083, 2-17-09*)

PARKING SPACE shall mean an area, other than a street or alley, reserved for the parking of an automobile, such space having a dimension not less than nine (9) feet *wide* by eighteen (18) feet *long*, plus such additional area as is necessary to afford adequate ingress and egress. (*Ordinance No. 1083, 2-17-09*)

PERMANENT FOUNDATION shall mean a base constructed from either poured concrete or laid masonry rock or brick and placed on a footing located below ground level to a point below the frost line upon which a building or structure is permanently attached.

PERMANENTLY ATTACHED shall mean connected to real estate in such a way as to require dismantling, cutting away, or unbolting in order to remove, relocate, or replace.

PERMITTED USE shall mean any land use allowed without condition within a zoning district.

PERSONAL SERVICES shall mean establishments or places of business primarily engaged in the provision of services of a personal nature, not including uses defined in Adult Establishment. Typical uses include nail salons; day spas; massage spas; and sensory-deprivation tank spas.

PERSON shall mean an individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, City, County, special district or any other group or combination acting as an entity, except that it shall not include La Vista, Nebraska.

PET HEALTH SERVICE (*see Hospital, Animal*) (*Ordinance No. 871, 10-15-02*)

PET SHOP shall mean a retail establishment primarily involved in the sale of domestic animals, such as dogs, cats, fish, birds, and reptiles, excluding exotic animals and farm animals such as horses, cattle, goats, sheep and poultry.

PINBALL or VIDEO GAMES BUSINESS (*See Amusement Arcade*) (*Ordinance No. 1083, 2-17-09*)

PLANNED UNIT DEVELOPMENT shall mean a development designed to provide for an unusual or different arrangement of residential, business, or industrial uses in accordance with an approved development plan. (*Ordinance No. 891, 2-04-03*)

PLANNING COMMISSION shall mean the Planning Commission of La Vista, Nebraska.

PLANT MATERIALS shall mean trees, shrubs, vines, ground covers, grass, perennials, annuals, and bulbs.

PLAT shall mean a map showing the location, boundaries, and legal description of individual properties.

POSTAL STATION shall mean a commercial business which conducts the retail sale of stationery products, provides packaging and mail services (both U.S. Postal and private service), and provides mailboxes for lease. (*Ordinance No. 1083, 2-17-09*)

PREMISES shall mean a tract of land, consisting of one lot or irregular tract, or more than one lot or irregular tract, provided such lots or tracts are under common ownership, contiguous, and used as a single tract (*See also, Parcel*) (*Ordinance No. 1083, 2-17-09*)

PRESCHOOL shall mean a school or center for children under school age, whether licensed as a day care center or not, shall be approved by the Nebraska State Fire Marshall as being in safety conformance with the National Fire Protection Association, Pamphlet 101, known as the Life Safety Code and shall be approved by the Nebraska Department of Health and Welfare as meeting their health and welfare standards. (**Ordinance No. 1083, 2-17-09**)

PRINCIPAL BUILDING shall mean a building within which the main or primary use of the lot or premises is located. (See also Use, Principal) (**Ordinance No. 1083, 2-17-09**)

PUBLIC FACILITIES shall mean any building held, used, or controlled exclusively for public purposes by any department or branch of federal, state, county, or city government. A building belonging to or used by the public for the transaction of public or quasi-public business. Public services may be rendered from such facilities. (**Ordinance No. 1083, 2-17-09**)

PUBLIC SERVICES shall mean services provided by a public agency within a government facility for purposes of public safety and emergency services, including a facility that provides police or fire protection and related administrative facilities. (**Ordinance No. 1083, 2-17-09**)

Section 5.10 C-1 Shopping Center Commercial.

5.10.01 Intent: *The purpose and intent of the City of La Vista in establishing the C-1 Shopping Center Commercial District is to provide convenient local retail shopping and service areas within the city for all residents and to provide for the development of new local commercial districts where so designated. This includes uses such as retail stores, banks, theaters, business offices, restaurants, and taverns. (Ordinance No. 1253, 6-15-15)*

This district prohibits all exterior storage by a primary use unless a separate Conditional Use Permit is requested for the use and granted by the City.

5.10.02 Permitted uses:

- 5.10.02.01 *Medical/dental offices and business services including: attorneys, banks, insurance, real estate offices, postal stations, credit services, security brokers, dealers and exchange, title abstracting, finance services and investment services; but not including uses defined in Adult Establishment. (Ordinance No. 950, 3-1-05)*
- 5.10.02.02 *Child care center.*
- 5.10.02.03 *Dance studio, not including uses defined in Adult Establishment.*
- 5.10.02.04 *Meeting hall, not including uses defined in Adult Establishment.*
- 5.10.02.05 *Museum, art gallery.*
- 5.10.02.06 *Retail business or service establishment supplying commodities or performing services, such as, or in compatibility with and including the following:*
 - 1. *Apparel shop.*
 - 2. *Appliance store.*
 - 3. *Antique store.*
 - 4. *Automobile parts and supply store.*
 - 5. *Bakery shop (retail).*
 - 6. *Barber and Beauty shop.*
 - 7. *Bicycle shop.*
 - 8. *Book store, not including uses defined in Adult Establishment.*
 - 9. *Brew-on premises store.*
 - 10. *Camera store.*
 - 11. *Communication services.*
 - 12. *Computer store.*
 - 13. *Confectionery.*
 - 14. *Dairy products sales.*
 - 15. *Drug store.*
 - 16. *Dry cleaning and laundry pickup.*
 - 17. *Exercise, fitness and tanning spa, not including uses defined in Adult Establishment.*
 - 18. *Food Sales (Limited).*
 - 19. *Food Sales (General).*
 - 20. *Floral shop.*
 - 21. *Mortuary.*
 - 22. *Furniture store or showroom.*
 - 23. *Gift and curio shop.*
 - 24. *Gunsmith.*
 - 25. *Hardware store.*
 - 26. *Hobby, craft, toy store.*
 - 27. *Jewelry store.*
 - 28. *Liquor store.*
 - 29. *Locksmith.*
 - 30. *Meat market, retail.*
 - 31. *Music retail store.*
 - 32. *Newsstands, not including uses defined in Adult Establishment.*
 - 33. *Paint store.*
 - 34. *Photographer.*

35. Picture framing shop.
36. Reservation center.
37. Restaurants, cafes and fast food establishments.
38. Second hand stores.
39. Shoe store.
40. Sporting goods.
41. Stamp and coin stores.
42. Tailors and dressmakers.
43. Tanning salon.
44. Travel agencies.
45. Video store, not including uses defined in Adult Establishment.
46. Social club and fraternal organizations, not including uses defined in Adult Establishment.
47. Telephone exchange.
48. Telephone answering service.
49. Public overhead and underground local distribution utilities.
50. *Publicly owned and operated facilities. (Ordinance No. 950, 3-1-05)*
51. *Adult Day Care Services (Ordinance No. 1328, 9-18-18)*
52. *Tutoring and Exam Preparation Services (Ordinance No. 1341, 2-5-19)*
53. *Personal Services, not including uses defined in Adult Establishment.*

5.10.03 Permitted Conditional Uses:

- 5.10.03.01 Recreational establishments.
- 5.10.03.02 Department Store.
- 5.10.03.03 Variety store, not including uses defined in Adult Establishment.
- 5.10.03.04 Amusement arcades.
- 5.10.03.05 Brew Pubs.
- 5.10.03.06 Coffee Kiosks.
- 5.10.03.07 Microbreweries when in conjunction with a restaurant.
- 5.10.03.08 Automated Teller Machines when not within the interior of a primary use.
- 5.10.03.09 Theater, indoor, not including uses defined in Adult Establishment.
- 5.10.03.10 Bowling center.
- 5.10.03.11 Business or trade school.
- 5.10.03.12 Commercial greenhouse.
- 5.10.03.13 Mail order services.
- 5.10.03.14 Pinball or video games business.
- 5.10.03.15 Tavern and cocktail lounge, not including uses defined in Adult Establishment.
- 5.10.03.16 Totally enclosed, automated and conveyor-style car washes.
- 5.10.03.17 Convenience store with limited fuel sales.
- 5.10.03.18 Garden supply and retail garden center.
- 5.10.03.19 Outdoor storage in conjunction with another primary use.
- 5.10.03.20 Pet Health Services, provided the following:
 1. Said use is totally enclosed within a building.
 2. Said services shall be provided for dogs, cats, birds, fish, and similar small animals customarily used as household pets.
 3. Typical uses include animal veterinary clinics with overnight boarding, only if medically necessary, not exceeding 48 hours.
 4. Grooming shall only be associated with medical appointment.
 5. This excludes uses for livestock and other large animals and uses for general grooming, dog bathing and clipping salons.
- 5.10.03.21 *Self-storage units, provided:*
 1. *Storage unit is an extension of an existing self-storage unit or facility.*
 2. *The topography and access of the property will limit the development of identified commercial uses.*
 3. *No outdoor storage.*

4. Unit or facility provides perimeter fencing in accordance with this ordinance and a vegetative screen of at least six (6) feet in height and twenty (20) feet in width to any adjacent residential zoned property.
5. Lighting on site shall not be directed at or allowed to shine on any residential zoned property.
6. Applications for self-storage units under the terms of this Section shall be accompanied by evidence concerning the feasibility of the proposed request and its effect on surrounding property and shall include a site plan defining the areas to be developed with buildings and/or structures, the areas to be developed for parking, driveways and points of ingress and egress, the location and height of walls and fences, the location and type of landscaping, and the location, size and number of signs.
7. Such use shall not be located adjacent to the intersection of two or more arterial streets.
8. The property shall have at least one boundary line that is adjacent to other property that is zoned I-1 Light Industrial or I-2 Heavy Industrial.
9. Such use shall not include storage of explosives or hazardous materials and shall be in accordance with the intent, purpose and spirit of this ordinance and the Comprehensive Development Plan of La Vista, Nebraska.

(Ordinance No. 954, 7-5-05)

5.10.03.22 Event center, provided:

1. A conditional use permit would need to include specifics to the design and operation of the proposed center and individual activities, including, but not limited to, a detailed site plan and floor plan, a complete list of appointed or designated managers for each event at the center, and a complete description and duration of each event submitted to the city prior to each event.
2. Lighting on site shall not be directed at or allowed to shine on any residential zoned property.
3. Buildings utilized as event centers shall be accompanied by evidence concerning the feasibility of the proposed request and its effect on surrounding property and shall include a site plan defining the areas to be developed with buildings and/or structures, the areas to be developed for parking, driveways and points of ingress and egress, the location and height of walls and fences, the location and type of landscaping, and the location, size and number of signs.
4. All signage shall comply with the City's established regulations.

(Ordinance No. 955, 7-19-05)

5.10.03.23 Animal Specialty Services with or without overnight boarding of animals and outdoor exercise areas. **(Ordinance No. 1253, 6-16-15)**

5.10.03.24 Pet Shop. **(Ordinance No. 1253, 6-16-15)**

5.10.04 Permitted Accessory Uses:

- 5.10.04.01 Buildings and uses customarily incidental to the permitted uses.
- 5.10.04.02 Parking as allowed in Section 7.05 through 7.09.
- 5.10.04.03 Signs allowed in Section 7.01 through 7.04.
- 5.10.04.04 Landscaping as required by Section 7.17.

5.10.05 Permitted Temporary Uses

Temporary Uses require a permit from the City of La Vista and shall be valid only for a specific amount of time as indicated on said permit. *All platted lots or tracts of land may have a maximum number of four (4) temporary uses per calendar year. Such uses shall not last more than two (2) weeks per use, except as provided for hereafter.* **(Ordinance No. 998, 7-18-06)**

- 5.10.05.01 Temporary greenhouses.
- 5.10.05.02 Temporary structures as needed for sidewalk and other outdoor sales events.
- 5.10.05.03 Fireworks stands, provided the criteria are met as established by the City through separate Ordinances.

- 5.10.05.04 Buildings and uses incidental to construction work *are permitted to remain until completion or abandonment of the construction work, at which time they shall be removed. (Ordinance No. 998, 7-18-06)*
- 5.10.05.05 Temporary structure for festivals or commercial events.

5.10.06 Height and Lot Requirements:

- 5.10.06.01 The height and minimum lot requirements shall be as follows:

Uses	Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Lot Coverage
Permitted Uses	-	150'	25' ¹	10'	25'	45'	60%
Permitted Conditional Uses	-	150'	25' ¹	10'	25'	45'	60%

^{1.} 25' front yard setback required only when no parking is present in the front yard. If parking is located in the front yard then front yard setback is a minimum of fifty (50) feet.

5.10.07 Use Limitations:

- 5.10.07.01 When adjacent to residentially zoned land, no parking, drives or signs shall be allowed in any required yard within fifteen (15) feet of such district.
- 5.10.07.02 Furthermore, permanent screening shall be provided in this area in order to minimize impacts on residentially zoned property, as per Section 7.17.04.
- 5.10.07.03 Exterior lighting fixtures shall be shaded so that no direct light is cast upon any residential property and so that no glare is visible to any traffic on any public street.

Section 5.11 C-2 General Commercial District

5.11.01 Intent: The General Commercial District is intended to establish standards that will foster and maintain an area within the district boundaries that will benefit the retail trade, business, cultural, and social activities of the entire community. In addition, this district prohibits all exterior storage by a primary use unless a separate Conditional Use Permit is requested for the use and granted by the City.

5.11.02 Permitted Uses:

- 5.11.02.01 *Medical/dental offices and business services including: attorneys, banks, insurance, real estate offices, postal stations, printing, credit services, security brokers, dealers and exchange, title abstracting, finance services and investment services; but not including uses defined in Adult Establishment. (Ordinance No. 950, 3-1-05)*
- 5.11.02.02 Child care center.
- 5.11.02.03 Dance studio, not including uses defined in Adult Establishment.
- 5.11.02.04 Meeting hall, not including uses defined in Adult Establishment.
- 5.11.02.05 Museum, art gallery.
- 5.11.02.06 Retail business or service establishment supplying commodities or performing services, such as, or in compatibility with and including the following:
 - 1. Apparel shop.
 - 2. Appliance store.
 - 3. Antique store.
 - 4. Automobile parts and supply store.
 - 5. Bakery shop (retail).
 - 6. Barber and Beauty shop.
 - 7. Bicycle shop.
 - 8. Book store, not including uses defined in Adult Establishment.
 - 9. Brew-on premises store.
 - 10. Camera store.
 - 11. Communication services.
 - 12. Computer store.
 - 13. Confectionery.
 - 14. Dairy products sales.
 - 15. Drug store.
 - 16. Dry cleaning and laundry pickup.
 - 17. Exercise, fitness and tanning spa, not including uses defined in Adult Establishment.
 - 18. Floral shop.
 - 19. Mortuary.
 - 20. Food Sales (Limited).
 - 21. Food Sales (General).
 - 22. Furniture store or showroom.
 - 23. Gift and curio shop.
 - 24. Gunsmith.
 - 25. Hardware store.
 - 26. Hobby, craft, toy store.
 - 27. Jewelry store.
 - 28. Liquor store.
 - 29. Locksmith.
 - 30. Meat market, retail.
 - 31. Music retail store.
 - 32. Music studio.
 - 33. Newsstands, not including uses defined in Adult Establishment.
 - 34. Paint store.
 - 35. Photographer.
 - 36. Picture framing shop.
 - 37. Reservation center.
 - 38. Restaurants, cafes and fast food establishment.

39. Second hand stores.
40. Shoe store.
41. Sporting goods.
42. Stamp and coin stores.
43. Tailors and dressmakers.
44. Tanning salon.
45. Travel agencies.
46. Video store, not including uses defined in Adult Establishment.
47. Social club and fraternal organizations, not including uses defined in Adult Establishment.
48. Telephone exchange.
49. Telephone answering service.
50. Theater, indoor, not including uses defined in Adult Establishment.
51. Public overhead and underground local distribution utilities.
52. *Publicly owned and operated facilities. (Ordinance No. 950, 3-1-05)*
53. *Tutoring and Exam Preparation Services (Ordinance No. 1341, 2-5-19)*
54. *Personal Services, not including uses defined in Adult Establishment.*

5.11.03 Permitted Conditional Uses:

- 5.11.03.01 Recreational establishments.
- 5.11.03.02 Variety store, not including uses defined in Adult Establishment
- 5.11.03.03 Amusement arcades.
- 5.11.03.04 Bowling center.
- 5.11.03.05 Brew Pubs.
- 5.11.03.06 Microbreweries when in conjunction with a restaurant.
- 5.11.03.07 Coffee Kiosks.
- 5.11.03.08 Automated Teller Machines when not within the interior of a primary use.
- 5.11.03.09 Business or trade school.
- 5.11.03.10 Garden supply and retail garden center.
- 5.11.03.11 Commercial greenhouse.
- 5.11.03.12 Mail order services.
- 5.11.03.13 Pinball or video games business.
- 5.11.03.14 Tavern and cocktail lounge, not including uses defined in Adult Establishment.
- 5.11.03.15 Totally enclosed, automated and conveyor-style car washes.
- 5.11.03.16 Convenience store with limited fuel sales.
- 5.11.03.17 Residences in conjunction with the principal use when located above the ground floor.
- 5.11.03.18 Churches, temples, seminaries, and convents including residences for teachers and pastors.
- 5.11.03.19 Car wash.
- 5.11.03.20 Retail building material sales; provided that the following minimum standards are present:
 1. All lumber shall be enclosed with the primary structure.
 2. All year-round landscaping materials shall be enclosed within the primary structure.
 3. All outdoor storage shall be temporary and shall comply with the provisions for Temporary Uses, as per this Ordinance.
- 5.11.03.21 Service station with minor automobile repair services.
- 5.11.03.22 Tire store and minor automobile repair service.
- 5.11.03.23 *Animal Specialty Services with or without overnight boarding of animals and outdoor exercise areas. (Ordinance No. 1254, 6-16-15)*
- 5.11.03.24 *Pet Shop. (Ordinance No. 1254, 6-16-15)*

5.11.04 Permitted Temporary Uses

Temporary Uses require a permit from the City of La Vista and shall be valid only for a specific amount of time as indicated on said permit. *All platted lots or tracts of land may have a maximum number of four (4)*

temporary uses per calendar year. Such uses shall not last more than two (2) weeks per use, except as provided for hereafter. (Ordinance No. 998, 7-18-06)

5.11.04.01 Temporary greenhouses.

5.11.04.02 Temporary structures as needed for sidewalk and other outdoor sales events.

5.11.04.03 Fireworks stands, provided the criteria are met as established by the City through separate Ordinances.

5.11.04.04 Buildings and uses incidental to construction work *are permitted to remain until completion or abandonment of the construction work, at which time they shall be removed. (Ordinance No. 998, 7-18-06)*

Temporary structure for festivals or commercial events.

Section 5.12 C-3 Highway Commercial / Office Park District

5.12.01 Intent: The Highway Commercial / Office Park District is intended for large scale commercial and office park development. In addition, this district prohibits all exterior storage by a primary use unless a separate Conditional Use Permit is requested for the use and granted by the City.

5.12.02 Permitted Uses:

- 5.12.02.01 *Medical/dental offices and business services including: attorneys, banks, insurance, real estate offices, postal stations, credit services, security brokers, dealers and exchange, title abstracting, finance services and investment services; but not including uses defined in Adult Establishment. (Ordinance No. 950, 3-1-05)*
- 5.12.02.02 Museum, art gallery.
- 5.12.02.03 Entertainment Venue, indoor, not including uses defined in Adult Establishment. **(Ordinance No. 1219, 7-15-14)**
- 5.12.02.04 Retail business or service establishment supplying commodities or performing services, such as, or in compatibility with and including the following:
1. Book store, not including uses defined in Adult Establishment.
 2. Brew-on premises store.
 3. Dry cleaning and laundry pickup.
 4. Floral shop.
 5. Gift and curio shop.
 6. Jewelry store.
 7. Reservation center.
 8. Restaurants, cafes and fast food establishment.
 9. Travel agencies.
 10. Office Park developments.
 11. Video store, not including uses defined in Adult Establishment.
 12. Meeting Halls not including Adult Establishments.
 13. Theater, indoor, not including uses defined in Adult Establishment. **(Ordinance No. 1219, 7-15-14)**
 14. Coffee kiosks. **(Ordinance No. 1219, 7-15-14)**
 15. Department stores. **(Ordinance No. 1219, 7-15-14)**
 16. Retail trade centers. **(Ordinance No. 1219, 7-15-14)**
 17. Shopping centers. **(Ordinance No. 1219, 7-15-14)**
 18. Commercial strip shopping center. **(Ordinance No. 1219, 7-15-14)**
 19. Tutoring and Exam Preparation Services **(Ordinance No. 1341, 2-5-19)**
 20. Personal Services, not including uses defined in Adult Establishment.
- 5.12.02.04 *Publicly owned and operated facilities. (Ordinance No. 950, 3-1-05)*

5.12.03 Permitted Conditional Uses:

- 5.12.03.01 Automobile display, sales, service, and repair.
- 5.12.03.02 Brew Pubs.
- 5.12.03.03 Microbreweries when in conjunction with a restaurant.
- 5.12.03.04 Entertainment Venue, indoor, but which may include outdoor events, not including uses defined in Adult Establishment. **(Ordinance No. 1219, 7-15-14)**
- 5.12.03.05 Automated Teller Machines when not within the interior of a primary use.
- 5.12.03.06 Tavern and cocktail lounge, not including uses defined in Adult Establishment.
- 5.12.03.07 Convenience store with limited fuel sales.
- 5.12.03.08 Churches and temples.
- 5.12.03.09 Hotels, including restaurants, convention and meeting facilities and other related uses, not including uses defined in Adult Establishment.
- 5.12.03.10 Outlet Shopping Center.
- 5.12.03.11 Health Clubs and tanning salon, not including uses defined in Adult Establishment.
- 5.12.03.12 Health Recreation Facilities, not including uses defined in Adult Establishment.
- 5.12.03.13 *Child Care Center. (Ordinance No. 1041, 7-17-07)*
- 5.12.03.14 *Colleges and Universities. (Ordinance No. 1169, 3-6-12)*

5.12.04 Permitted Temporary Uses

Temporary Uses require a permit from the City of La Vista and shall be valid only for a specific amount of time as indicated on said permit. *All platted lots or tracts of land may have a maximum number of four (4) temporary uses per calendar year. Such uses shall not last more than two (2) weeks per use, except as provided for hereafter. (Ordinance No. 998, 7-18-06)*

- 5.12.04.01 Temporary greenhouses.
- 5.12.04.02 Temporary structures as needed for sidewalk and other outdoor sales events.
- 5.12.04.03 Fireworks stands, provided the criteria are met as established by the City through separate Ordinances.
- 5.12.04.04 Buildings and uses incidental to construction work *are permitted to remain until completion or abandonment of the construction work, at which time they shall be removed. (Ordinance No. 998, 7-18-06)*
- 5.12.04.05 Temporary structure for festivals or commercial events.

5.12.05 Permitted Accessory Uses

- 5.12.05.01 Buildings and uses customarily incidental to the permitted uses.
- 5.12.05.02 Parking as permitted in Section 7.05 through 7.09.
- 5.12.05.03 Signs allowed in Section 7.01 through 7.04.
- 5.12.05.04 Landscaping as required by Section 7.17.

5.12.06 Height and Lot Requirements:

- 5.12.06.01 The height and minimum lot requirements shall be as follows:

Uses	Lot Area (SF)	Lot Width	Front Yard	Side Yard	Rear Yard	Max. Height	Max. Lot Coverage
Permitted Uses	10,000	-	25' ¹	15'	15'	90' ²	60%
Permitted Conditional Uses	10,000	-	25' ¹	15'	15'	90' ²	60%

¹. 25' front yard setback required only when no parking is present in the front yard. If parking is located in the front yard then front yard setback is a minimum of fifty (50) feet.

² Any building within 100 feet of a residentially zoned district shall not exceed 45 feet in height. (Ordinance No. 1082, 11-18-08)

5.12.07 Use Limitations:

- 5.12.07.01 When adjacent to residentially zoned land, no parking, drives or signs shall be allowed in any required yard within fifteen (15) feet of such district. Furthermore, permanent screening shall be provided in this area in order to minimize impacts on residentially zoned property, as per Section 7.14.04.
- 5.12.07.02 Exterior lighting fixtures shall be shaded so that no direct light is cast upon any residential property and so that no glare is visible to any traffic on any public street.

Section 5.19 MU-CC Mixed Use City Centre District

5.19.01 Intent: The intent of the Mixed-Use Town Centre District (MU-CC) is to:

1. Accommodate mixed use buildings with neighborhood-serving retail, service, and other uses on the ground floor and residential units and office uses above the ground floor;
2. Buildings can be solely residential provided they are designed in a building-forward environment, with buildings at the street edge or having only shallow front setbacks.
3. Encourage development that exhibits the physical design characteristics of pedestrian-oriented, storefront-style shopping streets; and
4. Promote the health and well-being of residents by encouraging physical activity, alternative transportation, and greater social interaction.

5.19.02 Permitted Uses:

Uses are allowed in “MU-CC” zoning districts in accordance with the use table of this section.

Uses Allowed in the MU-CC Zoning District

Use Category (Specific Use Type)	MU-CC District
Residential:	
Artist Live/Work Space located above the ground floor	P
Artist Live/Work Space, ground floor	P
Bed & breakfasts	P
Townhouses/condominiums	P
Multi-Family, above ground floor	P
Multi-Family, ground floor	C
Senior living: nursing care, rehab facility & assisted living facility	C
Public and Civic:	
Meeting hall	C
Museum	P
Publicly owned and operated facilities	P
Public services	P
Recreation areas/parks (public)	P
Social club/fraternal organizations	C
Parking Structures or Lots	P
Commercial:	
Antique store	P
Apparel shop	P
Art gallery	P
Attorneys	P
Automated Teller Machines	C
Bakery shop (retail)	P
Banks	P
Barber and beauty shop	P

Bicycle shop	P
Book store, not including uses defined in Adult Establishment.	P
Brew pubs	P
Brew-on premises store	P
Business or trade school	C
Business services	P
Camera store	P
Charitable organizations	C
Child care (center)	P
Coffee kiosks	P
Communication services	C
Computer store	P
Confectionery	P
Credit services	P
Dairy product sales	P
Dance studio	P
Dental office	P
Department store	P
Drug store	P
Dry cleaning & laundry pickup	P
Event center	C
Exercise, fitness & tanning spa	P
Finance/investment services	P
Fireworks stands	T
Floral shop	P
Food sales (general)	P
Food sales (limited)	P
Furniture store or showroom	P
Gift shop	P
Gunsmith	C
Hardware store	P
Health club or recreation facility, not including uses defined in Adult Establishment.	C
Hobby, craft store	P
Home occupations	C
Hotels, including restaurants, convention and meeting facilities and other related uses, not including uses defined in Adult Establishment.	P
Insurance	P
Jewelry store	P
Liquor store	P
Locksmith	P

Mail order services	C
Meat market, retail	C
Medical office	P
Micro-breweries, connected to restaurant	P
Music retail store	P
Music studio	P
Newsstands	P
Office	P
Open-air farmers markets	P
Outdoor display of merchandise	P
Paint store	P
<u>Personal Services, not including uses defined in Adult Establishment.</u>	<u>P</u>
Pet health services	P
Pet shop	C
Photographer	P
Picture framing shop	P
Pinball or video games business	C
Produce stands	P
Real estate offices	P
Recreational establishments	C
Restaurants, café, and fast food	P
Second hand stores	C
Security brokers	P
Shoe store	P
Sporting goods	P
Stamp and coin stores	P
Tailors and dressmakers	P
Tanning salon	P
Tavern and cocktail lounge, not including uses defined in Adult Establishment.	P
Theater, indoor, not including uses defined in Adult Establishment.	P
Title abstracting	P
Toy store	P
Travel agencies	P
Tutoring and Exam Preparation Services	P
Video store, not including uses defined in Adult Establishment.	P

Industrial:

Manufacturing: Artisan (Limited) (hand tools only: e.g., jewelry or ceramics)	C
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Other:

Temporary structures (events)	T
Temporary structures (construction)	T

P = permitted by right; C = conditional use; T = temporary

5.19.03 Permitted Accessory Uses

- | | |
|------------|---|
| 5.19.03.01 | Buildings and uses customarily incidental to the permitted uses. |
| 5.19.03.02 | Urban residential storage as an accessory to a primary residential use. |
| 5.19.03.03 | Parking as permitted in Section 7.05 through 7.09. |
| 5.19.03.04 | Signs allowed in Section 7.01 through 7.04. |
| 5.19.03.05 | Landscaping as required by Section 7.17. |

5.19.04 Setbacks

1. The entire building façade must abut front and street side property lines or be located within 10 feet of such property lines.
2. No rear setback shall be required, except where the rear lot line is contiguous to a residential zone, in which case the following standards shall apply:
 - a. There shall be a minimum rear setback of twenty (25) feet the full width of the lot;
3. No interior side setbacks are required in the MU-CC district, except when MU-CC zoned property abuts R-zoned property, in which case the minimum side setback required in the MU-CC district shall be the same as required for a residential use on the abutting residentially-zoned lot.

5.19.05 Building Height

The maximum building height shall be 90 feet.

5.19.06 Off-Street Parking

1. No off-street parking is required in the MU-CC district.
2. If off-street parking is utilized, it shall comply with Sections 7.08-7.09 of this ordinance.
3. All parking spaces shall be paved with asphalt, concrete or other approved hard surface.
4. The use of shared parking is encouraged.
5. Off-street parking spaces should be located to the rear of the main façade of the principal building or otherwise screened to satisfy the screening requirements of the district design standards.

5.19.10 Circulation and Connectivity

Uses shall be integrated with the surrounding community, easily accessible, and have a good internal circulation system for a variety of travel options.

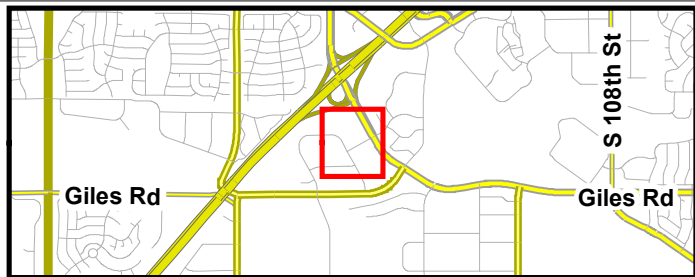
1. Internal walk connections are required between buildings, and from buildings to all on site facilities, such as parking areas, bicycle facilities, and open space.
2. External walk connections are required to provide direct access from all buildings on the site to existing or planned sidewalks, adjacent multi-use trails, parks, and greenways.

AGENDA ITEM 4D

**Planned Unit Development (PUD)—
Brixmor Property Group, LLC**



Project Vicinity Map



Brixmor North PUD
Lots 19-20 Southport West, &
Lots 2-3 Southport West Replat Two

9/11/2019
CB





**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: PPUD-19-0002

For Hearing of: September 19, 2019
Report Prepared on: September 11, 2019

I. GENERAL INFORMATION

A. APPLICANT: Heritage Westwood La Vista LLC

B. PROPERTY OWNER(S):

Heritage Westwood LLC
450 Lexington Ave
New York, NY 10017

C. LOCATION: Northwest of the intersection of Giles Road and Southport Parkway.

D. LEGAL DESCRIPTION: Lots 19-20 Southport West, together with Lots 2-3 Southport West Replat Two

E. REQUESTED ACTION(S):
Planned Unit Development (PUD) Site Plan amendment to allow for the development of three commercial strip centers and one stand-alone restaurant, including two fast food establishments with drive-thrus.

F. EXISTING ZONING AND LAND USE:
C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District); the property is currently vacant.

G. PROPOSED USES:
Developer wishes to construct three multi-tenant commercial strip centers and one stand-alone restaurant, including two fast food establishments with drive-thrus.

H. SIZE OF SITE: 2.47 Acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE: The existing site is vacant ground. There is a slight downward grade toward the southeast.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Embassy Suites; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
2. **West:** Cabela's; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
3. **South:** Vacant; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
4. **East:** Pinnacle Bank; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)

C. RELEVANT CASE HISTORY:

1. The PUD Plan and Ordinance for Southport West was originally approved on December 21, 2004.
2. The PUD Ordinance for Southport West was last amended on February 16, 2016.
3. Southport West Replat 2 was approved on June 6, 2006.

III. ANALYSIS

A. COMPREHENSIVE PLAN: The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.

B. OTHER PLANS: N/A

C. TRAFFIC AND ACCESS:

1. Access to the property will be provided from a right-in/right-out off of Southport Parkway as well as connections through the Embassy Suites parking lot.
2. Applicant has provided a traffic impact study in relation to the development of this project. The study, dated July 2019, finds that traffic is generally anticipated to operate with acceptable delay. However, several turning movements at the intersection of Southport Parkway and Giles Road are anticipated to approach or exceed capacity in short-term future conditions. The intersection of Southport Parkway and Giles Road is expected to have overall level of service "D" in the AM peak and overall level of service "E" in the PM peak with and without the project.
3. The traffic study recommends the addition of a westbound right-turn lane be constructed at the relocated access break for the Site Drive & onto Southport Parkway. This is depicted in the PUD Plan Set

4. Applicant should install all access and signage improvements as recommended in Section 7 of the Traffic Impact Study.

D. UTILITIES: All utilities are available to the site.

E. PARKING REQUIREMENTS:

The plans indicate approximately 21,262 square feet of combined gross floor area between the four buildings. The PUD ordinance for Southport West requires a ratio of 4.5 stalls per 1,000 square feet of leasable gross floor area. The gross floor area proposed within the development requires 96 stalls. The parking count depicted within the PUD Site Plan set is 141 stalls, exceeding the minimum requirement by 45 stalls.

F. LANDSCAPING:

The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. The design review process needs to be substantially complete prior to City Council review.

G. BUILDING DESIGN:

The building design is currently under review by the City's Design Review Architect as part of the overall building and site design package. The design review process needs to be substantially complete prior to City Council review.

IV. REVIEW COMMENTS:

1. The applicant has submitted the following proposed schedule of construction:

- a. Phase 1 - Shell & Turnkey CD Preparation – January, 2020
- b. Phase 1 break-ground - March/April 2020
- c. Deliver to tenants October 1, 2020
- d. Phase II – Shell and Turnkey CD Preparation – December 2020
- e. Phase II break- ground - March 2021
- f. Deliver to tenants October 1, 2021

Applicant has indicated that Phase 1 consists of the eastern-most multi-tenant commercial building. Phase 2 consists of the remaining buildings in the development. Staff has no issues with the proposed timeline.

2. Steve Thornburg of the Papillion Fire Department has noted that the Fire Department approves of the PUD Amendment as long as the proposed development complies with emergency responder radio coverage requirements. This shall be verified by the Papillion Fire Department upon the completion of construction.

3. The development will need to obtain FAA approval prior to the issuance of a building permit.
4. A common area installation and maintenance agreement needs to be approved, executed and recorded prior to obtaining a building permit. Additionally, a satisfactory financial guarantee, such as a performance bond or letter of credit, will be required prior to the issuing of the first building permit in this PUD.
5. Although the engineering consultant's response letter notes adjustments to the grading plan in relation to the berming required as per Section 8(B)(ii)(c) of the Southport West PUD, the PUD documents only depict berming along Westport Parkway and Southport Parkway. Berming is required along all sides "adjacent to a public street". Berming is required along Giles Road.
6. Movement of the existing Right-In/Right-Out (RIRO) access will need to be completed through Administrative Plat process as existing plats show a right in only access at the between lots 20 and 3 Per Southport West Replat 2. Replatting could also adjust the boundaries between lot 20 and 3 and perhaps potential fire code issues, as well as add notation for the RIRO access.

V. STAFF RECOMMENDATION – PUD SITE PLAN:

Approval of the PUD Site Plan for a restaurant development contingent on satisfactory resolution of the issues stated within the staff report prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review and Consultant Response Letters
3. Draft PUD Site Plan Map Set
4. Brixmor North Traffic Impact Study (Without Appendices)

VII. COPIES OF REPORT TO:

1. Marc Newman, Brixmor
2. Eric Williams, Olsson Associates
3. Patrick Morgan, Slaggie Architects, Inc.
4. Public Upon Request


Prepared by: Senior Planner

9/13/19

Community Development Director

Date



June 20, 2019

Marc Newman
Brixmor Property Group
450 Lexington Avenue
New York, NY 10017

RE: Planned Unit Development (PUD) Amendment
Initial Review
Brixmor North – Southport West

Mr. Newman,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

- Per Section 5.15.04.01, you need to submit a schedule of construction. If project phasing is planned, phasing plan and schedule needs to be included. Since there are individual lots that might be conveyed separately, there needs to be information on phasing of construction so that common area elements such as drives, storm water facilities, utilities or other common area shared items can be addressed for maintenance. If appurtenances are not all built with first phase/first lot, then financial guarantees to assure completion will be needed as part of PUD approval.
- Per Section 5.15.04.06, you need to provide evidence of meeting and coordination with the hotel property owner.
- As per Section 5.15.04.05, the application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

Traffic Study

- Section 5.1 and Table 5 identify General Office uses for trip generation, but Sheet C2.I labels the building use as Retail. Please confirm use and adjust trip generation accordingly. The distribution of exiting traffic at the proposed access onto Southport Parkway at 3% seems low given pass by trips can be generated due to trips to the existing businesses within Southport.
- The proposed right-in right out (RIRO) access can suffer stacking if the first internal entrance is congested. This would be more than the two vehicles noted.

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
p: 402-331-4343
f: 402-331-4375

Community Development
8116 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

www.cityoflavista.org
info@cityoflavista.org

Lengthening of the taper and/or lane storage may reduce the stacking effects to Southport Parkway. A delivery truck might need to queue in this bay waiting for vehicles to clear to enter the site for deliveries.

- Pushing the Southport Parkway drive access drive east will give drivers much less room to maneuver over to access turn lane from the inside northbound to westbound left, in a pass-by situation, which may cause unforeseen vehicle conflicts. Consideration to shifting the access farther of way from the Giles Road intersection should be considered.
- The traffic study does not identify the potential for hotel related traffic to use the proposed access. Signage should be installed to direct hotel traffic to the Westport Drive access. There should also be signage at the drive connections to the hotel driveway noting no access to Giles Road. One-way signage on the island opposite the new access will be needed and No U-Turn signage at Southport & Westport intersection will be needed.
- The traffic study should discuss the on-site circulation at the proposed drive-up windows and identify improvements to accommodate the proposed movements.
- Olsson prepared signal timings for the Westport Parkway & Southport Parkway traffic signal as part of the improvement plans prepared for the City with the Costco project. The study needs to identify if signal timings need modification.

Landscaping Sheet

- Ordinance 1267 requires each lot to have 25% of each lot as open space and parking areas to include green space equal to at least 10% of the total paved area. The Landscaping plan notes 27% greenspace of the total of the four lots. This area needs to be illustrated with hatching or shading. It does not appear that each lot would individually meet the 25%, therefore language may be needed to address this in the PUD Amendment. Data on the parking lot greenspace is needed.
- Confirm all landscaping/berm requirements are being met per current PUD, unless otherwise noted within a proposed PUD amendment.

Sheet C1.1

- The existing storm sewer and landscaping easements from the existing previous plats need to be noted.
- Any removals of existing infrastructure or landscaping should be noted on this sheet.

- The RIRO access change will most likely need to be done through a replatting process as existing plats show a right in only access at the between lots 20 and 3 Per Southport West Replat 2. Replatting could also adjust the boundaries between lot 20 and 3 and perhaps address any setback and/or fire code issues, as well as add notation for the RIRO access.

Sheet C2.1

- Proposed public sidewalk needs to be 6 inches thick and not closer than 6 feet to back of curb.
- Pavement thicknesses in the Site Key Notes need to be filled in.
- Need dual ADA ramps at Southport Parkway and Westport Parkway intersection (currently only one ramp is shown)
- Walk connections to hotel not shown
- Walk connections to public sidewalk not shown
- Traffic circulation to the buildings with drive-up windows needs clarified, appears that one-way traffic may be intended but not clearly shown.
- The drive-up lane at rear of bldg. on Lot 2 needs barrier from inbound traffic to avoid confusion/accidents
- Parallel parking stalls in front of 4,844 sf building are too small and will potentially add congestion. Confirm parking count is adequate per building use.
- Radii at the proposed RIRO access on the interior turns should be greater.
- The Site Information Table lists the existing and proposed zoning as "MU". Both should be listed as "C-3 PUD with a Gateway Corridor Overlay"
- Ordinance 1267 states that building setbacks shall meet C-3 zoning unless otherwise approved by City Council as part of the final PUD. The setbacks in the site information table and on the map of C2.1 need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback:	25'
Front Yard Setback (when parking present in front yard):	50'
Side Yard Setback:	15'
Rear Yard Setback:	15'

The building setback dimension along Giles Road and Southport Parkway needs to be adjusted to 50 feet; 25 feet along Westport Parkway; and 15 feet along the property line shared with the hotel.

- Proposed building on Lot 20 does not meet the 15 ft side yard setback of the C-3 District. Dimension proposed setbacks from the side yard lines.
- Building coverage does not appear to be an issue, but data should be set forth on the site layout plan to show compliance with the 60% limitation to conform with Article 5.15.04.10.
- Proposed locations for potential project directory or center identification signs need to be shown

Sheet C3.1

- Grading work will require a grading permit. Refer to the Master Fee Ordinance for details.
- Grading plan needs to address a conceptual design of water quality and 2-year peak flow detention, such as indication of bio-basins or under parking lot facilities.
- As there are drainage capacity limitations at the culvert crossing near under the rail road southeast of Giles road, all catchments drain that drain into said basin should be held to a no-net increase of the predevelopment flows until the drainage culverts at the railroad is up-sized to account for post-developed conditions for a 100-year return frequency.
- The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD.

Sheet C4.1

- Please confirm that the water main on the hotel lot proposed for connection is a public water main.
- The proposed sanitary sewer is running against the topography to reach Westport Parkway. There may be stub outs in Southport Parkway that could be able to serve the lots.
- PCSMP Plan will need to be reference to this drawing as well.
- If the existing storm sewer at the northeasterly side of Lot 2 is outside of the 15 ft easement as it is shown, additional easement will be required.

A separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal.

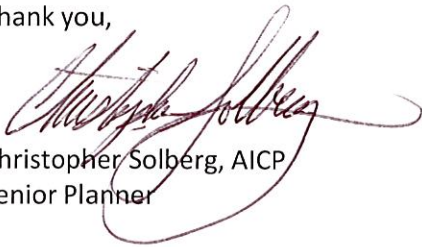
The building, site design, and the landscape plan are currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

Note that the development will need to obtain FAA approval prior to the issuance of a building permit. Also, there may be private, protective covenants recorded against the property that the applicant should review.

In order for the PUD to be considered for review at the July 18th Planning Commission meeting, revised documents will need to be provided for review. Please submit 4 full size copies (along with electronic copies) of the required documents by noon on June 26, 2019 to ensure that the application stays on track for the review by the Planning Commission in July. If the issues within this letter are not resolved sufficiently with the next submittal, the submittal of the application to the Planning Commission for review will be laid over until the August Planning Commission meeting.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,

A handwritten signature in dark ink, appearing to read "Christopher Solberg", written over a circular stamp or seal.

Christopher Solberg, AICP
Senior Planner

cc: John Kottmann, City Engineer
Pat Dowse, City Engineer
Eric Williams, Olsson
Patrick Morgan, Slaggie Architecture

Comment Response: PUD Brixmor North

General Comments

- Per Section 5.15.04.01, you need to submit a schedule of construction. If project phasing is planned, phasing plan and schedule needs to be included. Since there are individual lots that might be conveyed separately, there needs to be information on phasing of construction so that common area elements such as drives, storm water facilities, utilities or other common area shared items can be addressed for maintenance. If appurtenances are not all built with first phase/first lot, then financial guarantees to assure completion will be needed as part of PUD approval. **Response: Schedule of construction will be provided by the owner.**
- Per Section 5.15.04.06, you need to provide evidence of meeting and coordination with the hotel property owner. **Response: The owner has been in contact with the hotel and will provide evidence of this coordination.**
- As per Section 5.15.04.05, the application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable. **Response: Sign off from the property owners will be provided once completed.**

Traffic Study

- Section 5.1 and Table 5 identify General Office uses for trip generation, but Sheet C2.I labels the building use as Retail. Please confirm use and adjust trip generation accordingly. The distribution of exiting traffic at the proposed access onto Southport Parkway at 3% seems low given pass by trips can be generated due to trips to the existing businesses within Southport. **Response: The general office land (LUC 710) use was updated to LUC 820 Shopping Center as a general retail land use for the development. In addition, the pass-by trip distribution and trips were updated. [See Section 5.1 and 5.2 of TIS]**
- The proposed right-in right out (RIRO) access can suffer stacking if the first internal entrance is congested. This would be more than the two vehicles noted. **Response: The issue of internal congestion was added to the report and adding 25 feet to the turn lane is proposed (75 feet storage plus taper – allowing for 3 vehicles to stack in turn lane). Delivery truck traffic is being proposed to be directed to use the Westport entrance to have less potential impact on Southport operations (similar for hotel traffic in comment 4). [See Section 5.3 of TIS]**
- Pushing the Southport Parkway drive access drive east will give drivers much less room to maneuver over to access turn lane from the inside northbound to westbound left, in a pass-by situation, which may cause unforeseen vehicle conflicts. Consideration to shifting the access farther of way from the Giles Road intersection should be considered. **Response: Based on coordination with John Kottmann with the City of La Vista and the client during site plan concept meetings, the location of the access was noted to be at the current location shown on the plans. Language was added to the report to note this. [See Section 5.0 of TIS]**
- The traffic study does not identify the potential for hotel related traffic to use the proposed access. Signage should be installed to direct hotel traffic to the Westport Drive access. There should also be

signage at the drive connections to the hotel driveway noting no access to Giles Road. One-way signage on the island opposite the new access will be needed and No U-Turn signage at Southport & Westport intersection will be needed. **Response: Signage will be proposed to direct hotel traffic (and delivery traffic) to use Westport Parkway to reduce potential congestion at the Southport drive. [See Section 5.3 and 7.0 of TIS]**

- The traffic study should discuss the on-site circulation at the proposed drive-up windows and identify improvements to accommodate the proposed movements. **Response: Language added to the report to describe available stacking distances for each drive-through window. [See Section 5.3 of TIS]**
- Olsson prepared signal timings for the Westport Parkway & Southport Parkway traffic signal as part of the improvement plans prepared for the City with the Costco project. The study needs to identify if signal timings need modification. **Response: Signal timings at Westport Parkway & Southport Parkway were updated. Note that only weekday PM and Saturday signal timings were analyzed in the Costco project – therefore only PM signal timings from Costco project were used in this study. There are no recommended modifications to these timings. [See Section 3.2 and 7.0 of TIS]**

Landscaping Sheet

- Ordinance 1267 requires each lot to have 25% of each lot as open space and parking areas to include green space equal to at least 10% of the total paved area. The Landscaping plan notes 27% greenspace of the total of the four lots. This area needs to be illustrated with hatching or shading. It does not appear that each lot would individually meet the 25%, therefore language may be needed to address this in the PUD Amendment. Data on the parking lot greenspace is needed. **Response: Landscaping Plans have been updated with the requested table.**
- Confirm all landscaping/berm requirements are being met per current PUD, unless otherwise noted within a proposed PUD amendment. **Response: Berms have been added along Westport Parkway and shrubs are provided along Southport for screening.**

Sheet C1.1

- The existing storm sewer and landscaping easements from the existing previous plats need to be noted. **Response: This has been added to the plan.**
- Any removals of existing infrastructure or landscaping should be noted on this sheet. **Response: Removals have been added to the plans.**
- The RIRO access change will most likely need to be done through a replatting process as existing plats show a right in only access at the between lots 20 and 3 Per Southport West Replat 2. Replatting could also adjust the boundaries between lot 20 and 3 and perhaps address any setback and/or fire code issues, as well as add notation for the RIRO access. **Response: Understood. Follow up discussion is needed to determine what is requested for this replat.**

Sheet C2.1

- Proposed public sidewalk needs to be 6 inches thick and not closer than 6 feet to back of curb. **Response: Notes have been revised.**

- Pavement thicknesses in the Site Key Notes need to be filled in. **Response: This has been completed.**
- Need dual ADA ramps at Southport Parkway and Westport Parkway intersection (currently only one ramp is shown). **Response: Ramps have been revised.**
- Walk connections to hotel not shown. **Response: Connection to the hotel has been added.**
- Walk connections to public sidewalk not shown. **Response: Connection to public sidewalk have been provided.**
- Traffic circulation to the buildings with drive-up windows needs clarified, appears that one-way traffic may be intended but not clearly shown. **Response: The site has been modified to provide a 3' island for separation of drive-thru traffic and circulating traffic.**
- The drive-up lane at rear of bldg. on Lot 2 needs barrier from inbound traffic to avoid confusion/accidents. **Response: The site has been modified to provide a 3' island for separation of drive-thru traffic and circulating traffic.**
- Parallel parking stalls in front of 4,844 sf building are too small and will potentially add congestion. Confirm parking count is adequate per building use. **Response: This parking has been removed and parking counts provided.**
- Radii at the proposed RIRO access on the interior turns should be greater. **Response: This has been revised.**
- The Site Information Table lists the existing and proposed zoning as "MU". Both should be listed as "C-3 PUD with a Gateway Corridor Overlay". **Response: This has been revised.**

Ordinance 1267 states that building setbacks shall meet C-3 zoning unless otherwise approved by City Council as part of the final PUD. The setbacks in the site information table and on the map of C2.1 need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically, The building setback dimension along Giles Road and Southport Parkway needs to be adjusted to 50 feet; 25 feet along Westport Parkway; and 15 feet along the property line shared with the hotel. **Response: Setbacks along the roadways have been revised and noted.**

- Proposed building on Lot 20 does not meet the 15 ft side yard setback of the C- 3 District. Dimension proposed setbacks from the side yard lines. **Response: Per conversations with staff, this is an interior lot line and would not need to meet this requirement. "In review of the regulations, Section 5.15.04.16 will allow for up to a zero lot line setback for lot lines that are interior to the development. Hence, an Administrative Plat will not be required."**
- Building coverage does not appear to be an issue, but data should be set forth on the site layout plan to show compliance with the 60% limitation to conform with Article 5.15.04.10. **Response: A table has been provided with the building coverage.**
- Proposed locations for potential project directory or center identification signs need to be shown. **Response: Directory sign location has been noted within the existing signage easement.**

Sheet C3.1

- Grading work will require a grading permit. Refer to the Master Fee Ordinance for details. **Response: Grading permit will be obtained during the permit process.**
- Grading plan needs to address a conceptual design of water quality and 2-year peak flow detention, such as indication of bio-basins or under parking lot facilities. **Response: A water quality structure has been provided along with under parking storage to ensure we are not increasing the offsite flow.**
- As there are drainage capacity limitations at the culvert crossing near under the rail road southeast of Giles road, all catchments drain that drain into said basin should be held to a no-net increase of the predevelopment flows until the drainage culverts at the railroad is up-sized to account for post-developed conditions for a 100-year return frequency. **Response: A water quality structure has been provided along with under parking storage to ensure we are not increasing the offsite flow.**
- The grading plan submitted does not depict the required berming of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD. **Response: Berming has been added and noted on the plan.**

Sheet C4.1

- Please confirm that the water main on the hotel lot proposed for connection is a public water main. **Response: We have coordinated with MUD for the main locations and revised the plan to connect to the main in Westpoint Parkway.**
- The proposed sanitary sewer is running against the topography to reach Westport Parkway. There may be stub outs in Southport Parkway that could be able to serve the lots. **Response: Based on GIS, there are no stubs in Southport Parkway to serve the lots.**
- PCSMP Plan will need to be reference to this drawing as well. **Response: PCSMP note has been referenced.**
- If the existing storm sewer at the northeasterly side of Lot 2 is outside of the 15 ft easement as it is shown, additional easement will be required. **Response: Based on survey, this line appears to be just inside of the easement line and has been modified accordingly.**

A separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal. **Response: A fire access plan has been provided with the submittal.**



July 31, 2019

Marc Newman
Brixmor Property Group
450 Lexington Avenue
New York, NY 10017

RE: Planned Unit Development (PUD) Amendment
Second Review
Brixmor North – Southport West

Mr. Newman,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

- Per Section 5.15.04.01, Applicant needs to submit a schedule of construction as discussed in the previous review letter. In discussions between the Applicant's consulting engineer and Engineering Department staff, it appears that all private improvements will be completed with the construction of the first lot. City will need assurances that installing/encumbering/providing necessary common improvements will take place with the construction of the initial lot.
- Per Section 5.15.04.06, Applicant needs to provide evidence of meeting and coordination with the hotel property owner. This has yet to be provided.
- As per Section 5.15.04.05, the application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Signed letters of support have been provided. However, calculations need to be provided that the three entities received make up the 51%+ necessary.

Traffic Study

- Please note the source of Existing ADT values in Figure 2 of the study.
- Please provide total driveway volumes when considering both primary and pass-by trips.
- Trip distribution does not appear to fully take into account pass by trips to destinations within Southport development. Is there a standard methodology that is being used to apply the distribution percentages as applicable adjacent land uses/trip generators?

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Golf Course
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- AM signal timings should be reviewed to make recommendations as to any pertinent modifications.
- Applicant should install all access and signage improvements as recommended in Section 7 of the Traffic Impact Study.

Sheet L1.1

- Confirm all landscaping/berm requirements are being met per current PUD ordinance.

Sheet C2.1

- The traffic flow around the building in Lot 19 is not clearly indicated; appears the traffic is intended to travel one way.
- Applicant needs one additional walking connection north to the hotel that lines up with the side door to the building. Confirm with hotel site plan.
- Although developments are provided some flexibility in regards to setbacks through the use of a PUD, the Planning Commission and City Council will need to know what revised setbacks they are reviewing. Hence, the proposed side yard setbacks for the buildings planned for Lot 3 and Lot 20 need to be adequately dimensioned on the PUD Site Plan.
- Confirm adequate parking for Lot 2 given the proposed use(s) of the building.
- The building setback dimension along Southport Parkway still needs to be adjusted to 50 feet.
- The site plan depicts a “monument sign” in the southeast corner of the development. Applicant needs to clarify if this is the type of sign requested to be used. If a multi-tenant style sign is planned, the labeling needs to be changed to “Project Directory” or “Center Identification”. Please note the spacing requirements for Center Identification signage in Article 7 of the zoning ordinance when considering the signage plan and related impacts on future development of the property on the south side of Southport Parkway.
- Setbacks for the signage based on the sign type mentioned above and the PUD ordinance need to be depicted for the sign in the southeast corner of the development.

Sheet C3.1

- Underground storage is an acceptable method for post construction requirement, however it is unknown what sizing parameters were used. Sizing should be confirmed within the drainage report.

- Although the engineering consultant's response letter notes adjustments to the grading plan in relation to the berming required as per Section 8(B)(ii)(c) of the Southport West PUD, the PUD documents submitted do not sufficiently depict the required berming.

Sheet C4.1

- City provided to the Applicant's engineering consultant a scan of what is believed to be the as-built locations of the sanitary sewer stubs in Southport Parkway, to which each lot should have a stub out to Southport Parkway.
- Per the engineering consultant's response letter, the storm sewer on the northeasterly side of Lot 2 is stated to be within an existing easement. However, it does not appear so in the revised plans. The easement would appear to need to be modified.

Sheet C5.1

- The Fire Marshall requests to see how trucks can maneuver throughout the site, not just between the entrances to the development.

The building, site design, and the landscape plan are currently under review by the City's Design Review Architect. A separate design review letter is expected by the end of this week and will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

Revised documents will need to be provided for review. Please submit 4 full size copies (along with electronic copies) of the required documents as soon as possible to ensure that the application stays on track for the review by the Planning Commission in September.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
Senior Planner

cc: John Kottmann, City Engineer
Pat Dowse, City Engineer
Eric Williams, Olsson
Patrick Morgan, Slaggie Architecture

Comment Response: PUD Brixmor North

General Comments

- Per section 5.15.04.01, Applicant needs to submit a schedule of construction as discussed in the previous review letter. In discussions between the Applicant's consulting engineer and Engineering Department staff, it appears that all private improvements will be completed with the construction of the first lot. City will need assurances that installing/encumbering/providing necessary common improvements will take place with the construction of the initial lot. **Response: Based on updated utility information, the lots each now will have their own separate water and sewer service which would need to be extended as the lots come are ready for construction. The turn lane and full drive width for shared access will be provided when the first lot is constructed.**
- Per Section 5.15.04.06, you need to provide evidence of meeting and coordination with the hotel property owner. **Response: The owner has been in contact with the hotel JDHQ Hotels/Atrium Hospitality – the owner of record and has provided the city both the email evidencing coordination with JDHQ as well as a letter evidencing the JDHQ's consent to the project.**
- As per Section 5.15.04.05, the application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable. **Response: The owner has provided the city with letters of consent of 54% of the PUD ownership.**

Traffic Study

- Please note the source of Existing ADT values in Figure 2 of the study **Response:**
- Please provide total driveway volumes when considering both primary and pass-by trips. **Response:**
- AM signal timings should be reviewed to make recommendations as to any pertinent modifications **Response:**
- Applicant should install all access and signage improvements as recommended in Section 7 of the Traffic Impact Study **Response:**

Landscaping Sheet

- Confirm all landscaping/berm requirements are being met per current PUD ordinance **Response: Landscaping Plans have been revised to add the requested berms coordinated with Civil sheets.**

Sheet C2.1

- The traffic flow around the building in Lot 19 is not clearly indicated; appears the traffic is intended to travel one way
Response: The traffic is intended to be one-way traffic. Direction arrows and signage have been added.
- Applicant needs one additional walking connection north to the hotel that lines up with the side door to the building. Confirm with hotel site plan
Response: This has been added and coordinated with hotel site configuration.
- Although developments are provided some flexibility in regards to setbacks through the use of a PUD, the Planning Commission and City Council will need to know what revised setbacks they are reviewing. Hence, the proposed side yard setbacks for the buildings planned for Lot 3 and Lot 20 need to be adequately dimensioned on the PUD Site Plan.
Response: Dimensions for the internal setbacks have been provided.
- Confirm adequate parking for Lot 2 given the proposed use(s) of the building
Response: A breakout of parking per lot has been provided.
- The building setback dimension along Southport Parkway still needs to be adjusted to 50 feet.
Response: Setbacks have been adjusted on the plan.
- The site plan depicts a “monument sign” in the southeast corner of the development. Applicant needs to clarify if this is the type of sign requested to be used. If a multi-tenant style sign is planned, the labeling needs to be changed to “Project Directory” or “Center Identification”. Please note the spacing requirements for Center Identification signage in Article 7 of the zoning ordinance when considering the signage plan and related impacts on future development of the property on the south side of Southport Parkway.
Response: This has been revised to reflect a Project Directory signage note.
- Setbacks for the signage based on the sign type mentioned above and the PUD ordinance need to be depicted for the sign in the southeast corner of the development.
Response: Setbacks have been updated. Signage has not been designed for the development.

Sheet C3.1

- Underground storage is an acceptable method for post construction requirement, however it is unknown what sizing parameters were used. Sizing should be confirmed within the drainage report.
Response: Sizing of the underground storage will be provided with the drainage report provided with the construction drawings. Preliminary calculations through ADS has noted 2 tanks with a minimum length of 112’ per run with 2 tanks is required to separate out the 2 drainage areas.
- Although the engineering consultant’s response letter notes adjustments to the grading plan in relation to the berming required as per Section 8(B)(ii)(c) of the Southport West PUD, the PUD documents submitted do not sufficiently depict the required berming. **Response: Berming has been identified and coordinated with the landscape plan.**

Sheet C4.1

- City provided to the Applicant's engineering consultant a scan of what is believed to be the as-built locations of the sanitary sewer stubs in Southport Parkway, to which each lot should have a stub out to Southport Parkway.

Response: The sanitary has been updated to reflect the information kindly provided from the City.

- Per the engineering consultant's response letter, the storm sewer on the northeasterly side of Lot 2 is stated to be within an existing easement. However, it does not appear so in the revised plans. The easement would appear to need to be modified.

Response: With the survey information we have for the site, it appears the line possibly veers from the existing easement. An Easement will be provided by separate instrument for this storm outside of the easement. (attached)

Sheet C5.1

- The Fire Marshall requests to see how trucks can maneuver throughout the site, not just between the entrances to the development.

Response: Routing has been updated through the site.



September 6, 2019

Marc Newman
Brixmor Property Group
450 Lexington Avenue
New York, NY 10017

RE: Planned Unit Development (PUD) Amendment
Third Review
Brixmor North – Southport West

Mr. Newman,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, the City has the following comments:

General Comments

- Per Section 5.15.04.01, Applicant needs to submit a schedule of construction as discussed in the previous review letter. This has yet to be provided.
- It appears that there are several common area elements, such as the master water service and storm water management systems in addition to the RIRO access. There needs to be an itemized estimate of construction costs for these items, and any other common area items. It will be necessary to have a satisfactory financial guarantee, such as a performance bond or letter of credit, prior to issuing the first building permit in this PUD.

Sheet L1.1

- Proposed berming not in conformance with regulations. See comments regarding Sheet C3.1 for more information.
- The dumpster location in the northeast corner of the property needs to be moved away from the Giles Road frontage.

Sheet C2.1

- Resubmitted documents depict the proposed sign at the Southeast corner of the development as a Project Directory sign. As such, minimum setbacks from Giles Road (arterial road) and Southport Parkway (collector road) need to be 20 feet as per Section 7.01.05(6)(C) of the Zoning Ordinance. Setbacks are currently dimensioned at 10 feet in either direction, but are measured from the landscaping easement. Measuring the setbacks from the edge of property should alleviate this issue without impacting the existing sign location.

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Sheet C3.1

- Although the engineering consultant's response letter notes adjustments to the grading plan in relation to the berming required as per Section 8(B)(ii)(c) of the Southport West PUD, the PUD documents only depict berming along Westport Parkway and the western half of Southport Parkway.

To provide assistance in ways to meet the requirements the following clarification is provided:

- a. Although Section 7.17.03.02(3) of the Zoning Ordinance requires the planting of one tree per 40-feet, the intention isn't that it must be planted regularly "on-center". Attached to this letter is Appendix "C" that depicts grouping of the trees (though possibly too close for survivability), which opens up space for berming.
- b. Additionally, 7.17.03.02(3) doesn't require overstory trees. Hence a mixture of overstory trees combined with understory/ornamental trees that have a smaller growth radius provides variety and additional space between trees for berming.
- c. The recent Hooters grading and landscaping plans (attached) depict a method where the berming is incorporated with landscaping and understory trees. This design is replicated along Westport Parkway in the Boot Barn/Shoppes at Southport area further south of Hooters.
- d. As the parking is close to the property lines, trees in the two bump-outs in the parking lot along Southport Parkway and Giles can be counted in the calculations needed to meet requirements of Section 7.17.03.02(3).

Sheet C5.1

- In the Emergency Vehicle Access Plan, the proper apparatus turning radii and proper vehicle size were not used. The proper apparatus, provided by the Fire Marshall, is attached. Please adjust the turns and display the proper basis/legend in the top-right corner.

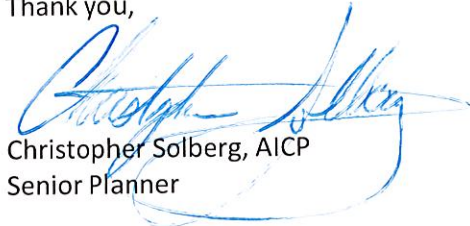
The City's Design Review Architect is awaiting a full resubmittal of the building, site design, and the landscape plan. Due to the timing of the design review in relation to the PUD, it is important to provide complete resubmittals to ensure there are no delays in regards to City Council review of the PUD.

It has been determined that this application, dependent on the resolution of the aforementioned issues, is ready for review by the Planning Commission. Please submit 14 full size copies of the PUD exhibits for the Planning Commission packet preparation by noon on Wednesday, September 11, 2019.

The next Planning Commission meeting is Thursday, September 19, 2019 at 7:00pm. Please have someone in attendance at the meeting to provide a short presentation of the project to the Planning Commission and to answer questions as necessary.

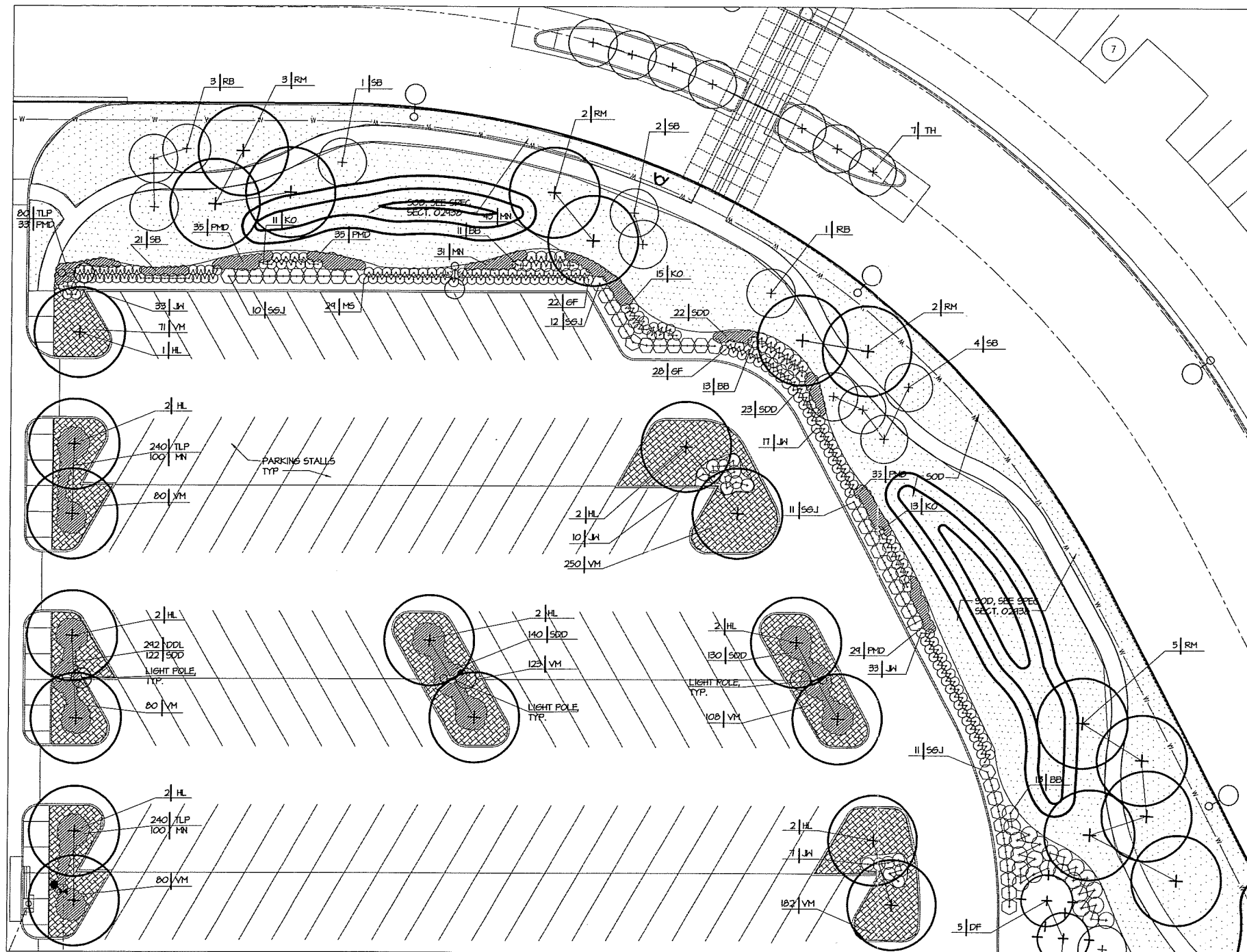
If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,

A handwritten signature in blue ink, appearing to read "Christopher Solberg", is written over a circular blue ink stamp. The signature is fluid and cursive.

Christopher Solberg, AICP
Senior Planner

cc: John Kottmann, City Engineer
Pat Dowse, City Engineer
Eric Williams, Olsson
Patrick Morgan, Slaggie Architecture



TYPICAL STREET & PARKING LOT PERIMETER PLANTING PLAN

SCALE: 1" = 20'-0"

PLANT SCHEDULE

DECIDUOUS SHADE TREES

Key	Botanical / Common Name	Size	Description
HL	Gleditsia triacanthos Inermis 'Shade Master' / Shademaster Honeylocust	3" CAL., B4B	Full crown, straight leader
RM	Acer rubra 'Sunset' / Red Sunset Maple	3" CAL., B4B	Full crown, straight leader

EVERGREEN TREES

Key	Botanical / Common Name	Size	Description
CBS	Picea pungens 'Glauca' / Colorado Blue Spruce	6" B4B	Full Form
DF	Pseudotsuga menziesii / Douglas Fir	6" B4B	Full Form

ORNAMENTAL TREES

Key	Botanical / Common Name	Size	Description
SB	Amelanchier canadensis / Serviceberry	2" CAL., B4B	Full crown, straight leader
TH	Crataegus crus-galli Inermis / Thornless Cockspur Hawthorn	2" CAL., B4B	Full crown, straight leader
RB	Cercis canadensis / Eastern Redbud	2" CAL., B4B	Full crown, straight leader

DECIDUOUS SHRUBS

Key	Botanical / Common Name	Size	Description
BB	Berberis thunbergii 'Rose Glow' / Rose Glow Barberry	5 GAL	Full Form
MS	Philadelphus 'Miniature Snowflake' / Miniature Snowflake Mockorange	5 GAL	Full Form
KO	Rosa 'Knock Out' / Knock Out Rose	5 GAL	Full Form
NH	Rosa 'Nearly Wild' / Nearly Wild Rose	5 GAL	Full Form
JH	Spiraea alba 'Japanese White Spirea'	5 GAL	Full Form
AC	Viburnum trilobum / American Cranberrybush	5 GAL	Full Form
DFV	Viburnum plicatum / Doublefile Viburnum	5 GAL	Full Form

EVERGREEN SHRUBS

Key	Botanical / Common Name	Size	Description
SGJ	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 GAL	Full Form
YEH	Taxus media 'densiformis' / Dense Yew	5 GAL	Full Form

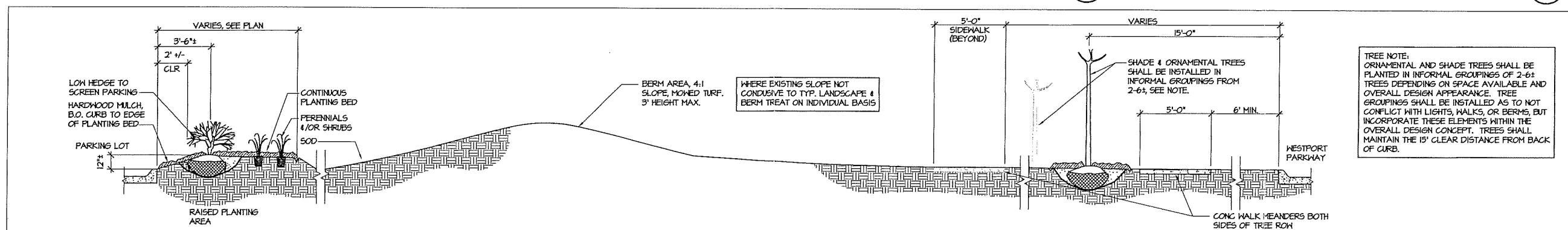
PERENNIALS

Key	Botanical / Common Name	Size	Description
MN	Salvia n. 'Manacht' / May Night Salvia	1 Gal	18" o.c., triang. spacing
PMD	Hemerocallis x 'Pardon Me' / Pardon Me Daylily	1 Gal	18" o.c., triang. spacing
SDD	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 Gal	18" o.c., triang. spacing
BF	Gaillardia 'Kobold' / Blanket Flower	1 Gal	18" o.c., triang. spacing
DFG	Pennisetum alopecuroides 'Hemeln' / Dwarf Fountain Grass	1 Gal	24" o.c., triang. spacing
KFG	Calamagrostis 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 Gal	24" o.c., triang. spacing
BLB	Schizanthus luteus 'Blaze' / Blaze Little Bluestem	1 Gal	24" o.c., triang. spacing
VM	Vinca minor / Periwinkle	4" Cont.	18" o.c., triang. spacing

BULBS

Key	Botanical / Common Name	Size	Description
DDL	Narcissus 'Sep.' / Sep. Daffodil	Bulb	
TLP	Tulipa 'Sep.' / Sep. Tulip	Bulb	

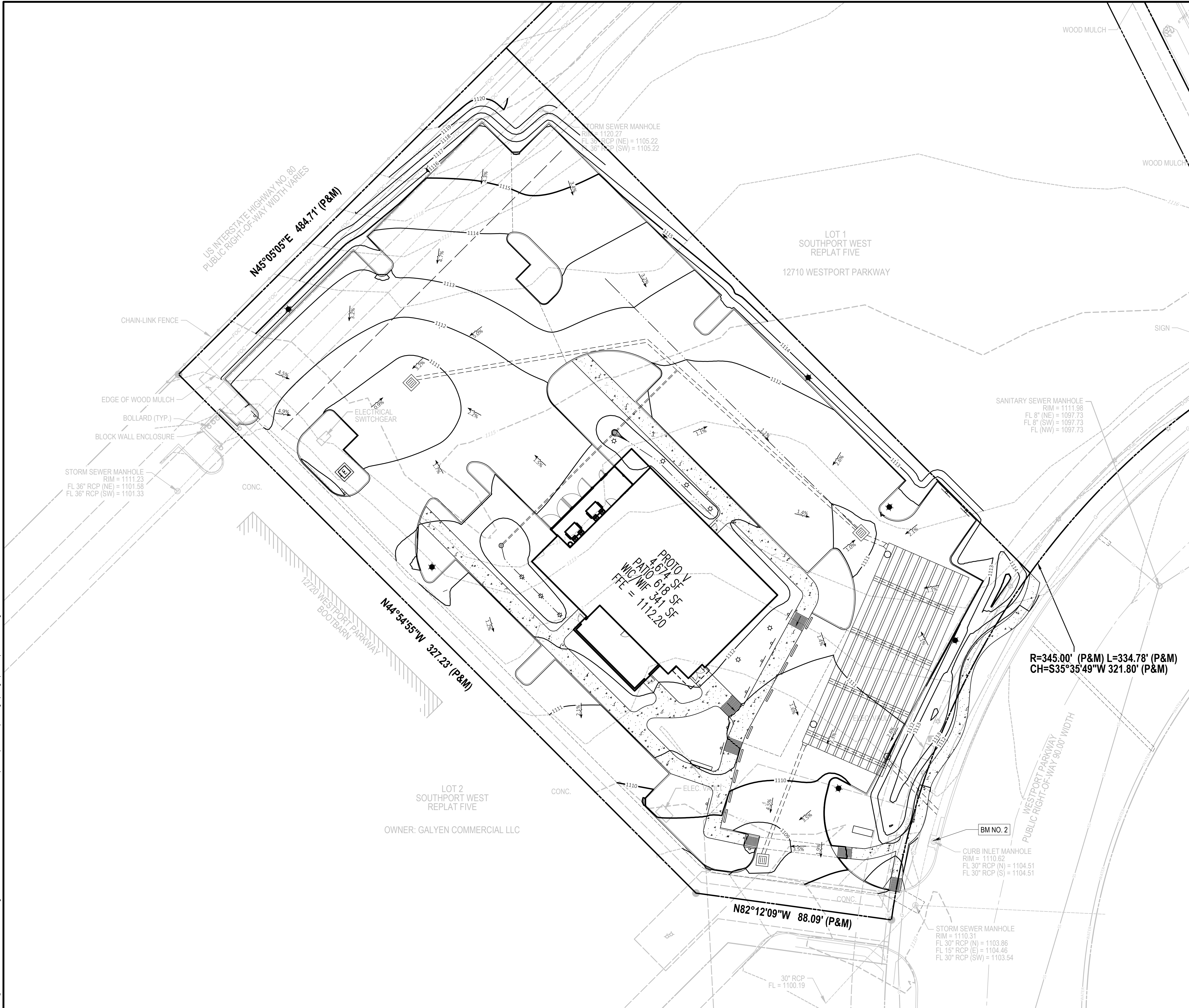
PLANT SCHEDULE



PLANTING SECTION DETAIL

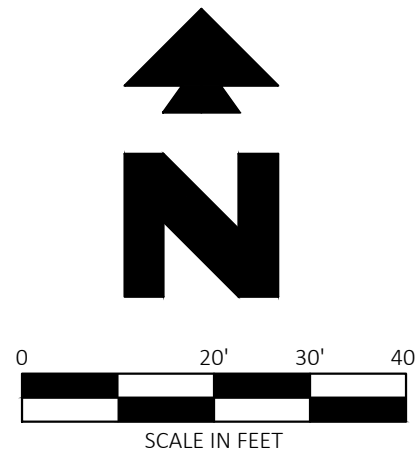
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JOB # 30898 DPA-MWG: 30898-CP.dwg LAST SAVED BY: BWALDRUM LOCATION: P:\30000\30898.0\Drawings\Design (Rev-3)\30898-CP.dwg





**Know what's below.
Call before you dig.**



SITE BENCHMARK	
BM NO. 1	
CHISELED "Y" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.	
ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON	
BM NO. 2	
CHISELED "Y" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE, WEST SIDE WESTPORT PARKWAY.	
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON	

LEGEND


EXISTING			
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
o/s	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UG&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X"G	GAS	5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

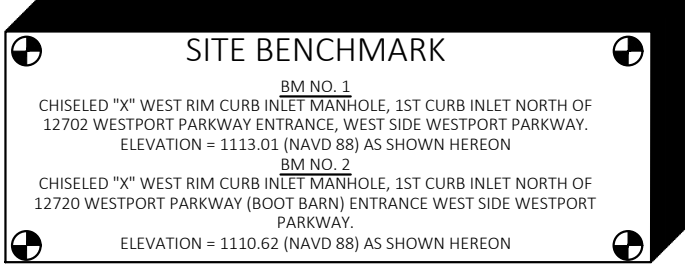
PROPOSED	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	GRADE BREAK
XXX	CONTOUR ELEVATIONS
---	STORM DRAIN
XX.XX	SPOT ELEVATIONS:
	TC = TOP OF CURB
	G = GUTTER
	FS = FINISHED SURFACE
	FG = FINISHED GRADE
	HP = HIGH POINT

- ### GENERAL GRADING NOTES
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATES). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

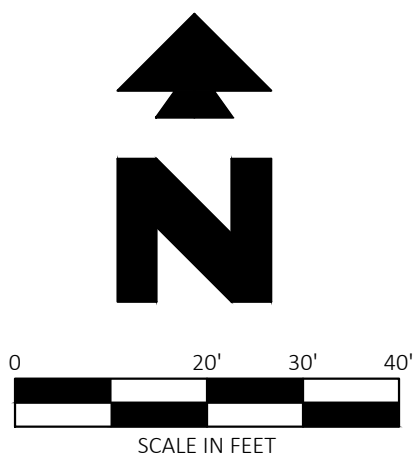
GRADING DETAILS	
23A	GRATE INLET
73A	CONTECH UNDERGROUND DETENTION SYSTEM
73B	10" NYLOPLAST DRAIN

GRADING NOTES	
18C	CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
18D	MATCH EXISTING PAVEMENT ELEVATIONS.

30898	10/18/18	JDC	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
 Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3030 I-49 Freeway, Suite 100 Dallas, TX 75234				(972) 488-3737 FAX (972) 488-6732	
HOOTERS					
12710 WESTPORT PARKWAY LA VISTA NEBRASKA					
GRADING PLAN				REV DATE 10/19/18 REV-3	SHEET NO. 5 OF 19









CITY OF LA VISTA LANDSCAPE REQUIREMENTS			
AREA	PROVISION	REQUIRED	PROVIDED
OPEN SPACE AND BUFFER AREA	THE MINIMUM REQUIRED OPEN SPACE IN THIS PARCEL SHALL BE EQUAL TO AT LEAST 25% OF THE GROSS LOT AREA	74,022 SF OF GROSS LOT AREA * 25% = 18,505 SF OF OPEN SPACE REQUIRED	19,160 SF (25.8%) OF OPEN SPACE PROVIDED
STREET FRONTAGE ALONG WESTPORT PARKWAY	A 15' WIDE LANDSCAPE AREA SHALL BE PROVIDED ALONG THE STREET FRONTAGE		PROVIDED
	A MINIMUM OF ONE TREE SHALL BE PLANTED FOR EVERY 40 LF OF STREET FRONTAGE	168 LF / 40 = 5 TREES REQUIRED	5 TREES PROVIDED
PARKING AREA INTERIOR	PARKING AREAS SHALL INCLUDE LANDSCAPE AREAS EQUAL TO AT LEAST 10% OF THE TOTAL PAVED AREA	43,613 SF OF TOTAL PAVED AREA * 10% = 4,361 SF OF LANDSCAPE AREA REQUIRED	4,574 SF (10.5%) OF INTERIOR LANDSCAPE PROVIDED
	NO PARKING SPACE SHALL BE MORE THAN 120 LF FROM A LANDSCAPED SPACE WITHIN THE SAME PARKING ROW		PROVIDED
SCREENING	ALL PARKING LOTS ABUTTING A PUBLIC RIGHT OF WAY SHALL BE SCREENED FROM VIEW BY A COMBINATION OF 2.5' TALL BERM AND LANDSCAPING		
LANDSCAPING	THE MINIMUM LANDSCAPING SHALL BE 2 (2.5' CAL TREES AND 5 SHRUBS OR 10 CLUMPING GRASSES PER 1000 SF OF OPEN SPACE	18,934 SF OF OPEN SPACE / 1000 = 19 TREES AND 95 SHRUBS OR 190 GRASSES REQUIRED	19 TREES AND 95 SHRUBS PROVIDED

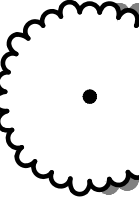

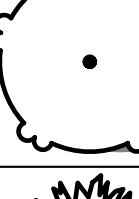


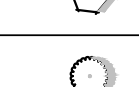

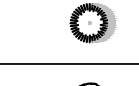
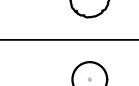
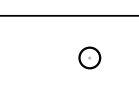

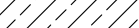



LEGEND

EXISTING		
e	EAST OR ELECTRIC	— OHT — OVERHEAD TELEPHONE
n	NORTH	— OHTV — OVERHEAD TV
oh	OVERHEAD	
s	SOUTH OR SEWER	— X"SS — SANITARY SEWER
t	TELEPHONE	— UGE — UNDERGROUND ELECTRIC
ug	UNDERGROUND	— UGE&T — UNDERGROUND ELECTRIC AND TELEPHONE
w	WEST OR WATER	
— — — — —	PROPERTY LINE	— UGT — UNDERGROUND TELEPHONE
— — — — —	RIGHT OF WAY LINE	— UGTV — UNDERGROUND TV
— — — — —	STORM DRAIN	— X"W — WATER
— — — — —	GAS	— .5-10-11 50.5 — TREE INFO
— — — — —	X"G	.5 = DIAMETER OF TRUNK IN FEET
— — — — —	OHE	10 = HEIGHT OF TREE IN FEET
— — — — —	OHE&T	11 = CANOPY DIAMETER IN FEET
		50.5 = ELEVATION AT BASE OF TREE

PROPOSED

	BOUNDARY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
	BERMUDA GRASS SOD
	24" LANDSCAPE BOULDER
<hr/>	
	DETAILS (REFER TO SHEET L2)
<hr/>	

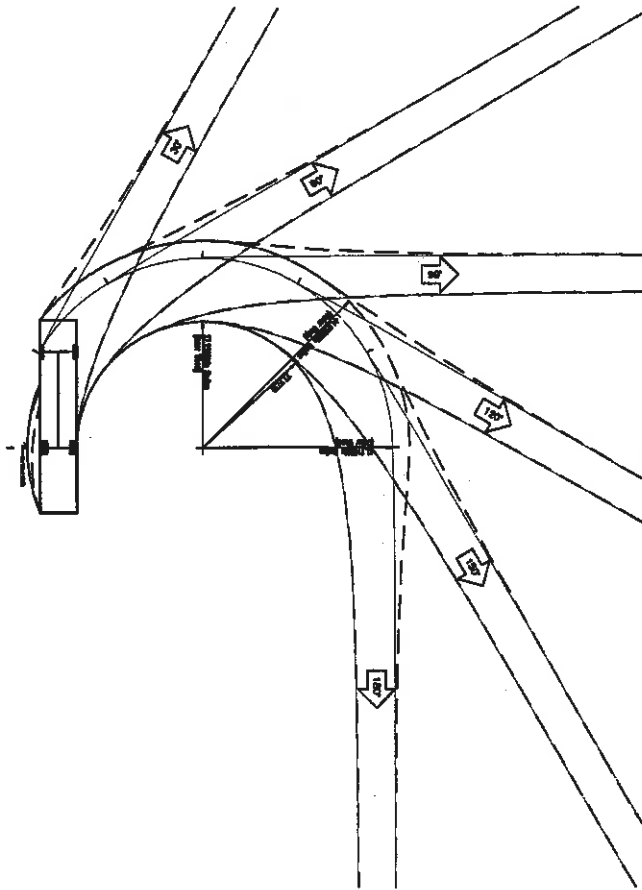
PLANT SCHEDULE							
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	DETAIL	
	8	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	B & B	2" Cal	40' DIA	50A	
	6	Betula nigra / River Birch Multi-Trunk	B & B	2" Cal	30' DIA	50A	
	2	Quercus rubra / Red Oak	B & B	2" Cal	40' DIA	50A	
	3	Malus Prairie Fire / Prairie Fire Crabapple	B & B	2 1/2"	20' DIA	50A	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	DETAIL	FIELD3		
	4	Ilex x attenuata 'Fosteri' / Foster's Holly	5 gal	50B			
	28	Myrica pusilla / Dwarf Southern Wax Myrtle	5 gal	50B			
	9	Rhaphiolepis indica 'Indian Princess' TM / Indian Princess Indian Hawthorne	5 gal	50B			
	13	Rhus aromatica 'Autumn Amber' / Autumn Amber Sumac	5 gal	50B			
	41	Taxus x media 'Densiformis' / Dense Yew	5 gal	50B			
		Juniperus horizontalis 'Plumosa' / Andorra Juniper	5 gal	50B			
	17	Spirea japonica 'Magic Carpet' / Magic Carpet Spirea	3 gal	50B			
	38	Hemerocallis 'Eenie Weenie' / Eenie Weenie Daylily	1 gal	50B			
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME					SPACING
	291	Liriope muscari / Lily Turf	4" pot	50B			12" o.c.

30898	10/19/18	JDG	DMT	BMW	BMW
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
 Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3030 181 Freeway, Suite 100 Dallas, TX 75234				(972)488-3737 FAX (972)488-6732	
<h2 style="text-align: center;">HOOTERS</h2> <p style="text-align: center;">12710 WESTPORT PARKWAY LA VISTA NEBRASKA</p>					
<h1 style="text-align: center;">LANDSCAPE PLAN</h1>			REV DATE 10/19/18 REV 3	SHEET NO 16 of 15	

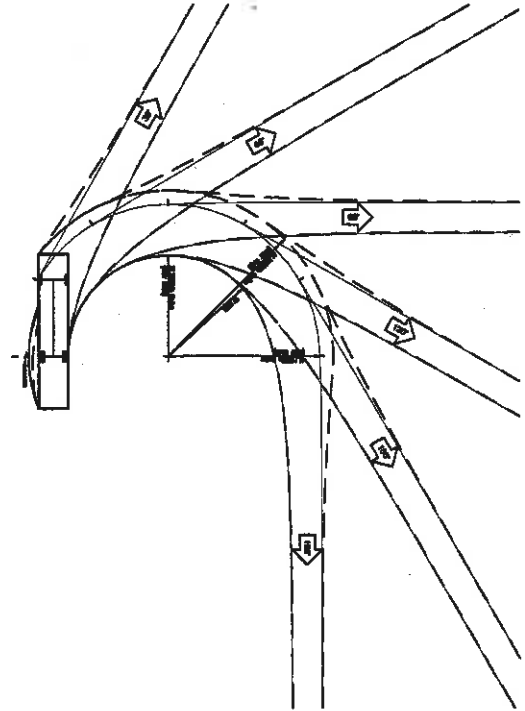
PRELIMINARY
NOT FOR
CONSTRUCTION

© 2018 CEI ENGINEERING ASSOCIATES, INC.

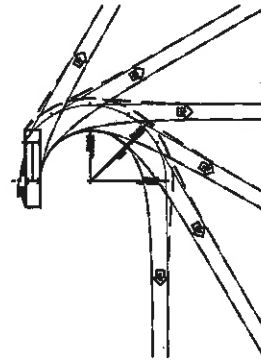
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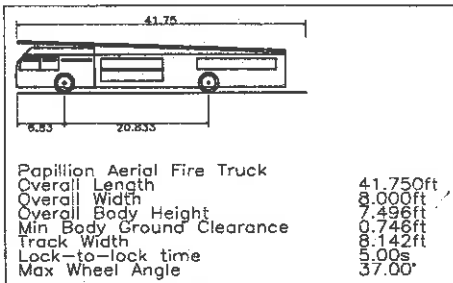
1"=40' Scale Template



1"=50' Scale Template



1"=100' Scale Template



City of Papillion

Public Works Department
145 West Second Street
Papillion, NE 68046
Ph: 402-597-2043

Drawn By: DWG Checked By: DWG Date: 7/24/14

Project Title

Emergency Vehicle Turn Template

Sheet Title

1"=40'/50'/100' Scale Template

Revision Dates

No.	Description	Date

Sheet Number

Sheet 3 of 3

Comment Response: PUD Brixmor North 09/09/19

General Comments

- Per Section 5.15.04.01, Applicant needs to submit a schedule of construction as discussed in the previous review letter. This has yet to be provided. **Response: Please see below for a list from the developer for planned construction:**
 - a. Phase 1 - Shell & Turnkey CD Preparation – January, 2020
 - b. Phase 1 break-ground - March/April 2020
 - c. Deliver to Starbucks and other tenants October 1, 2020
 - d. Phase II – Shell and Turnkey CD Preparation – December 2020
 - e. Phase II break- ground - March 2021
 - f. Deliver to other tenants October 1, 2021
- It appears that there are several common *area* elements, such as the master water service and storm water management systems in addition to the RIRO access. There needs to be an itemized estimate of construction costs for these items, and any other common area items. It will be necessary to have a satisfactory financial guarantee, such as a performance bond or letter of credit, prior to issuing the first building permit in this PUD. **Response: Cost Assumption provided with the submittal for the RIRO, storm/detention, water and fire lines.**

Sheet L1.1

- Proposed berming not in conformance with regulations. See *comments* regarding Sheet C3.1 for more information. **Response: Berming has been revised to meet the requirements provided in Appendix C.**
- The dumpster location in the northeast corner of the property needs to be moved away from the Giles Road frontage. **Response: Dumpster has been relocated to the north parking area. This has been placed outside of the easement and the site plan has been updated.**

Sheet C2.1

- Resubmitted documents depict the proposed sign at the Southeast corner of the development as a Project Directory sign. As such, minimum setbacks from Giles Road (arterial road) and Southport Parkway (collector road) need to be 20 feet as per Section 7.01.05(6)(C) of the Zoning Ordinance. Setbacks are currently dimensioned at 10 feet in either direction, but are measured from the landscaping easement. Measuring the setbacks from the edge of property should alleviate this issue without impacting the existing sign location. **Response: The dimensions have been revised to be from property line instead of setback line.**

Sheet C3.1

- Although the engineering consultant's response letter notes adjustments to the grading plan in relation to the berming required as per Section 8(B)(ii)(c) of the Southport West PUD, the PUD documents only depict berming along Westport Parkway and the western half of

Southport Parkway.

To provide assistance in ways to meet the requirements the *following* clarification is provided:

- a. Although Section 7.17.03.02(3) of the Zoning Ordinance requires the planting of one tree per 40-feet, the intention isn't that it must be planted regularly "on-center". Attached to this letter is Appendix "C" that depicts grouping of the trees (though possibly too close for survivability), which opens up space for berming.
- b. Additionally, 7.17.03.02(3) doesn't require overstory trees. Hence a mixture of overstory trees combined with understory/ornamental trees that have a smaller growth radius provides variety and additional space between trees for berming.
- c. The recent Hooters grading and landscaping plans (attached) depict a method where the beaming is incorporated with landscaping and understory *trees*. This design is replicated *along* Westport Parkway in the Boot Barn/Shoppes at Southport area further south of Hooters.
- d. As the parking is close to the property lines, trees in the two bump-outs in the parking lot along Southport Parkway and Giles can be counted in the calculations needed to meet requirements of Section 7.17.03.02(3).

Response: Berming and landscape have been revised to meet the requirements provided in Appendix C. Counts and plans have been revised to reflect the berms and landscape/trees and sidewalks have been revised to accommodate the berming to meet the requirements and example plans provided.

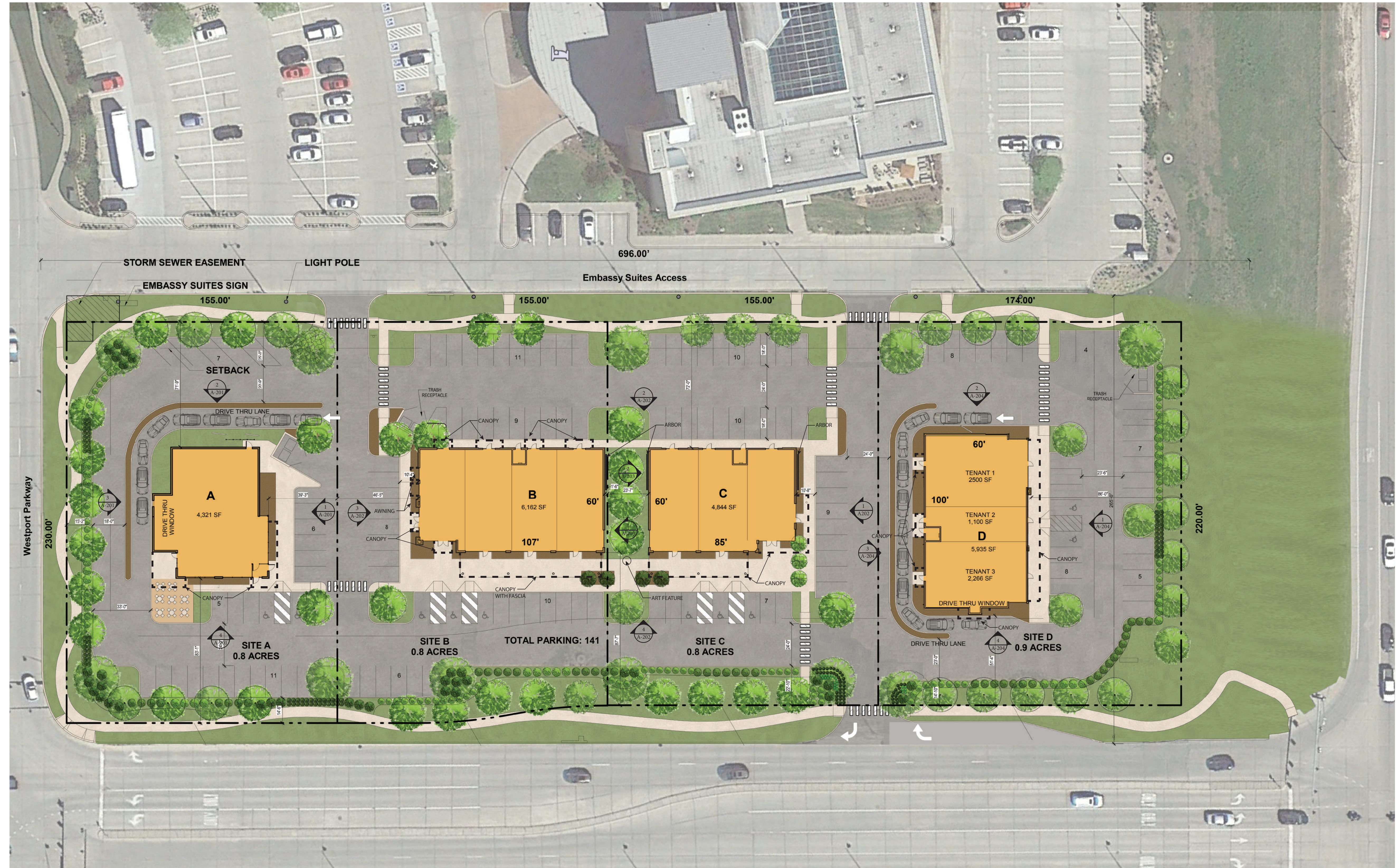
Sheet C5.1

- In the Emergency Vehicle Access Plan, the proper apparatus turning radii and proper vehicle size were not used. The proper apparatus, provided by the Fire Marshall, is attached. Please adjust the turns and display the proper basis/legend in the top-right corner. **Response: Emergency Access Plan has been updated per the approved apparatus and plan information has been updated.**

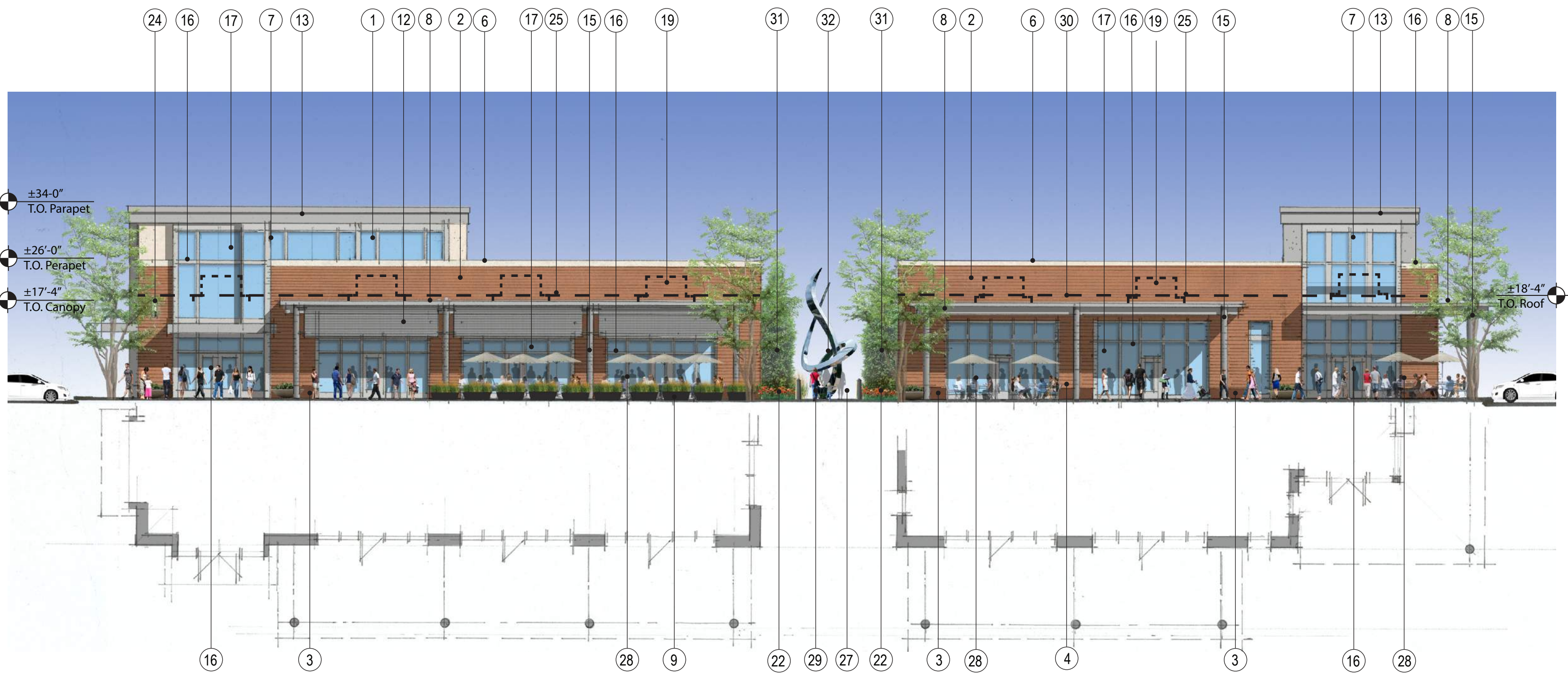
Southport West
Retail Development Lots 2, 3, 19, 20
12448 Southport Pkwy
La Vista, NE 68128

PUD Resubmittal
August 30, 2019

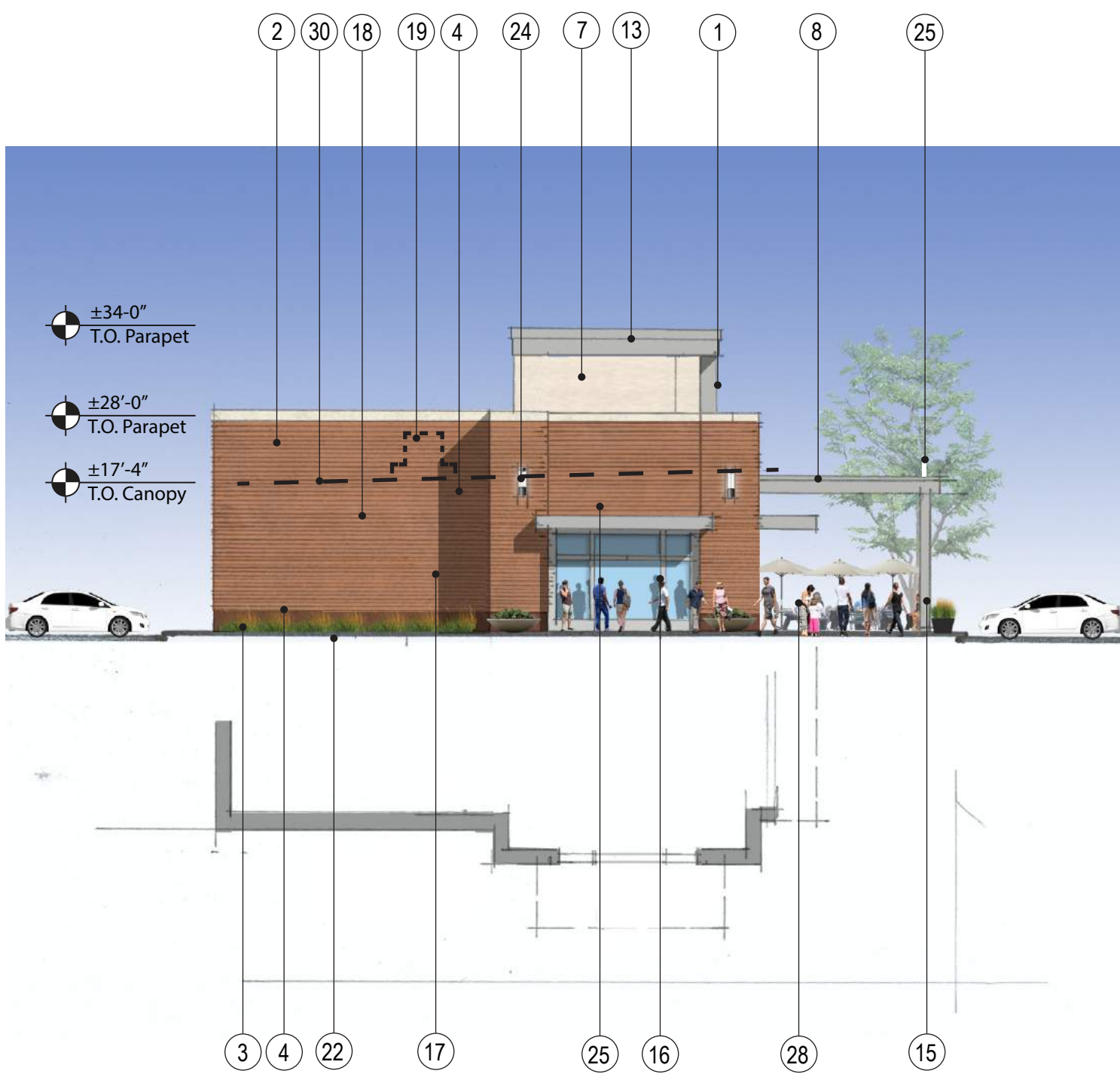
A-101







Buildings B-C - South Elevation 4
1/16" = 1'-0"



Buildings B - West Elevation 3
1/16" = 1'-0"



Buildings C-B - North Elevation 2
1/16" = 1'-0"



Buildings C - East Elevation 1
1/16" = 1'-0"

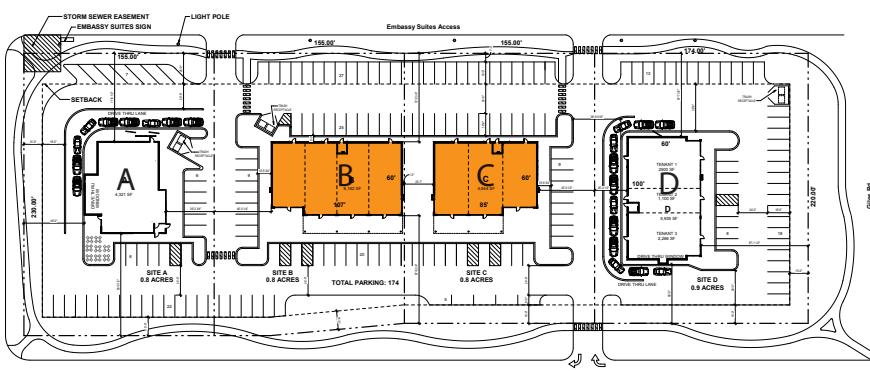
EXTERIOR MATERIALS LEGEND

1. Synthetic Stucco Finish with Rustication Joints
2. Modular Brick Masonry Veneer – Type 1
3. Modular Brick Masonry Veneer – Type 2
4. Stone Base and Trim at Square Column *
5. Cast Stone Base
6. Metal Coping/Trim
7. Metal Screen Wall with Composite Wood Slats
8. Metal Canopy System with Decorative Fascia
9. Decorative Raised Planter/Seating Wall
10. Wood Composite Cladding/Rainscreen - Type 1
11. Wood Composite Cladding/Rainscreen - Type 2
12. Open-Framed Galvanized or Aluminum Metal Frame to accept Tenant Sign
13. Metal Coping with Raised Profile Sloped Roof
14. Metal Guardrail System at Outdoor Eating Area
15. Galvanized Metal Square Column or Pilaster with Powder Coating Finish
16. Clear Anodized Metal Storefront System
17. Low E-Clear Glass
18. Canvas Awning on Metal Frame by Tenant (Matte Finish) *
19. Roof Top Unit Beyond, Fully Screened by Parapet
20. Pre-finished Metal Roof System on Sloped Roof *
21. Drive-Thru Window System
22. Landscape Beds per Site Plan
23. Decorative Cut-Off Wall Pack Light Above Door
24. Decorative Wall Sconce Light
25. Reverse Channel Back-Illuminated Tenant Signage with Individual Letters as per UDO
26. Covered Arcade/Walkway
27. Pedestrian Walkway
28. Site Furniture/Seating by Tenant, Approved by Landlord
29. Serpentine Walkway
30. Line of Roof Beyond
31. Decorative Metal Arbor Trellis *
32. Art Feature *

GENERAL NOTES

1. All materials shall meet the design requirements of SPW PUD Ordinance Amendment Bracket 2015 – PUD 06 City of La Vista, NE, also referred to as "Southport West Guidelines."
2. The enclosed material notes and calculations are in reference to Sections 5, 6, 7, 8, 9 Building Guidelines and Criteria.
3. Color palette is consistent with surrounding structures (Embassy Suites) and with Nebraska landscape colors (Section 8 Color Palettes).

KEY PLAN

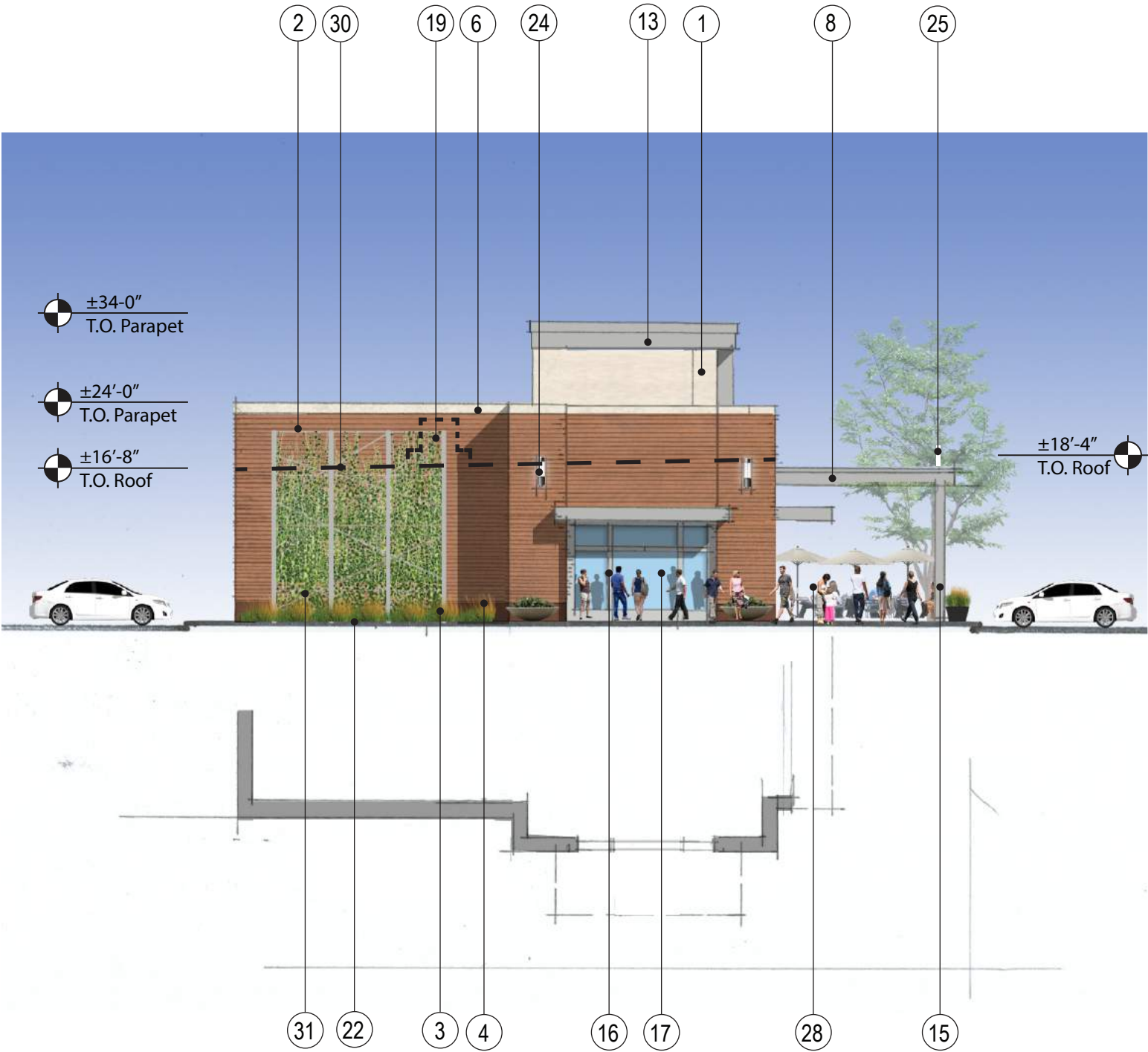


EXTERIOR MATERIALS LEGEND

1. Synthetic Stucco Finish with Rustication Joints
2. Modular Brick Masonry Veneer – Type 1
3. Modular Brick Masonry Veneer – Type 2
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5. Cast Stone Base
6. Metal Coping/Trim
7. Metal Screen Wall with Composite Wood Slats
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32. Art Feature *

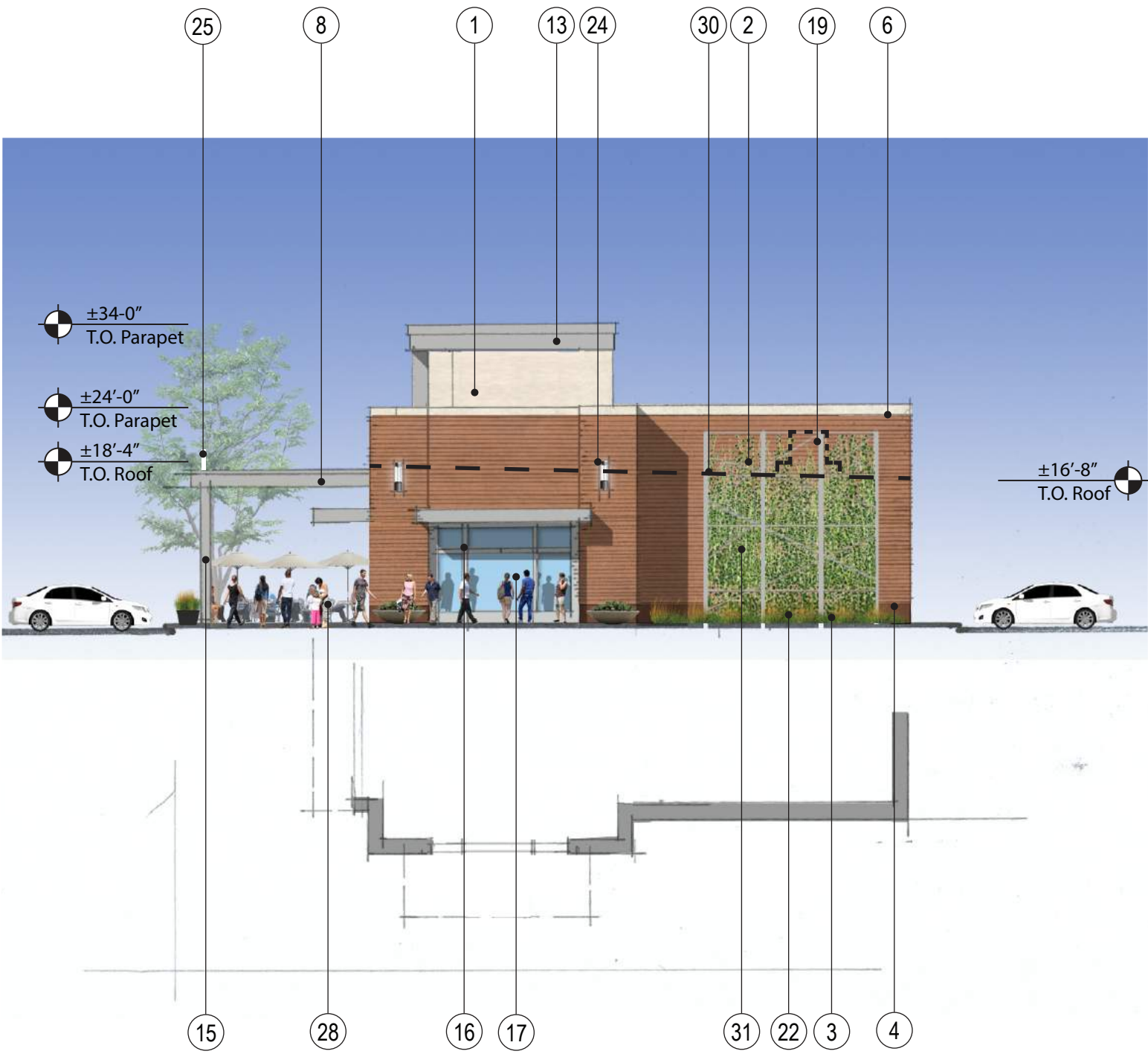
GENERAL NOTES

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2. The enclosed material notes and calculations are in reference to Sections 5, 6, 7, 8, 9 Building Guidelines and Criteria.
3. Color palette is consistent with surrounding structures (Embassy Suites) and with Nebraska landscape colors (Section 8 Color Palettes).



Buildings C - West Elevation

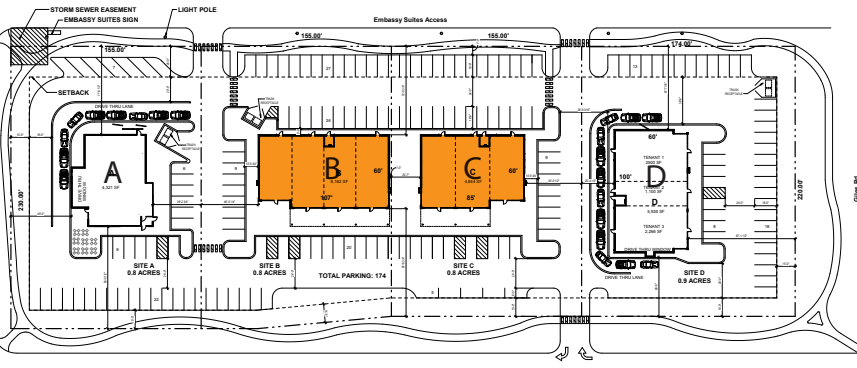
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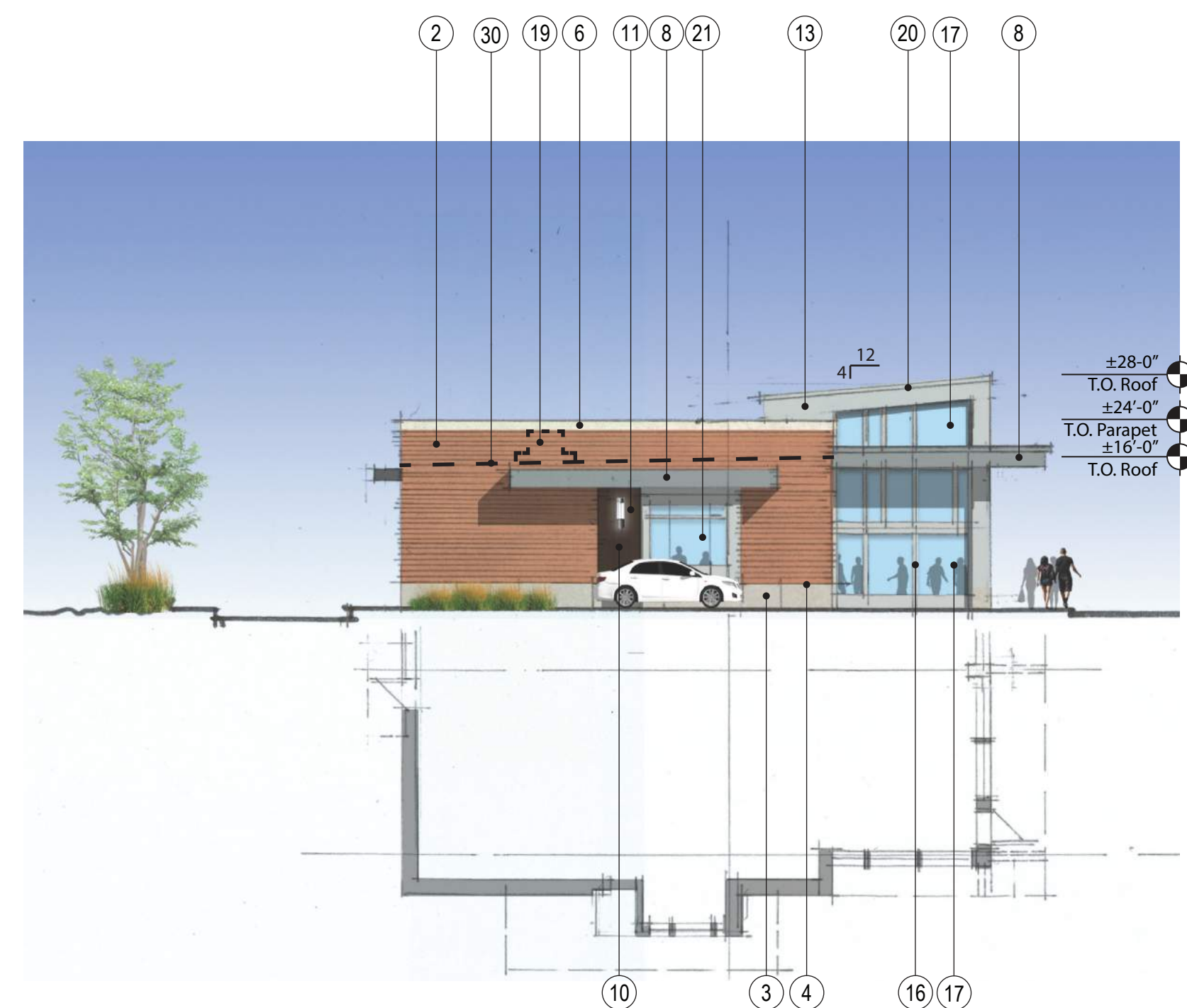


Buildings B - East Elevation

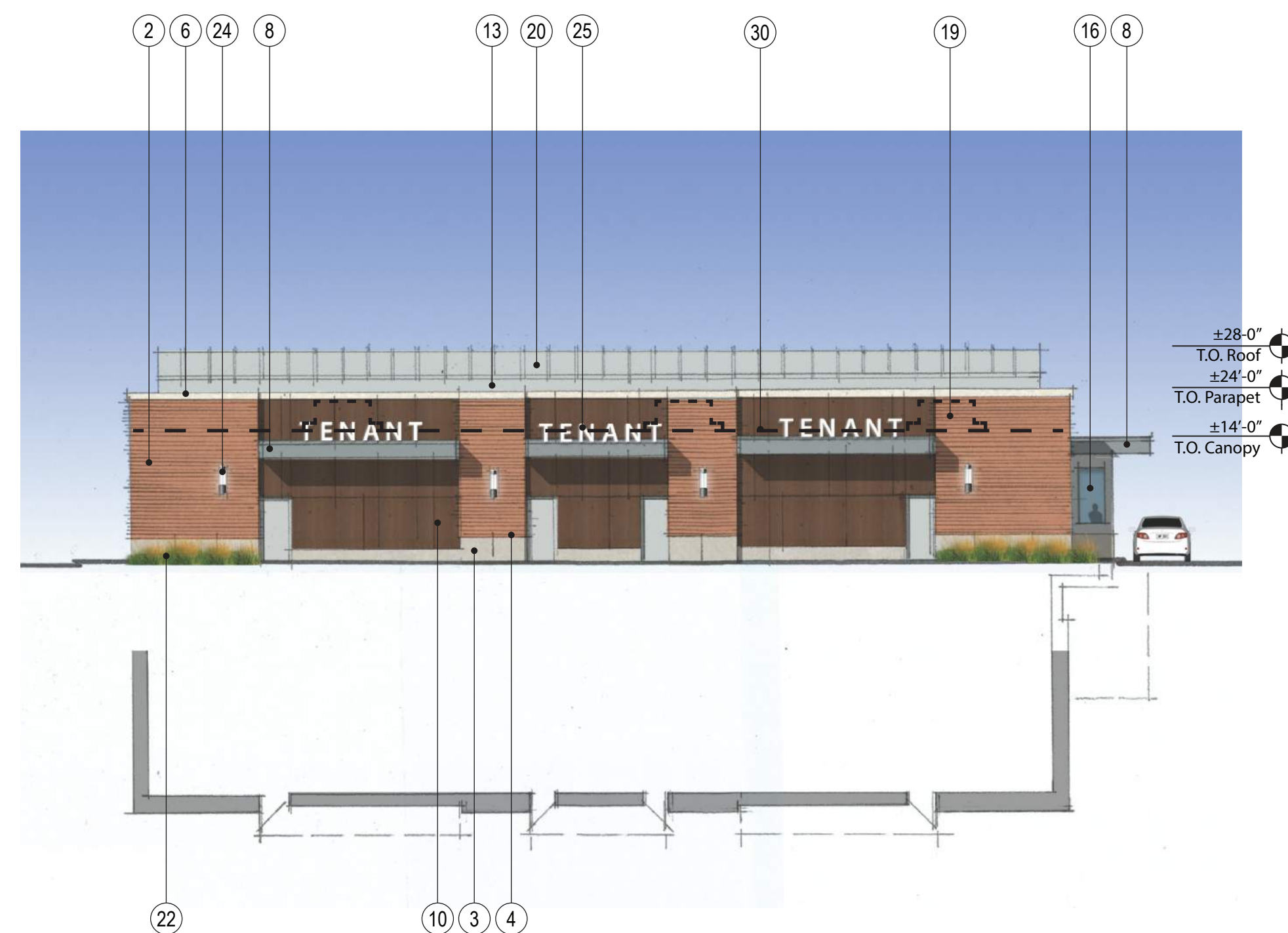
1

KEY PLAN

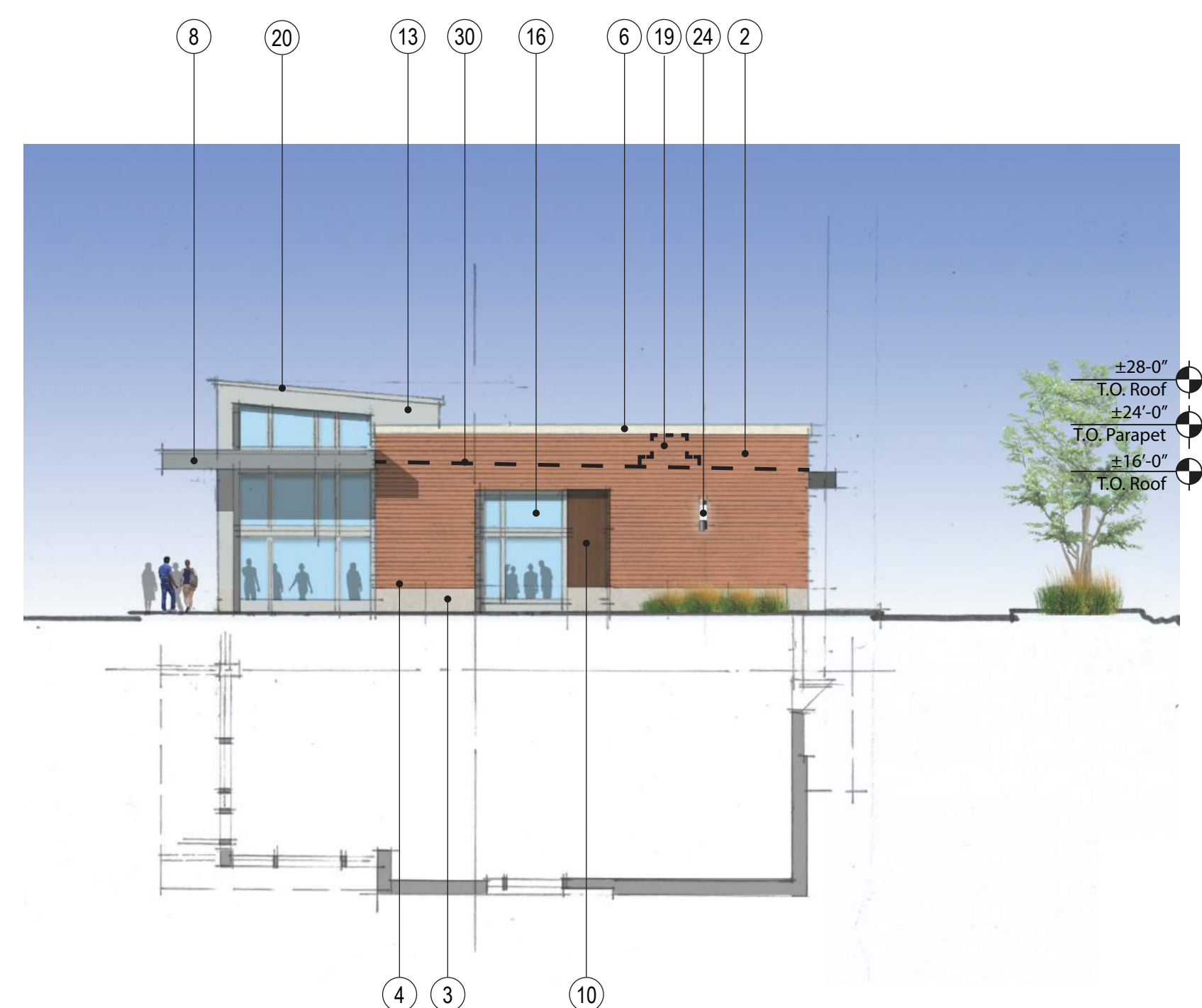




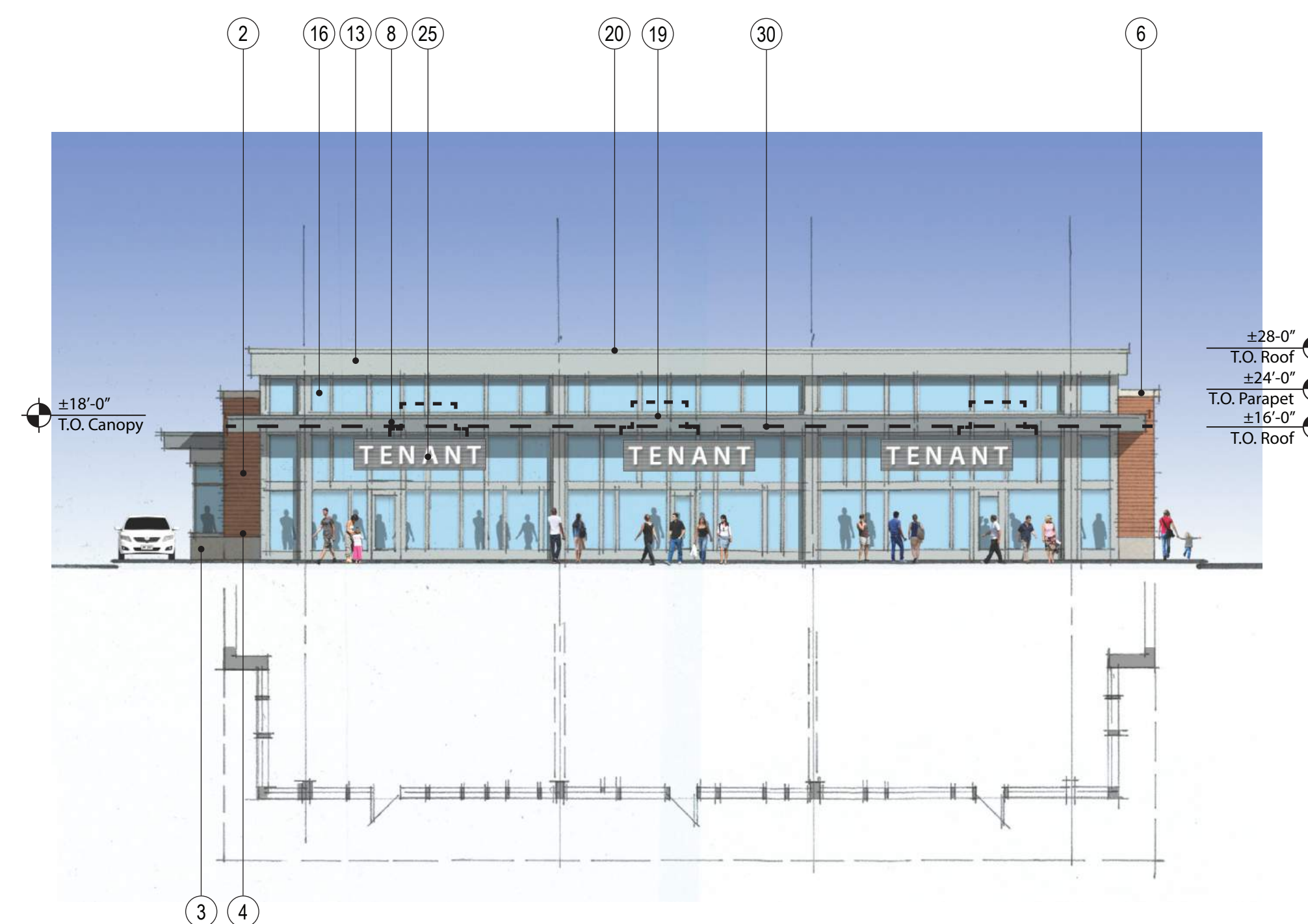
Building D - South Elevation



Building D - West Elevation



Building D - North Elevation



Building D - East Elevation

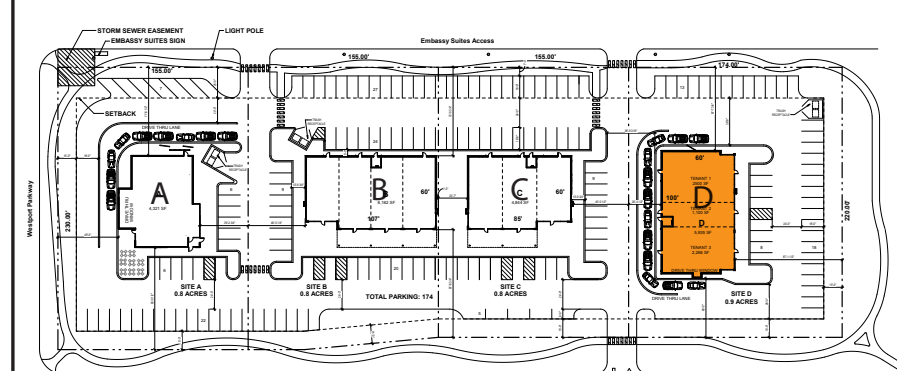
EXTERIOR MATERIALS LEGEND

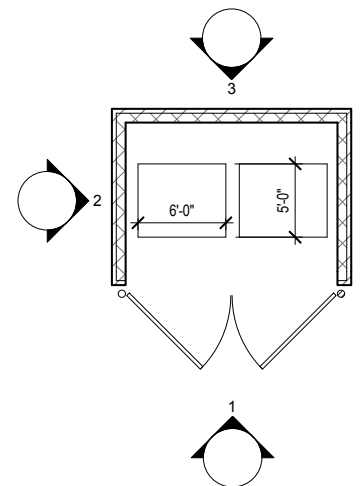
1. Synthetic Stucco Finish with Rustication Joints
2. Modular Brick Masonry Veneer – Type 1
3. Modular Brick Masonry Veneer – Type 2
4. Stone Base and Trim at Square Column *
5. Cast Stone Base
6. Metal Coping/Trim
7. Metal Screen Wall with Composite Wood Slats
8. Metal Canopy System with Decorative Fascia
9. Decorative Raised Planter/Seating Wall
10. Wood Composite Cladding/Rainscreen - Type 1
11. Wood Composite Cladding/Rainscreen - Type 2
12. Open-Framed Galvanized or Aluminum Metal Frame to accept Tenant Sign
13. Metal Coping with Raised Profile Sloped Roof
14. Metal Guardrail System at Outdoor Eating Area
15. Galvanized Metal Square Column or Pilaster with Powder Coating Finish
16. Clear Anodized Metal Storefront System
17. Low E-Clear Glass
18. Canvas Awning on Metal Frame by Tenant (Matte Finish) *
19. Roof Top Unit Beyond, Fully Screened by Parapet
20. Pre-finished Metal Roof System on Sloped Roof *
21. Drive-Thru Window System
22. Landscape Beds per Site Plan
23. Decorative Cut-Off Wall Pack Light Above Door
24. Decorative Wall Sconce Light
25. Reverse Channel Back-Illuminated Tenant Signage with Individual Letters as per UDO
26. Covered Arcade/Walkway
27. Pedestrian Walkway
28. Site Furniture/Seating by Tenant, Approved by Landlord
29. Serpentine Walkway
30. Line of Roof Beyond
31. Decorative Metal Arbor Trellis *
32. Art Feature *

GENERAL NOTES

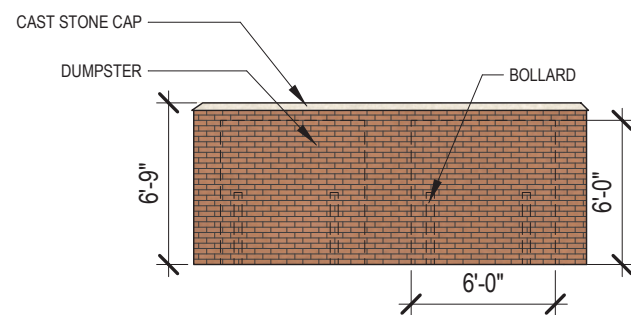
1. All materials shall meet the design requirements of SPW PUD Ordinance Amendment Bracket 2015 – PUD 06 City of La Vista, NE, also referred to as “Southport West Guidelines.”
2. The enclosed material notes and calculations are in reference to Sections 5, 6, 7, 8, 9 Building Guidelines and Criteria.
3. Color palette is consistent with surrounding structures (Embassy Suites) and with Nebraska landscape colors (Section 8 Color Palettes).

KEY PLAN

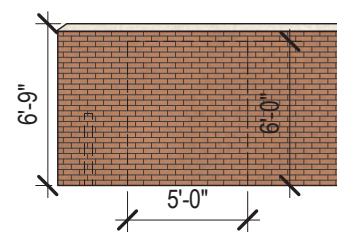




TRASH ENCLOSURE FLOOR PLAN



NORTH ELEVATION 3

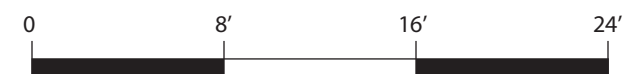


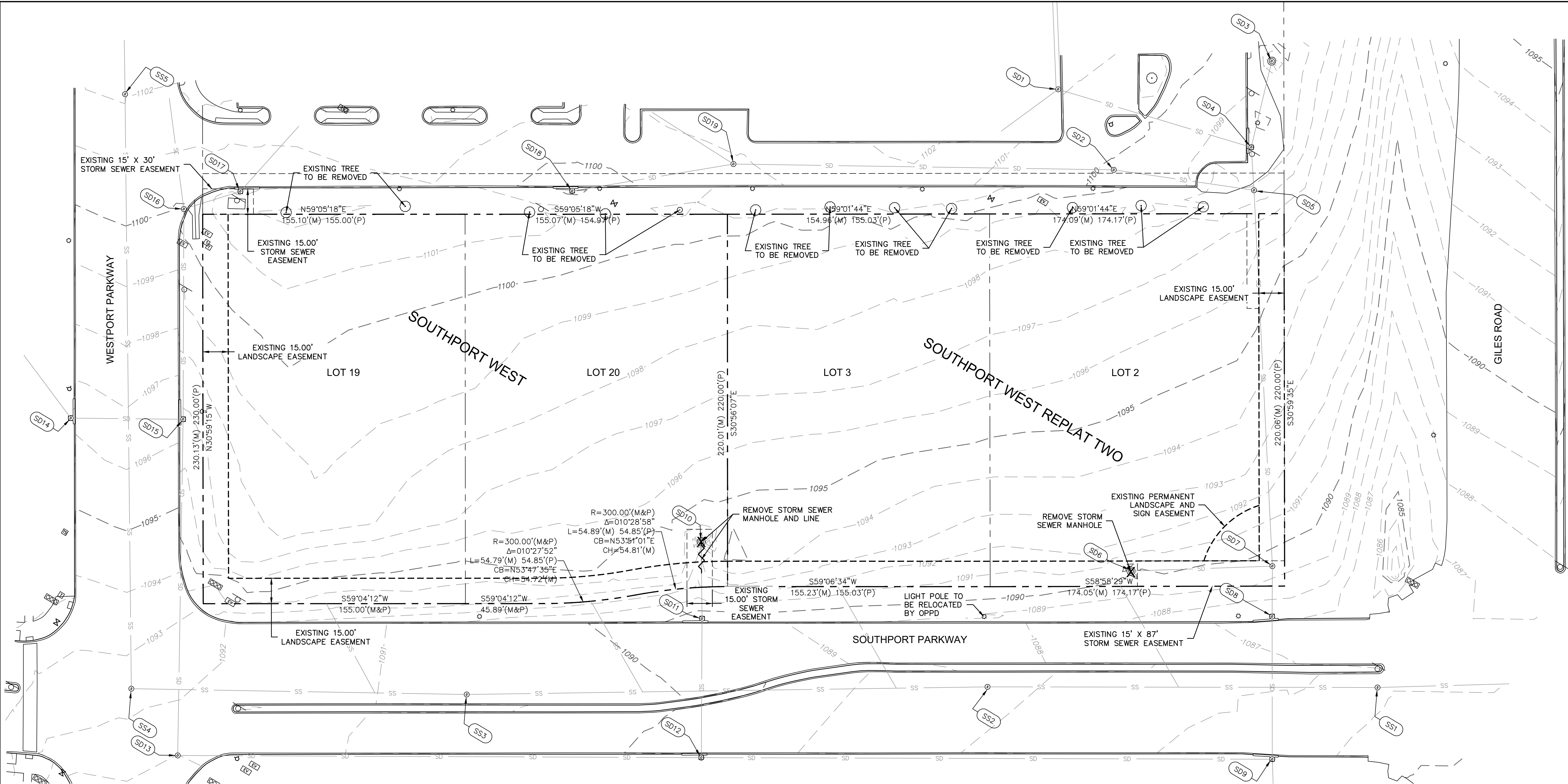
WEST/EAST ELEVATION 2

GATE CONSTRUCTION:
TUBE STEEL FRAME 15 GA.
PERFORATED METAL (5/8" DIA.
1" STG. CTRS 35% O/A)
6"X6"X1/4" STEEL GUSSET
PLATES 1/2" STEEL ROD W/
TURNBUCKLE



SOUTH ELEVATION 1



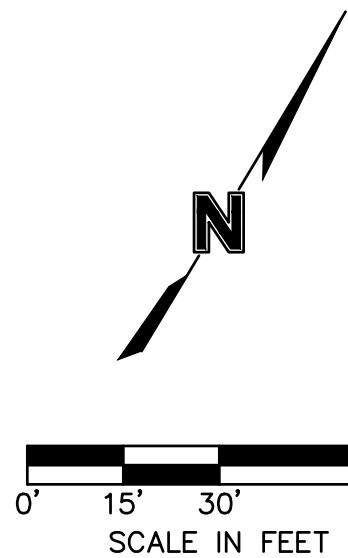


STRUCTURE LEGEND

SD1	STORM SEWER MANHOLE RIM EL.=1101.38 4"CPP(N)=1098.34 8"PVC(N)=1098.43 12"CPP(SE)=1094.99 6"PVC(SW)=1098.23	SD8	STORM SEWER MANHOLE RIM EL.=1087.20 30"RCP(NW)=1082.23 36"RCP(SE)=1082.19	SD15	STORM SEWER MANHOLE RIM EL.=1096.85 30"RCP(NW)=1090.64 24"RCP(SW)=1090.91 36"RCP(SE)=1090.43
SD2	STORM SEWER MANHOLE RIM EL.=1099.84 8"PVC(N)=1098.43 12"CPP(SW)=1093.50 24"CPP(SE)=1093.43	SD9	STORM SEWER MANHOLE RIM EL.=1087.06 36"RCP(NW)=1080.00 42"RCP(SW)=1079.56 60"RCP(SE)=1079.35	SD16	STORM SEWER MANHOLE RIM EL.=1099.85 24"RCP(NW)=1094.55 30"CPP(NE)=1094.18 30"RCP(SE)=1093.94
SD3	STORM SEWER MANHOLE RIM EL.=1099.01 30"RCP(SE)=1094.32	SD10	STORM SEWER MANHOLE RIM EL.=1094.40 24"RCP(SE)=1086.75	SD17	STORM SEWER MANHOLE RIM EL.=1100.96 30"RCP(NE)=1096.91 30"CPP(SW)=1096.40
SD4	STORM SEWER MANHOLE RIM EL.=1099.18 30"CPP(NW)=1092.58 30"CPP(SE)=1092.55 12"CPP(SW)=1092.90	SD11	STORM SEWER MANHOLE RIM EL.=1089.49 24"RCP(NW)=1084.88 24"RCP(SE)=1084.79	SD18	STORM SEWER MANHOLE RIM EL.=1100.00 24"CPP(NE)=1096.47
SD5	STORM SEWER MANHOLE RIM EL.=1098.74 30"RCP(SE)=1092.01 30"CPP(NW)=1092.34 24"CPP(SW)=1092.16	SD12	STORM SEWER MANHOLE RIM EL.=1090.03 24"RCP(NW)=1083.83 36"RCP(SW)=1082.53 42"RCP(NE)=1082.49	SD19	STORM SEWER MANHOLE RIM EL.=1100.83 15"RCP(NW)=1097.04 24"CPP(SW)=1095.59 24"CPP(NE)=1096.32
SD6	STORM SEWER MANHOLE RIM EL.=1090.88 15"RCP(NE)=1087.09	SD13	STORM SEWER MANHOLE RIM EL.=1090.99 36"RCP(NW)=1084.89 36"RCP(SE)=1084.82		
SD7	STORM SEWER MANHOLE RIM EL.=1089.42 30"RCP(NW)=1084.03 15"RCP(SW)=1084.61 30"RCP(SE)=1083.88	SD14	STORM SEWER MANHOLE RIM EL.=1096.87 24"RCP(NE)=1091.75 15"RCP(NW)=1092.07		

LEGEND

---	PROPERTY LINE
SD	EXISTING STORM SEWER
SS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
CATV	EXISTING CABLE/TELEVISION LINE
XXXX	EXISTING MAJOR CONTOUR
XXXX	EXISTING MINOR CONTOUR
---	EXISTING CURB AND GUTTER



CALL 811 SEVENTY-TWO HOURS PRIOR TO
DIGGING, GRADING OR EXCAVATING FOR THE
MARKING OF UNDERGROUND MEMBER UTILITIES.

EXISTING CONDITIONS & REMOVAL PLAN
PUD PLANS

BRIXMOR NORTH
LOTS 2, 3, 19, 20

LA VISTA, NEBRASKA

2019

REVISIONS DESCRIPTION

DATE

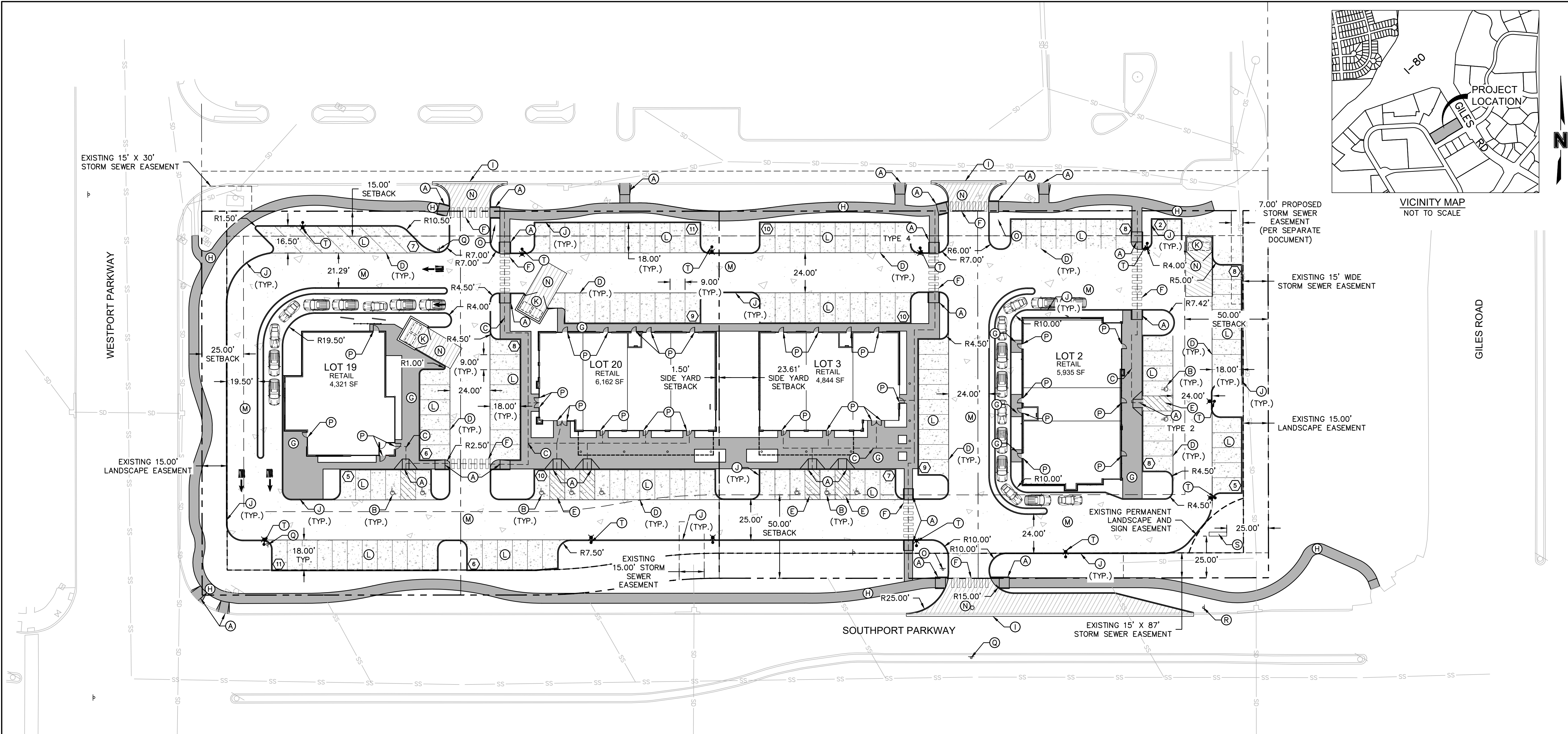
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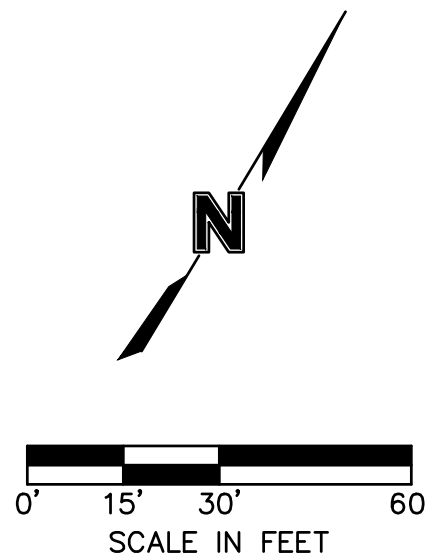
SITE KEY NOTES	
(A)	CONSTRUCT CURB RAMP PER ADA REGULATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. REFERENCE DETAIL SHEET AND CITY OF OMAHA STANDARD PLATE 500-82.
(B)	INSTALL ADA PARKING STALL AND ASSOCIATED STRIPING AND SIGNAGE PER ADA REGULATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. REFERENCE DETAIL SHEET.
(C)	PROPOSED ADA ACCESSIBLE ROUTE PER ADA REGULATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS.
(D)	INSTALL 4-INCH WHITE PAVEMENT STRIPING. PAINT SHALL MEET OR EXCEED CITY OF OMAHA STANDARD SPECIFICATIONS (TYP.)
(E)	INSTALL 4-INCH WHITE PAVEMENT STRIPING AT 45°, 2- FEET O.C. PAINT SHALL MEET OR EXCEED CITY OF OMAHA STANDARD SPECIFICATIONS (TYP.)
(F)	INSTALL 24-INCH WHITE CROSSWALK PAVEMENT STRIPING. REFERENCE DETAIL SHEET. PAINT SHALL MEET OR EXCEED CITY OF OMAHA STANDARD SPECIFICATIONS (TYP.)
(G)	CONSTRUCT 4-INCH CITY P.C.C. SIDEWALK. REFERENCE DETAIL SHEET AND CITY OF OMAHA STANDARD PLATE 500-02.
(H)	CONSTRUCT 6-INCH CITY P.C.C. SIDEWALK IN PUBLIC R.O.W. 5' WIDE AND SPACED 6.5' OFF BACK OF CURB OF PUBLIC STREET (UNLESS OTHERWISE NOTED ON PLANS).
(I)	SAWCUT EXISTING PAVEMENT, FILL DEPTH AND CONSTRUCT THICKENED EDGE JOINT WITH DOWEL BAR CONNECTION PER CONCRETE WIDENING REINFORCED JOIN, PER CITY OF OMAHA STANDARD PLATE 500-60.
(J)	CONSTRUCT TYPE 'A' INTEGRAL CURB AND GUTTER PER CITY OF OMAHA STANDARD PLATE 500-52.
(K)	TRASH ENCLOSURE. REFERENCE ARCHITECTURAL PLANS. CONSTRUCT HEAVY DUTY PAVEMENT APRON AS SHOWN ON PLAN.
(L)	CONSTRUCT 6-INCH THICK STANDARD DUTY P.C. CONCRETE PAVEMENT. REFERENCE DETAIL SHEET.
(M)	CONSTRUCT 7-INCH THICK HEAVY DUTY P.C. CONCRETE PAVEMENT. REFERENCE DETAIL SHEET.
(N)	CONSTRUCT 9-INCH DRIVE ENTRANCE APRON HEAVY DUTY P.C. CONCRETE PAVEMENT. REFERENCE DETAIL SHEET.

①	INSTALL STOP SIGN PER MUTCD STANDARDS AND PER CITY OF OMAHA STANDARD PLATES 900-84 AND 900-85. REFERENCE DETAIL SHEET.
②	STRUCTURAL STOOP AND DOOR. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION, SIZE, AND SLOPE.
③	INSTALL ONE WAY SIGN PER MUTCD STANDARDS AND PER CITY OF OMAHA STANDARD PLATES 906-02 AND 906-03. REFERENCE DETAIL SHEET.
④	INSTALL HOTEL DIRECTION/DELIVERY ROUTE SIGN PER MUD STANDARDS.
⑤	PROPOSED PROJECT DIRECTORY.
⑥	PROPOSED LIGHT POLE LOCATION.

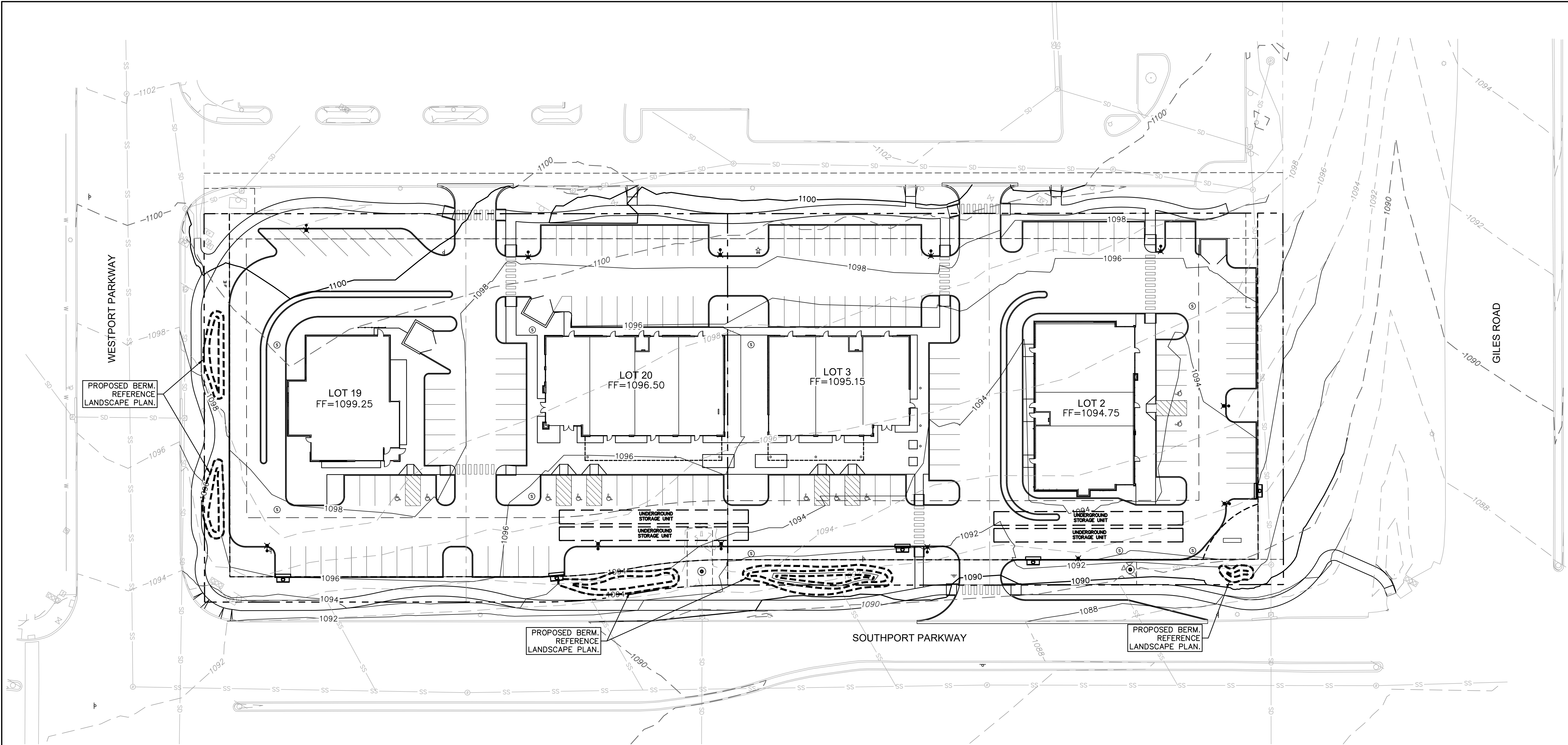
NOTES:

1. ALL RADII SHOWN ARE TO BACK-OF-CURB.
2. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHOWN ARE TO BACK-OF-CURB.
4. ALL CURB AND GUTTER IS TYPE "A" INTEGRAL CURB PER CITY OF OMAHA STANDARD PLATE 1-52, UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF SIDEWALK JOINTING PLAN TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

SITE INFORMATION TABLE	
LEGAL DESCRIPTION:	BRIXMOR NORTH LOTS 2,3,19,20
EXISTING ZONING:	C-3 PUD WITH A GATEWAY CORRIDOR OVERLAY
PROPOSED ZONING:	C-3 PUD WITH A GATEWAY CORRIDOR OVERLAY
SETBACKS:	
FRONT YARD:	25'-0"
FRONT YARD: (PARKING PRESENT IN FRONT YARD)	50'-0"
SIDE YARD:	15'-0"
REAR YARD:	15'-0"
BUILDING COVERAGE:	15%
IMPERVIOUS COVERAGE:	25%
PARKING REQUIREMENTS:	
REQUIRED: (LOT 2)	27 STALLS (4.5 PER 1,000 SF; 5,935 SF BUILDING REQUIRES 27 STALLS)
PROVIDED: (LOT 2)	ON-SITE PARKING: 31 STALLS (5.22 CARS PER 1,000 SF)
REQUIRED: (LOT 3)	22 STALLS (4.5 PER 1,000 SF; 4,844 SF BUILDING REQUIRES 22 STALLS)
PROVIDED: (LOT 3)	ON-SITE PARKING: 36 STALLS (7.43 CARS PER 1,000 SF)
REQUIRED: (LOT 19)	19 STALLS (4.5 PER 1,000 SF; 4,321 SF BUILDING REQUIRES 19 STALLS)
PROVIDED: (LOT 19)	ON-SITE PARKING: 29 STALLS (6.71 CARS PER 1,000 SF)
REQUIRED: (LOT 20)	28 STALLS (4.5 PER 1,000 SF; 6,162 SF BUILDING REQUIRES 28 STALLS)
PROVIDED: (LOT 20)	ON-SITE PARKING: 36 STALLS (5.84 CARS PER 1,000 SF)
TOTAL REQUIRED:	96 STALLS
TOTAL PROVIDED:	141 STALLS
ACCESSIBLE PARKING:	
REQUIRED:	4
PROVIDED:	10



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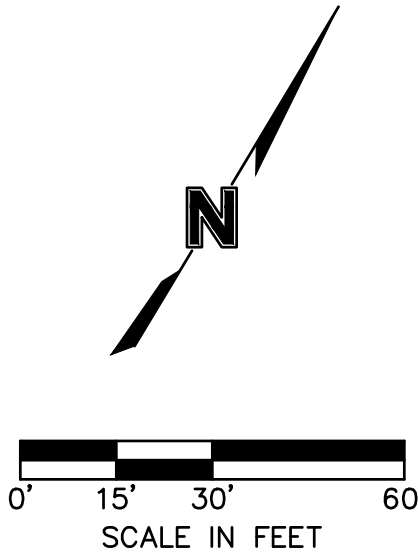
GRADING INFORMATION TABLE		
AREA	CONTOURS REPRESENT	CONTRACTOR TO GRADE TO
STREETS/INTERNAL DRIVES	FINISHED GROUND (TOP OF SLAB)	SUBGRADE (REF. SITE PLANS FOR PAVEMENT THICKNESS)
PARKING LOT PAVED AREAS	FINISHED GROUND (TOP OF SLAB)	SUBGRADE (REF. SITE PLANS FOR PAVEMENT THICKNESS)
BUILDING AREAS	FINISHED GROUND (FINISHED FLOOR ELEV.)	SUBGRADE (REF. ARCHITECTURAL PLANS FOR FLOOR SLAB AND SUBBASE THICKNESS)
ALL OTHER NON-PAVED/ NON-BUILDING AREAS	FINISHED GROUND	6" BELOW CONTOURS (FOR TOPSOIL)*
* NOTE: AFTER COMPLETION AND APPROVAL OF MASS GRADING BY ENGINEER, ENTIRE SITE SHALL RECEIVE 6" MIN. OF TOPSOIL FOR FINAL SEEDING AND STABILIZATION.		

NOTES:

- 1.CONTOURS REPRESENT TOP OF SLAB ELEVATION IN PAVED AREAS AND FINISHED GRADE ELEVATION IN NON-PAVED AREAS, UNLESS OTHERWISE NOTED.
- 2.CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING AND GARAGE PAD AREAS AND PAVEMENTS.
- 3.REFERENCE THE GRADING INFORMATION TABLE FOR CONTOUR INFORMATION.
- 4.REFERENCE THE FILL PLACEMENT / COMPACTION REQUIREMENTS TABLE FOR MINIMUM SUBGRADE PREPARATION REQUIREMENTS FOR VARIOUS AREAS OF THE PROJECT.
- 5.CONTOURS ARE SHOWN AT 2' INTERVALS FOR BOTH EXISTING AND PROPOSED.
- 6.DEVELOPMENT ON PRIVATE LOTS CREATING MORE THAN 5,000 SQUARE FEET OF IMPERVIOUS SURFACE FOR THE PURPOSE OF VEHICULAR TRAVEL AND PARKING SHALL PROVIDE ON-SITE STORM WATER MANAGEMENT FACILITIES FOR WATER QUALITY AS REQUIRED BY SECTION 154.19 OF THE LA VISTA MUNICIPAL CODE AND SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE OMAHA REGIONAL STORM WATER DESIGN MANUAL, SUCH WATER QUALITY FACILITIES SHALL BE MAINTAINED BY BRIXMOR PROPERTY GROUP. MANAGEMENT OF THE 2-YEAR STORM RUNOFF PEAK FLOWS WILL BE PROVIDED BY THE CITY OWNED FACILITIES.

LEGEND

- | | | | |
|-----|------|-----|------------------------|
| --- | 11XX | --- | EXISTING MAJOR CONTOUR |
| --- | 11XX | --- | EXISTING MINOR CONTOUR |
| --- | 11XX | --- | PROPOSED MAJOR CONTOUR |
| --- | 11XX | --- | PROPOSED MINOR CONTOUR |
| --- | 11XX | --- | PROPOSED BERM |



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GRADING PLAN
PUD PLANS

BRIXMOR NORTH
LOTS 2, 3 19, 20

LA VISTA, NEBRASKA

REVISIONS DESCRIPTION

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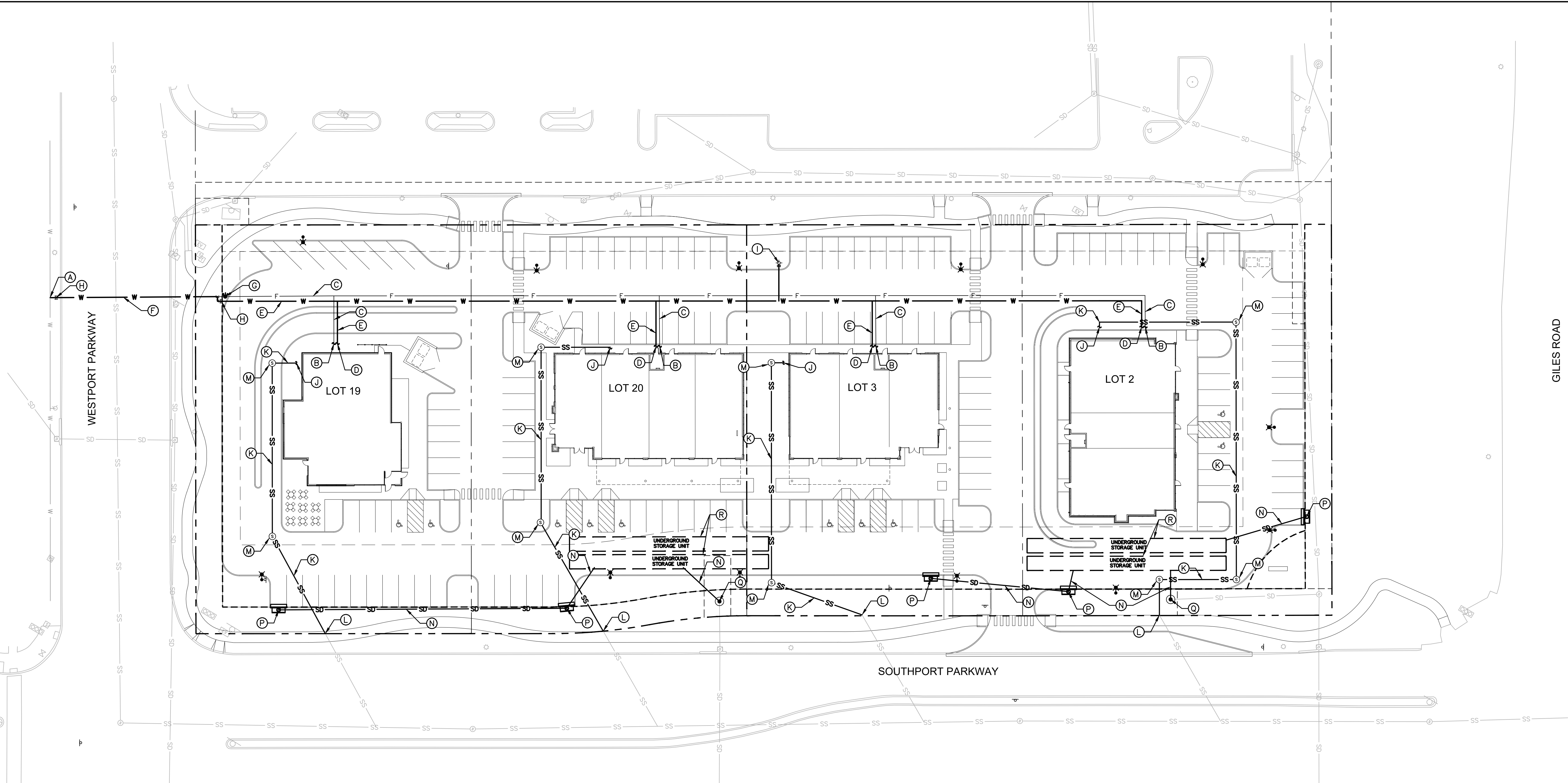
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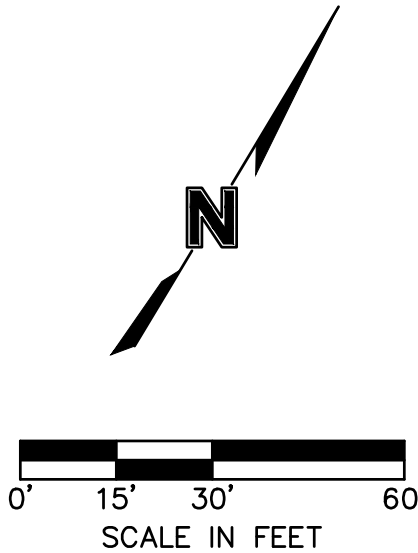
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UTILITY KEY NOTES	
(A)	WATER MAIN CONNECTION: M.U.D. TO CONNECT TO EXISTING PUBLIC WATER MAIN. CONTRACTOR SHALL PROVIDE ALL STAKING, EXCAVATION AND TAPPING EQUIPMENT/FITTINGS AS REQUIRED BY M.U.D. (CONTRACTOR SHALL VERIFY), AND CONTACT M.U.D. TO MAKE THE CONNECTION. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF WATER MAIN AND CONTACT M.U.D. A MINIMUM OF 72 HOURS PRIOR TO SCHEDULED CONNECTION.
(B)	4" FIRE SERVICE LINE ENTRY LOCATION: CONTRACTOR SHALL PROVIDE AND INSTALL ALL APPURTENANCES ON THE FIRE SERVICE LINE PER M.U.D. REQUIREMENTS (CONTRACTOR SHALL VERIFY). REFERENCE M.E.P. PLANS FOR EQUIPMENT AND CONTINUATION INTO THE BUILDING.
(C)	4" FIRE SERVICE LINE: CONTRACTOR SHALL PROVIDE AND INSTALL ALL BENDS, TEES, ELBOWS, ETC. WITH THRUST BLOCKING PER M.U.D. SPECIFICATIONS AND REQUIREMENTS (CONTRACTOR SHALL VERIFY). REFERENCE DETAIL SHEET.
(D)	2" DOMESTIC WATER SERVICE ENTRY LOCATION: METER IS LOCATED INSIDE THE BUILDING. REFERENCE M.E.P. PLANS FOR CONTINUATION INTO THE BUILDING. CONTRACTOR SHALL COORDINATE WITH M.U.D. FOR INSPECTIONS PRIOR TO CONNECTION.
(E)	2" DOMESTIC WATER SERVICE LINE: CONTRACTOR SHALL PROVIDE AND INSTALL ALL BENDS, TEES, ELBOWS, ETC. WITH THRUST BLOCKING PER M.U.D. REQUIREMENTS (CONTRACTOR SHALL VERIFY). REFERENCE DETAIL SHEET.
(F)	6" WATER SERVICE MAIN. CONTRACTOR SHALL PROVIDE AND INSTALL ALL BENDS, TEES, ELBOWS, ETC. WITH THRUST BLOCKING PER M.U.D. REQUIREMENTS (CONTRACTOR SHALL VERIFY). REFERENCE DETAIL SHEET.
(G)	INSTALL POST INDICATOR VALVE WITH ADDRESS TAG. REFERENCE DETAIL SHEET.
(H)	INSTALL GATE VALVE, M.J. WITH BOX PER M.U.D. REQUIREMENTS.
(I)	INSTALL FIRE HYDRANT ASSEMBLY PER M.U.D. REQUIREMENTS.
(J)	6" SANITARY SEWER SERVICE ENTRY LOCATION: REFERENCE M.E.P. PLANS FOR CONNECTION AND CLEANOUT INFORMATION.
(K)	6" SANITARY SEWER SERVICE: CONTRACTOR SHALL INSTALL 6" SANITARY SEWER SERVICE AT 1.0% MINIMUM SLOPE.

(L)	CONNECTION TO EXISTING STUB: CONTRACTOR TO LOCATE EXISTING STUB WITH COUPLER AND REDUCER AS NECESSARY. CONTRACTOR SHALL MATCH CENTERLINE OF PIPE.
(M)	CONSTRUCT SANITARY SEWER MANHOLE. REFERENCE OMAHA STANDARD PLATE 700-45.
(N)	CONSTRUCT STORM SEWER: CONTRACTOR SHALL INSTALL STORM SEWER SERVICE AT 1.0% MINIMUM SLOPE.
(O)	REMOVE AREA INLET AND REPLACE WITH STORM SEWER WATER QUALITY UNIT.
(P)	CONSTRUCT STORM SEWER GRATE INLET.
(Q)	PROPOSED STORM SEWER WATER QUALITY UNIT.
(R)	PROPOSED 112'X8' UNDERGROUND STORAGE UNIT.



Know what's below.
Call before you dig.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

UTILITY PLAN
PUD PLANS
BRIXMOR NORTH
LOTS 2, 3 19, 20

REV. NO.

DATE

REVISIONS DESCRIPTION

LA VISTA, NEBRASKA

2019

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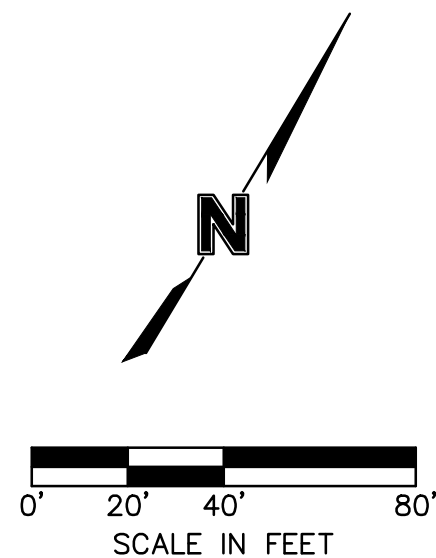
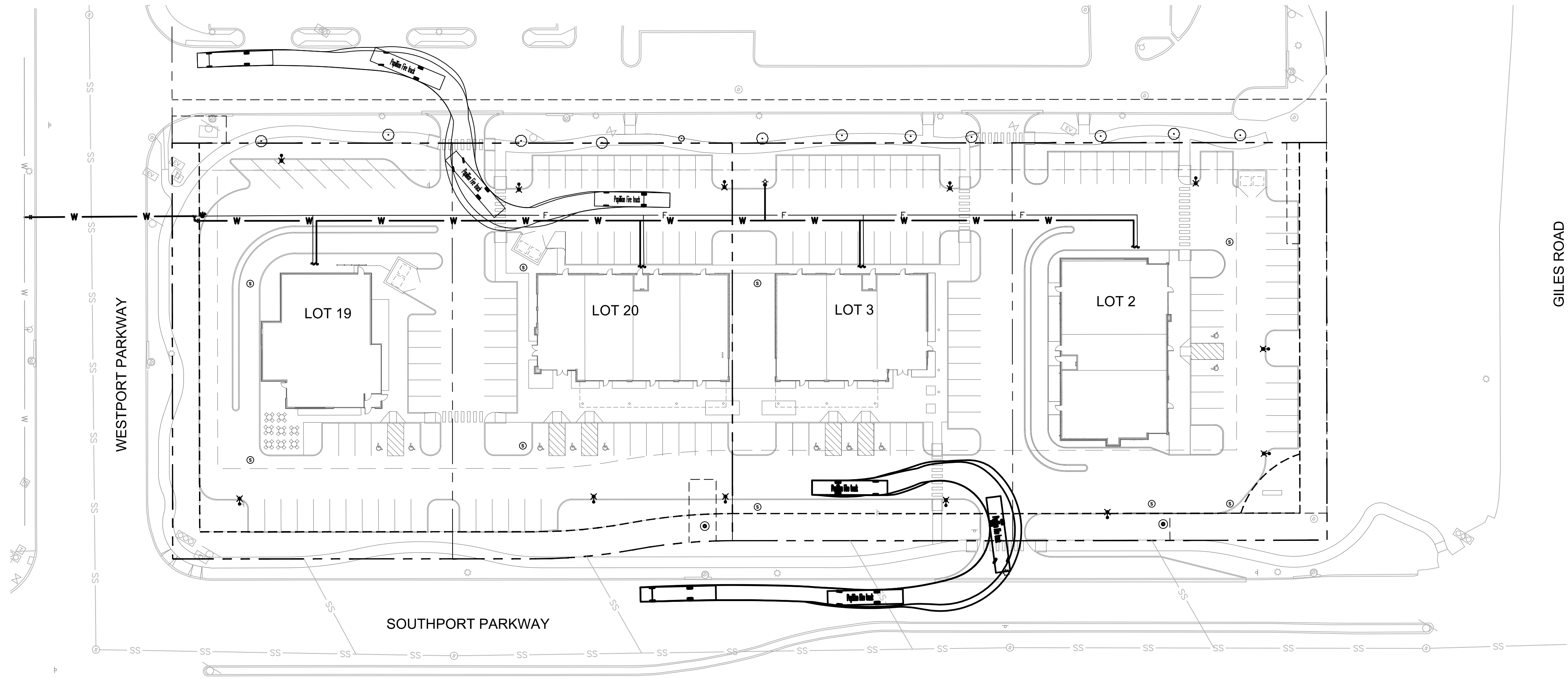
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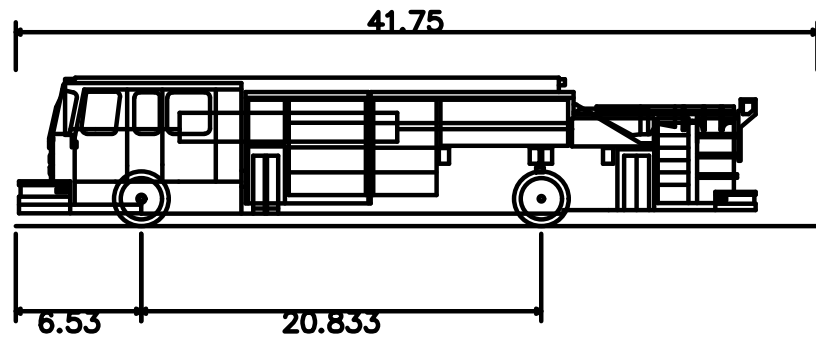
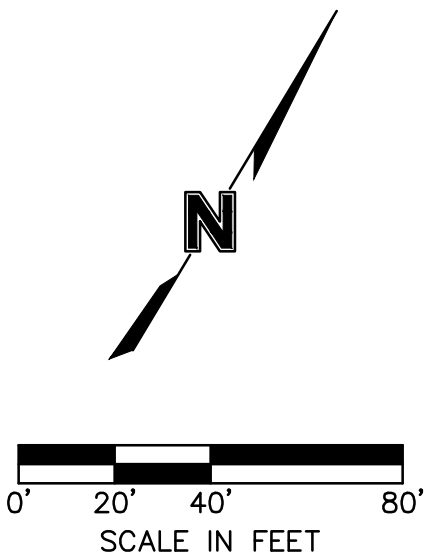
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drawn by: JLC
checked by: EW
approved by: J.
QA/QC by: J.
project no.: 019-1124
drawing no.:
date: 06.03.19

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Papillion Fire truck
Overall Length 41.75
Overall Width 8.00
Overall Body Height 7.49
Min Body Ground Clearance 0.74
Track Width 8.14
Lock-to-lock time 5.00s
Max Wheel Angle 37.00

41.750ft
8.000ft
7.496ft
0.746ft
8.142ft
5.00s
37.00°

EMERGENCY VEHICLE ACCESS PLAN
PUD PLANS

BRIXMOR NORTH
LOTS 2, 3 19, 20

LA VISTA, NEBRASKA

2019

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PLANT SCHEDULE

	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING METHOD	SIZE @ PLANTING		SPACING	MATURE SPREAD	MATURE HEIGHT
OVERSTORY DECIDUOUS TREES					CONTAINER/ BALL SIZE	CANOPY/ CALIPER			
SH	10	QUERCUS RUBRA	NORTHERN RED OAK	B&B	BB/30"	2" CAL.	AS SHOWN	60'	60'
SML	11	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	B&B	BB/30"	2" CAL.	AS SHOWN	35'	50'
CSO	7	QUERCUS 'CRIMSCHMIDT'	CRIMSON SPIRE OAK	B&B	BB/36"	3" CAL.	AS SHOWN	15'	40'
TT	11	TILIA TOMENTOSA	SILVER LINDEN	B&B	BB/30"	2" CAL.	AS SHOWN	30'	50'
FE	9	ULMUS 'FRONTIER'	FRONTIER ELM	B&B	BB/30"	2" CAL	AS SHOWN	20'	30'
ABM	13	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	B&B	BB/36"	3" CAL.	AS SHOWN	50'	35'
UNDERSTORY/ORNAMENTAL									
AS	10	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B&B	BB/20"	6' CLUMP	AS SHOWN	15'	20'
MP	7	MALUS VAR. 'PRAIRIFIRE'	PRAIRIE FIRE FLOWERING CRAB	B&B	BB/20"	1.5" CAL	AS SHOWN	15'	20'
DECIDUOUS SHRUBS									
AA	30	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	CONT.	3 GAL	24"	AS SHOWN	3'	7'
GS	47	SPIRAEA 'GOLDFLAME'	GOLDFLAME SPIREA	CONT.	3 GAL	18"	AS SHOWN	3'	3'
MKL	36	SYRINGA MEYERI	MISS KIM LILAC	CONT.	3 GAL	18"	AS SHOWN	5'	5'
EVERGREEN SHRUBS									
DY	34	TAXUS MEDIA DENSIFORMIS	DENSE YEW	CONT.	#3	24"	AS SHOWN	6'	3'
HY	3	TAXUS MEDIA 'HICKS'	HICKS YEW	CONT.	#3	24"	AS SHOWN	6'	10'
SGJ	42	JUNIPERUS X PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	CONT.	#3	24"	AS SHOWN	6'	5'
GRASSES									
PD	52	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	12"	AS SHOWN	2'	2.5'
DFG	30	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	CONT.	#1	12"	AS SHOWN	3.5'	2'
SAJ	30	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	CONT.	#1	12"	AS SHOWN	2'	2'

PLANT COUNTS	
REQ'D TREES	72
TREES PROVIDED	78
REQ'D SHRUBS	175
SHRUBS PROVIDED	189

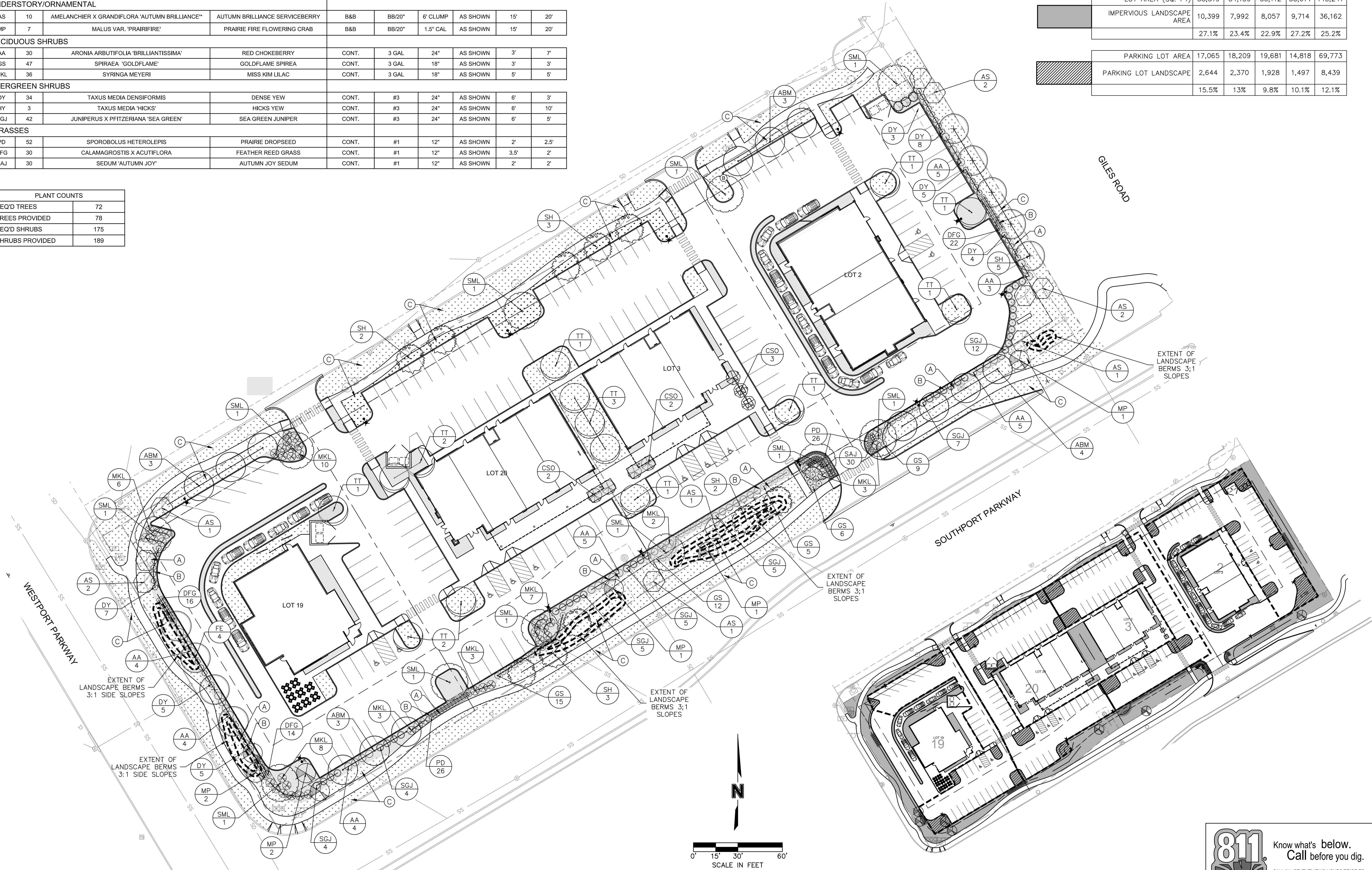
LANDSCAPE KEY NOTES	
(A)	CULTIVATED LANDSCAPE EDGING
(B)	HARDWOOD MULCH
(C)	INSTALL TURF-TYPE FESCUE SOD -- TURF IRRIGATION*
*ALL TURF AND LANDSCAPE AREAS TO BE IRRIGATED	

AREA CALCULATIONS/PARKING STATISTICS

	LOT 2	LOT 3	LOT 20	LOT 19	TOTAL
BUILDING FOOTPRINT	5,935	4,844	6,162	4,321	21,262
PARKING SPACES	35	36	46	31	148
PARKING RATIO (PER 1,000)	5.9	7.5	7.5	7.2	6.9

	LOT 2	LOT 3	LOT 20	LOT 19	TOTAL
LOT AREA (SQ. FT)	38,319	34,139	35,112	35,677	143,247
IMPERVIOUS LANDSCAPE AREA	10,399	7,992	8,057	9,714	36,162
	27.1%	23.4%	22.9%	27.2%	25.2%

	LOT 2	LOT 3	LOT 20	LOT 19	TOTAL
PARKING LOT AREA	17,065	18,209	19,681	14,818	69,773
PARKING LOT LANDSCAPE	2,644	2,370	1,928	1,497	8,439
	15.5%	13%	9.8%	10.1%	12.1%



LANDSCAPE PLAN
PUD PLANS

BRIXMOR NORTH
LOTS 2, 3 19, 20

LA VISTA, NEBRASKA

REVISIONS DESCRIPTION

DATE

REV. NO.

REVISIONS

2019

drawn by: DF
checked by: EW
approved by:
QA/QC by:
project no.: 019-1124
drawing no.:
date: 06.03.19

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Brixmor North
Description
019-2182
Omaha, NE
9/10/2019

Common Area Estimated Costs

Disclaimer: This Opinion of Probable Construction Cost is subject to change based on several factors including, due diligence investigation findings, jurisdictional permitting and/or entitlement requirements, final design scope and changes in construction pricing. Since Olsson has no control over the cost of labor, materials, equipment or services furnished by others, or over the contractor(s)' methods of determining prices, or over competitive bidding or market conditions, Olsson's Opinion of Probable Cost provided for herein is made on basis of Olsson's experience and qualifications and represent Olsson's best judgment as an experienced and qualified professional engineer, familiar with the construction industry. Client acknowledges and agrees that Olsson cannot and does not guarantee proposals or bids and that actual total Project(s) or construction costs may reasonably vary from Olsson's Opinion of Probable Costs.

Item No.	Description	Qty	Units	Unit Price	Total	Notes
Project 4 Storm Sewer :						
101	Underground Detention	18,500.00	CF	\$15.00	\$277,500.00	
113	Perform CCTV Pipeline Inspection	370.00	LF	\$1.50	\$555.00	
114	Construct 15-36" RCP Class III Piping	370.00	LF	\$55.00	\$20,350.00	
115	Construct Water Quality Unit	2	EA	\$25,000.00	\$50,000.00	
116	Construct Curb Inlet - Type III	5	EA	\$5,000.00	\$25,000.00	
		Contingency		20%	\$74,681.00	
				Subtotal	\$448,086.00	
Project 5 Water:						
101	Construct Fire Hydrant	1	EA	\$2,000.00	\$2,000.00	
102	Construct 6" Fire Line	371	EA	\$55.00	\$20,405.00	
103	Construct 6" Water Main	95	EA	\$30.00	\$2,850.00	
104	Construct 2" Water Line	371	EA	\$55.00	\$20,405.00	
		Contingency		20%	\$9,132.00	
				Subtotal	\$54,792.00	
Project 6 Paving						
115	Construct 5" Concrete Sidewalk	18,010.00	SF	\$5.00	\$90,050.00	
116	Construct 9" Concrete Road	252.00	SY	\$65.00	\$16,380.00	
		Contingency		20%	\$21,286.00	
				Subtotal	\$127,716.00	
Construction Subtotal					\$630,594.00	

BRIXMOR NORTH TRAFFIC IMPACT STUDY LA VISTA, NEBRASKA

Prepared For:

Slaggie Architects, Inc.
622 N 109th Plaza
Omaha, NE 68154

Prepared By:

Olsson
2111 S. 67th Street, Suite 200
Omaha, NE 68106



Olsson Project No. 019-1124
August 2019

olsson

TABLE OF CONTENTS

1.0	Introduction and Objective	1
2.0	Data Collection	1
2.1	Peak Hour Turning Movement Counts	1
2.2	Field Review of Street Geometrics	1
3.0	Existing Conditions	3
3.1	Network Characteristics	3
3.2	Existing Capacity Analysis	5
4.0	2022 Background Volumes and Analysis	7
4.1	2022 Background Volumes	7
4.2	2022 Background Capacity Analysis	7
5.0	Site Characteristics	9
5.1	Trip Generation	9
5.2	Trip Distribution	9
5.3	Site Traffic Circulation	16
6.0	Future Plus Site Analysis	17
6.1	Opening Day Capacity Analysis	17
7.0	Conclusions & Recommended Improvements	20

LIST OF TABLES

Table 1.	Existing Roadway Characteristics.	3
Table 2.	Intersection LOS Criteria.	5
Table 3.	Existing Capacity Analysis – Signalized LOS	6
Table 4.	2022 Background Capacity Analysis – Signalized LOS	8
Table 5.	Trip Generation	11
Table 6.	Opening Day Capacity Analysis – Signalized LOS	18
Table 7.	Opening Day Capacity Analysis – Signalized LOS with Signal Timing Modifications ..	20

LIST OF FIGURES

Figure 1.	Vicinity Map.....	2
Figure 2.	Existing Traffic Volumes.....	3
Figure 3.	Existing Lane Configurations and Traffic Control.....	4
Figure 4.	Existing Capacity Analysis.....	6
Figure 5.	2022 Background Traffic Volumes.....	7
Figure 6.	2022 Background Capacity Analysis Summary	8
Figure 7.	Site Plan.....	10
Figure 8.	Trip Distribution	12
Figure 9.	Primary Site Trips.....	13
Figure 10.	Pass-By Trip Distribution.....	14
Figure 11.	Pass-By Site Trips.....	15
Figure 12.	Total Site Trips	16
Figure 13.	Opening Day Traffic Volumes.....	17
Figure 14.	Opening Day Capacity Analysis	19

LIST OF APPENDICES

Appendix A	Count Data
Appendix B	Existing Conditions Capacity Analysis Reports
Appendix C	2022 Background Capacity Analysis Reports
Appendix D	Opening Day Capacity Analysis Reports

1.0 INTRODUCTION AND OBJECTIVE

This report documents the results of analyses conducted for a proposed commercial development (Brixmor North) located in the northeast quadrant of Southport Parkway & Westport Parkway in La Vista, Nebraska. A map showing the general location of the proposed development is illustrated in **Figure 1**.

This study was conducted to evaluate current roadway conditions and to identify potential improvements to mitigate existing and future traffic issues. Three scenarios were analyzed as part of this study: Existing, 2022 Background, and 2020 plus Site (Opening Day) conditions. The year 2022 was chosen to represent the short-term horizon year with full build out and occupation of the development. Specific recommendations are included at the end of the report.

2.0 DATA COLLECTION

The data collection effort included obtaining peak hour turning movement counts and documentation of current roadway geometrics and traffic control.

2.1 Peak Hour Turning Movement Counts

Olsson coordinated intersection peak hour turning movement counts on Thursday, April 18th, 2019 at the following intersections:

- Southport Parkway & Giles Road
- Southport Parkway & Westport Parkway

All counts were collected at 15-minute intervals from 7:00am – 9:00am, and 4:00pm – 6:00pm. Counts include documentation of heavy vehicles at all count locations. Existing average daily traffic (ADT) volumes were estimated by applying a k-factor of 0.09 to turning movement volumes at each leg of Southport Parkway & Giles Road.

Existing peak hour traffic volumes are shown in **Figure 2**. Count data collected for this study can be found in **Appendix A**.

2.2 Field Review of Street Geometrics

A review of the existing roadway network including roadway type, general roadway geometrics, and traffic control device locations was completed as part of the data collection effort. Cross-section measurements and turn bay storage lengths were collected on each leg of the study intersections.

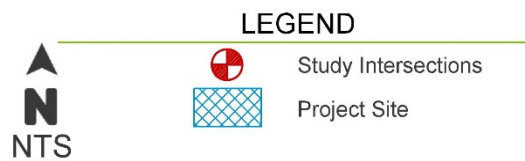
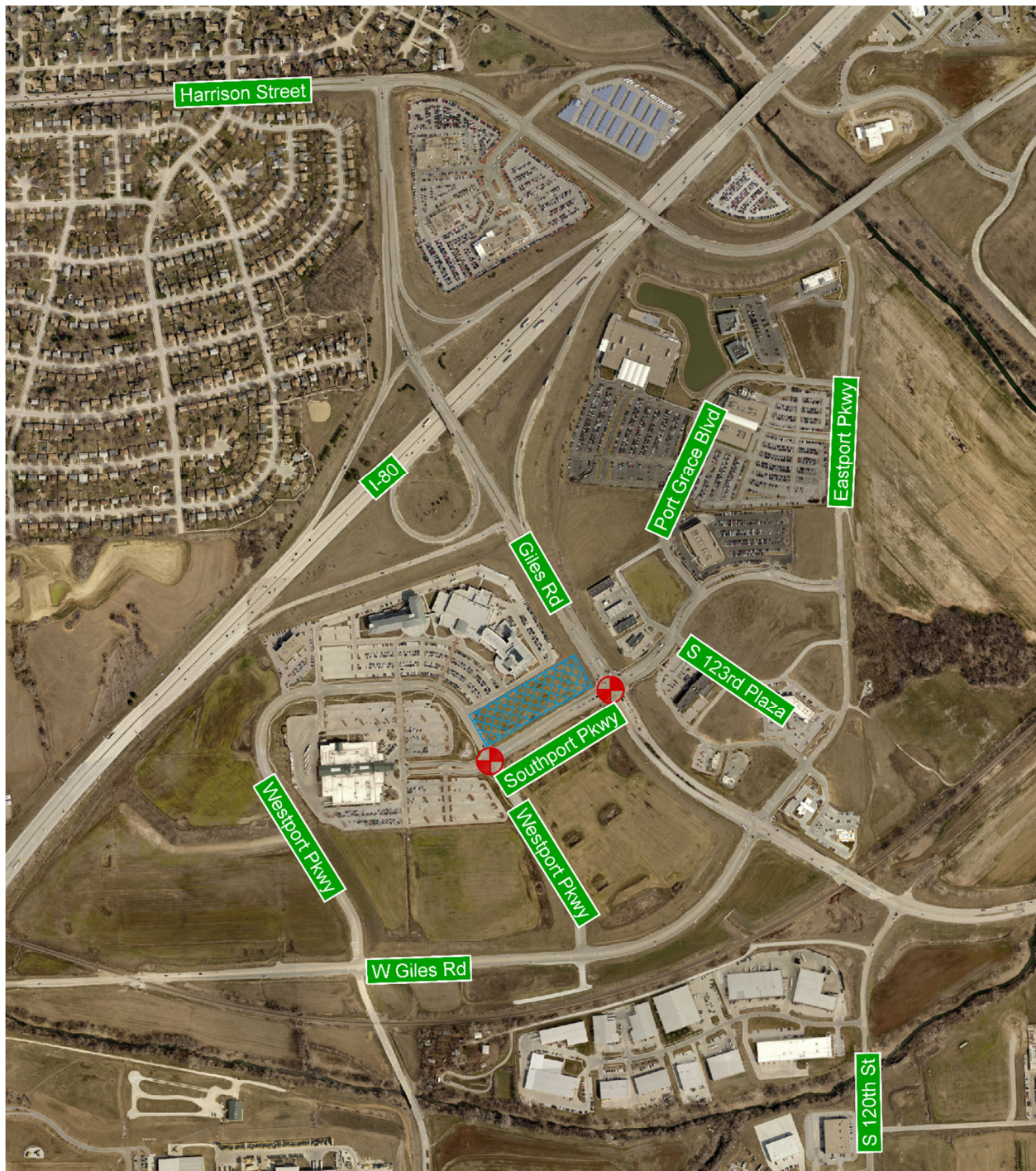


Figure 1. Vicinity Map

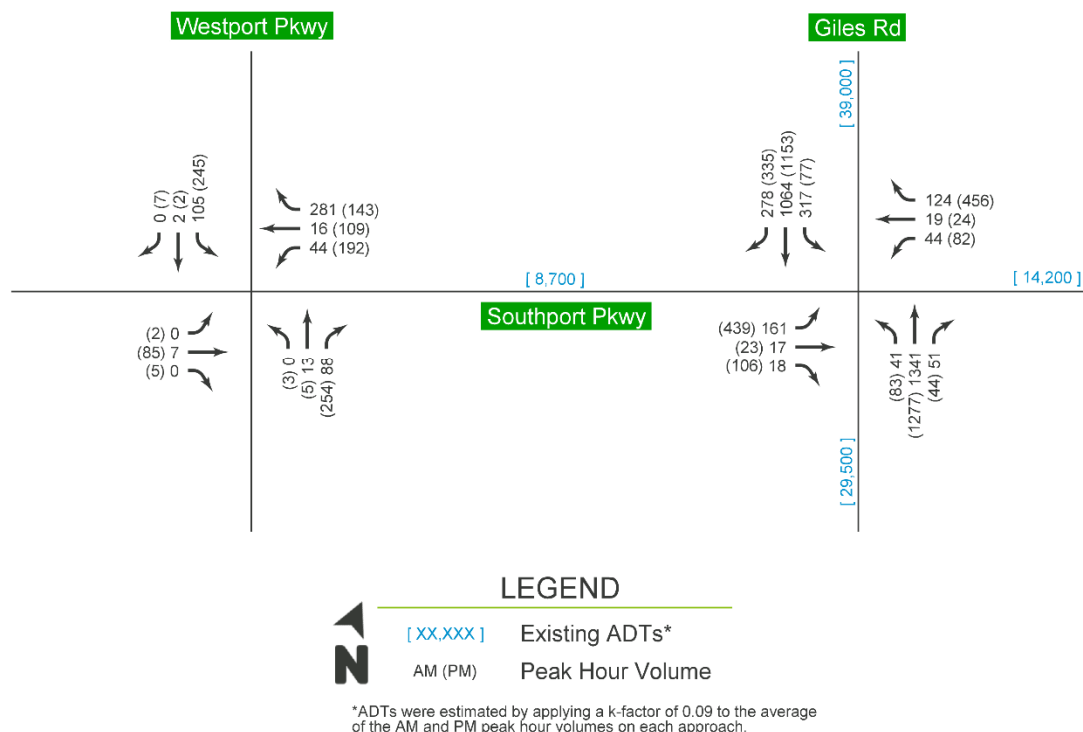


Figure 2. Existing Traffic Volumes

3.0 EXISTING CONDITIONS

Street conditions were evaluated to identify any existing deficiencies and to provide a baseline for comparison purposes.

3.1 Network Characteristics

Current roadway characteristics are summarized in **Table 1** below. Data for each roadway was acquired from aerial photography and the Metropolitan Area Planning Agency (MAPA) Federal Functional Classification map.

Table 1. Existing Roadway Characteristics.

Roadway	Section	Median Type	Posted Speed	Functional Classification
Giles Road	4-Lane	Divided	45 mph	Other Principal Arterial
Southport Parkway	4-Lane	Divided	25 mph	Local
Westport Parkway	5-Lane	TWLTL ¹	25 mph	Local

¹TWLTL = two-way left-turn lane.

The two study intersections, Southport Parkway & Giles Road and Southport Parkway & Westport Parkway, are both signalized. The intersection of Southport Parkway & Giles Road is built out with dual left-turn lanes at all approaches. Interstate 80 (I-80) is located approximately one-quarter mile north of Southport Parkway & Giles Road. There are sidewalks on the westbound approach of Southport Parkway & Giles Road.

The intersection of Southport Parkway & Westport Parkway has dual left turn lanes at southbound and westbound approaches. There are currently sidewalks on the west leg of the intersection, that extend north and south.

Existing lane configurations and traffic control are illustrated in **Figure 3**.

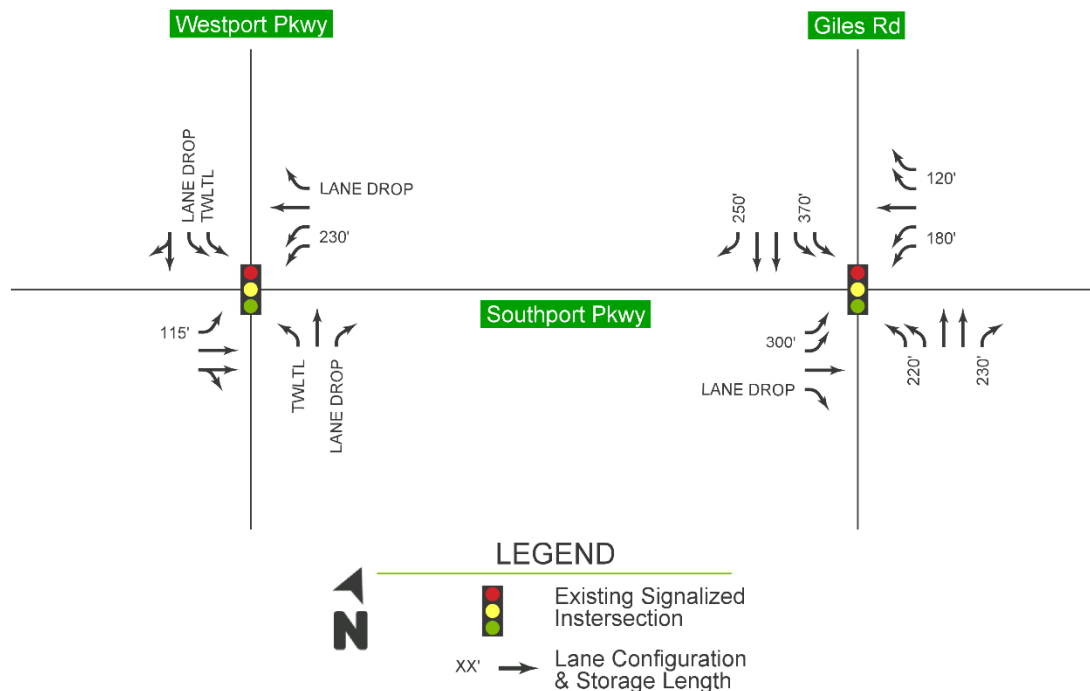


Figure 3. Existing Lane Configurations and Traffic Control

3.2 Existing Capacity Analysis

Capacity analyses were performed for the existing study intersections using the existing lane configurations and traffic control. Analyses were conducted using Synchro, Version 10.1 which is based on the Highway Capacity Manual (HCM), 6th Edition delay methodologies. For simplicity, the amount of control delay is equated to a grade or Level of Service (LOS) based on thresholds of driver acceptance. The amount of delay is assigned a letter grade A through F, LOS A representing little or no delay and LOS F representing very high delay. **Table 2** shows the delays associated with each LOS grade for signalized and unsignalized intersections. Signal timings were provided by the City of La Vista and these were incorporated in this and subsequent analyses.

Table 2. Intersection LOS Criteria.

Level-of-Service	Average Control Delay (seconds)	
	Signalized	Unsignalized
A	≤ 10	≤ 10
B	> 10-20	> 10-15
C	> 20-35	> 15-25
D	> 35-55	> 25-35
E	> 55-80	> 35-50
F	> 80	> 50
Highway Capacity Manual (HCM, 6 th Edition)		

Based on the capacity analysis, both signalized intersections operate at LOS D or better in both peak hours. Most individual movements operate at LOS D or better in both peak hours. There are several movements that operate at LOS E or LOS F in the AM and PM peak hours. Operations for these movements are detailed in **Table 3** below.

Table 3. Existing Capacity Analysis – Signalized LOS

Intersection	Movement	LOS AM (PM)	Delay (sec/veh) AM (PM)	Queue (ft) AM (PM)	V/C Ratio AM (PM)
Southport Parkway & Giles Road	EBL	E (E)	72 (61)	#117 (240)	0.80 (0.88)
	EBT	E (E)	59 (60)	0 (38)	0.37 (0.46)
	WBT	E (D)	56 (52)	41 (42)	0.24 (0.25)
	WBR	C (F)	25 (179)	25 (135)	0.32 (1.30)
	SBL	F (E)	91 (58)	#185 (55)	0.99 (0.56)

The vehicle-to-capacity (v/c) ratio for the westbound right-turning movement exceeds 1.0 in the PM peak hour which indicates these movements are oversaturated. In addition, the v/c ratio for the southbound left-turning movement approaches 1.0 in the AM peak hour indicating this movement is reaching capacity. All queue lengths are contained within existing storage lengths.

The Existing capacity analysis summary is illustrated in **Figure 4**. Detailed results may be found in **Appendix B**.

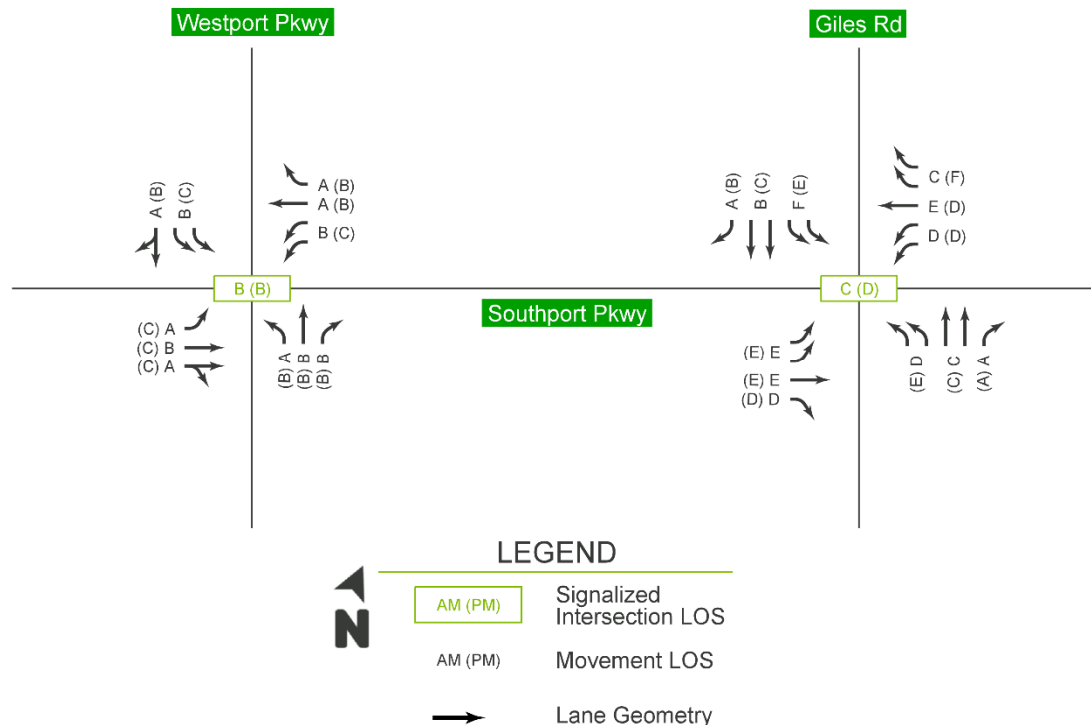


Figure 4. Existing Capacity Analysis

4.0 2022 BACKGROUND VOLUMES AND ANALYSIS

Year 2022 Background volumes were established to evaluate Opening Day conditions. 2022 Background volumes were applied to the study intersections and a capacity analysis was performed.

4.1 2022 Background Volumes

Year 2022 Background volumes were generated using an assumed annual growth rate for traffic volumes in the area. Olsson performed a traffic impact study in the area in the year 2017 for the La Vista Multi-Sport Complex (*Olsson 2017*). Based on traffic volumes and projections from the *Olsson 2017* study, a two percent growth rate was applied to existing traffic volumes along Giles Road to develop future background volumes. Side street volumes along Southport Parkway are assumed to be development dependent. 2022 Background volumes are illustrated in **Figure 5**.

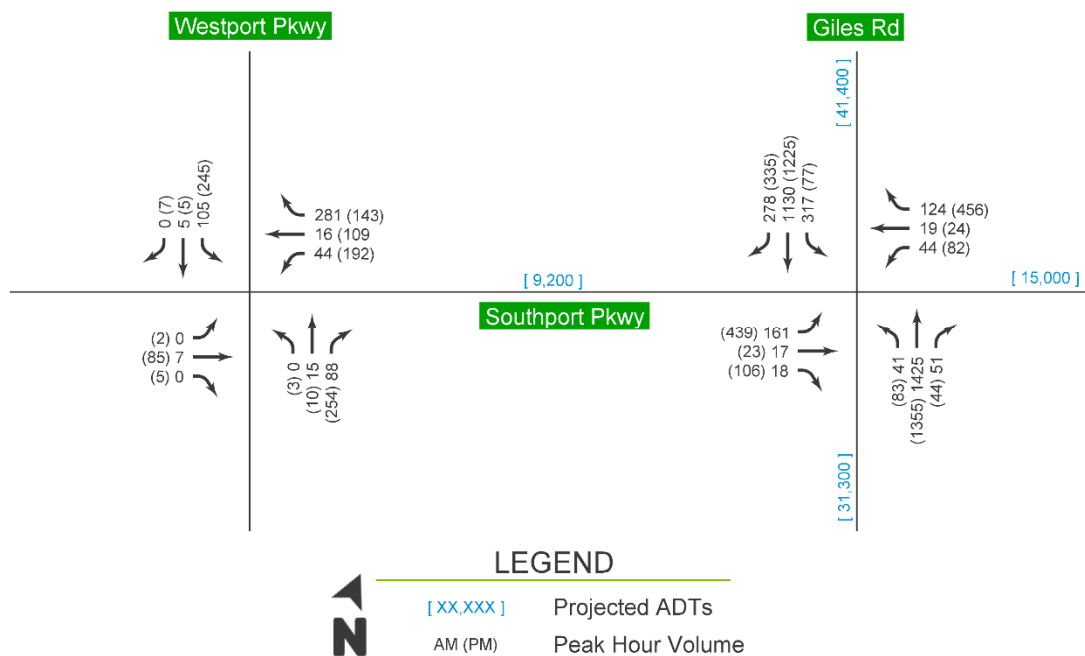


Figure 5. 2022 Background Traffic Volumes

4.2 2022 Background Capacity Analysis

Based on the capacity analysis, both signalized intersections are anticipated to operate at LOS D or better in both peak hours. Most turning movements are anticipated to operate at LOS D or better in either peak hour. Movements anticipated to operate at unacceptable levels of service are detailed in **Table 4** below.

Table 4. 2022 Background Capacity Analysis – Signalized LOS

Intersection	Movement	LOS AM (PM)	Delay (sec/veh) AM (PM)	Queue (ft) AM (PM)	V/C Ratio AM (PM)
Southport Parkway & Giles Road	EBL	E (E)	75 (61)	#120 (240)	0.82 (0.88)
	EBT	E (E)	59 (60)	0 (38)	0.37 (0.46)
	WBT	E (D)	56 (52)	41 (42)	0.24 (0.25)
	WBR	C (F)	25 (179)	24 (135)	0.32 (1.30)
	SBL	F (E)	95 (58)	#191 (55)	1.00 (0.56)

All queue lengths are anticipated to be contained within the current storage length for each of these movements. Similar to existing conditions, westbound right-turning vehicles are anticipated to have v/c ratios exceeding 1.0 in the PM peak hour. In addition, the southbound left-turning movement also experiences a v/c ratio of 1.0 in the AM peak hour which indicates this movement is oversaturated and may experience additional delay.

The 2022 Background conditions capacity analysis summary is illustrated in **Figure 6**. Detailed results may be found in **Appendix C**.

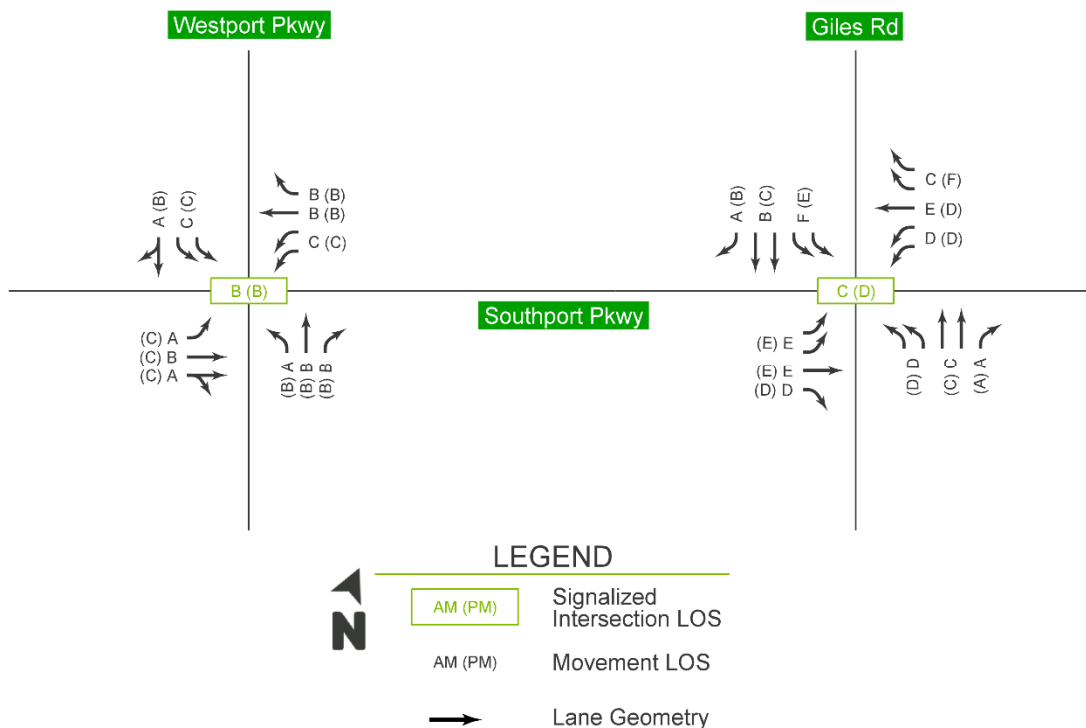


Figure 6. 2022 Background Capacity Analysis Summary

5.0 SITE CHARACTERISTICS

Trips anticipated to be associated with the Brixmor North Development were generated and applied to the study network to determine impacts to the existing roadway network. This study assumes one right-in, right-out (RIRO) connection to Southport Parkway. The location of this access is proposed to be approximately 300 feet west of Giles Road. The location was determined based on coordination with the City of La Vista and the client during site plan concept meetings. There is also an existing drive (Embassy Suites Drive) located approximately 250 feet northwest of Southport Parkway along Westport Parkway. This drive will be utilized for indirect access to the site. The site plan used for this study is provided in **Figure 7**.

5.1 Trip Generation

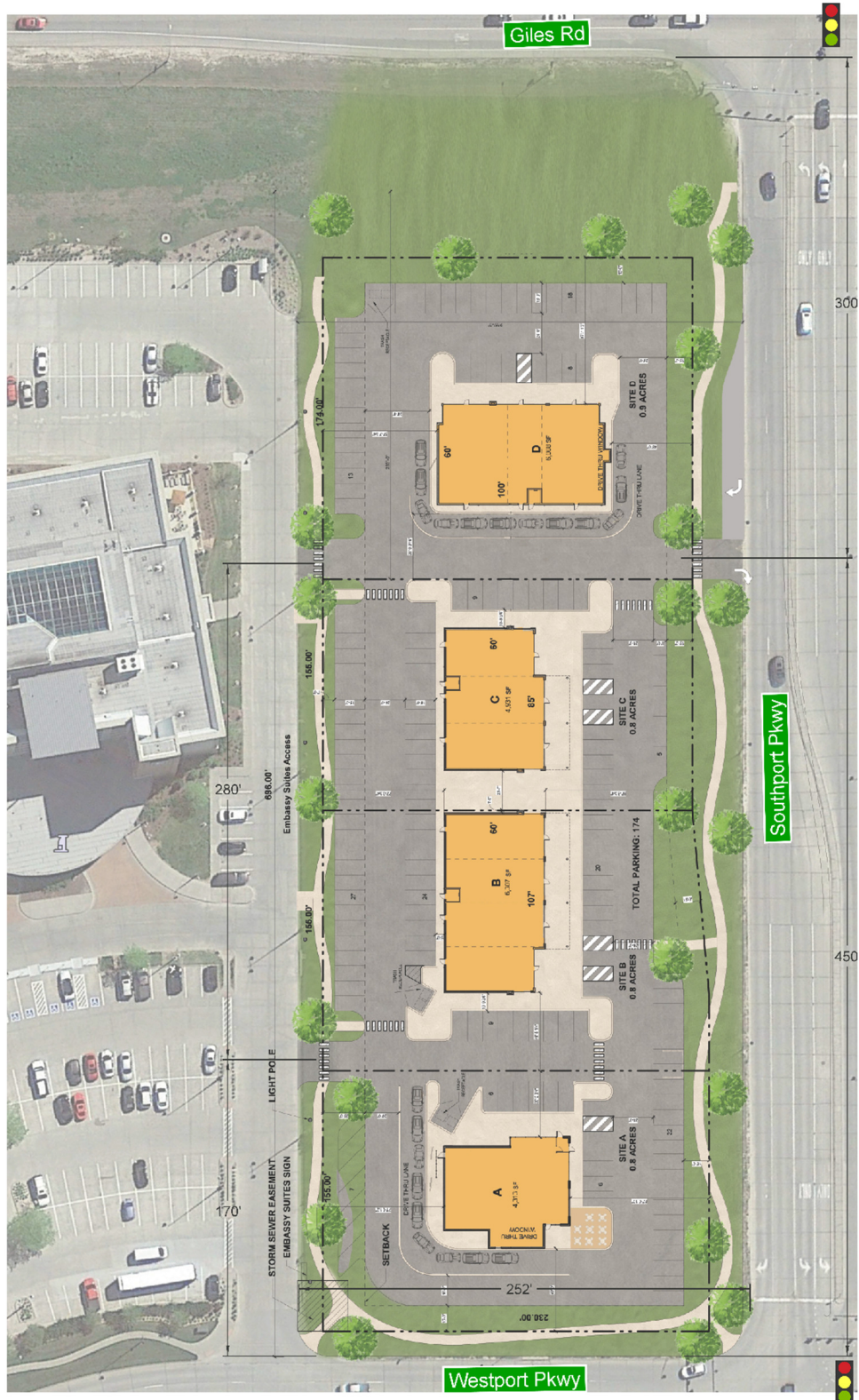
Trip generation characteristics were developed for the proposed site using rates found in the ITE Trip Generation Manual (10th Edition). Common Land Use Codes (LUC) are published with rates that can be applied to values related to the size of the proposed site to estimate the anticipated entering and exiting trips. LUC 820 Shopping Center, LUC 934 Fast-Food Restaurant with Drive-Through Window, and LUC 937 Coffee/Donut Shop with Drive-Through Window were used for the trip generation. The site is anticipated to be fully built out and occupied by year 2022.

Based on ITE methodologies, a pass-by reduction was applied to the site trips to account for trips made to the site while on the way to another destination. Pass-by trips include trips that are diverted from the roadways adjacent to the development that have direct access. Primary trips are trips made for the specific purpose of visiting the development.

A summary of the anticipated number of daily, AM peak hour, and PM peak hour trips for Brixmor North are shown in **Table 5**. This site is anticipated to generate a net of 4,567 daily trips, 402 AM peak hour trips, and 302 PM peak hour trips.

5.2 Trip Distribution

A trip distribution was developed based on existing travel patterns, surrounding land uses, and proximity to the interstate. The primary trip distribution, pass-by site trips, and total site trips are illustrated in **Figures 8-12**.



LEGEND



Signalized
Intersection

Figure 7. Site Plan

Table 5. Trip Generation

Daily Trip Generation															
ITE 10th Ed Code/Page	Lot	Land Use	Size		Trip Gen. Avg. Rate/Eq.	Daily Trips	Trip Distribution		Total Daily Trips						
							Enter	Exit	Enter	Exit					
934/201	A	Fast-Food Restaurant with Drive-Through Window	4,313	SF	470.95	2,031	50%	50%	1,016	1,016					
820/138	B	Shopping Center	6,307	SF	37.75	238	50%	50%	119	119					
820/138	C	Shopping Center	4,931	SF	37.75	186	50%	50%	93	93					
820/138	D	Shopping Center	2,500	SF	37.75	94	50%	50%	47	47					
820/138	D	Shopping Center	1,100	SF	37.75	42	50%	50%	21	21					
937/231	D	Coffee/Donut Shop with Drive-Through Window	2,408	SF	820.38	1,975	50%	50%	988	988					
Total						4,567			2,283	2,283					

AM Peak Hour Trips															
ITE 10th Ed Code/Page	Lot	Land Use	Size		Trip Gen. Avg. Rate/Eq.	AM Peak Trips	Trip Distribution		Total AM Trips		Pass-by Reduction	Pass-by Trips		Primary Trips	
							Enter	Exit	Enter	Exit		Enter	Exit	Enter	Exit
934/202	A	Fast-Food Restaurant with Drive-Through Window	4,313	SF	40.19	173	51%	49%	88	85	49%	42	42	46	42
820/139	B	Shopping Center	6,307	SF	0.94	6	62%	38%	4	2	0%	0	0	4	2
820/139	C	Shopping Center	4,931	SF	0.94	5	62%	38%	3	2	0%	0	0	3	2
820/139	D	Shopping Center	2,500	SF	0.94	2	62%	38%	1	1	0%	0	0	1	1
820/139	D	Shopping Center	1,100	SF	0.94	1	62%	38%	1	0	0%	0	0	1	0
937/232	D	Coffee/Donut Shop with Drive-Through Window	2,408	SF	88.99	214	51%	49%	109	105	0%	0	0	109	105
Total						402			206	195		42	42	164	153

PM Peak Hour Trips															
ITE 10th Ed Code/Page	Lot	Land Use	Size		Trip Gen. Avg. Rate/Eq.	PM Peak Trips	Trip Distribution		Total PM Trips		Pass-by Reduction	Pass-by Trips		Primary Trips	
							Enter	Exit	Enter	Exit		Enter	Exit	Enter	Exit
934/203	A	Fast-Food Restaurant with Drive-Through Window	4,313	SF	32.67	141	52%	48%	73	68	50%	35	35	38	32
820/140	B	Shopping Center	6,307	SF	3.81	24	48%	52%	12	12	34%	4	4	7	8
820/140	C	Shopping Center	4,931	SF	3.81	19	48%	52%	9	10	34%	3	3	6	7
820/140	D	Shopping Center	2,500	SF	3.81	10	48%	52%	5	5	34%	2	2	3	3
820/140	D	Shopping Center	1,100	SF	3.81	4	48%	52%	2	2	34%	1	1	1	1
937/233	D	Coffee/Donut Shop with Drive-Through Window	2,408	SF	43.38	104	50%	50%	52	52	0%	0	0	52	52
						302			153	149		45	45	108	104

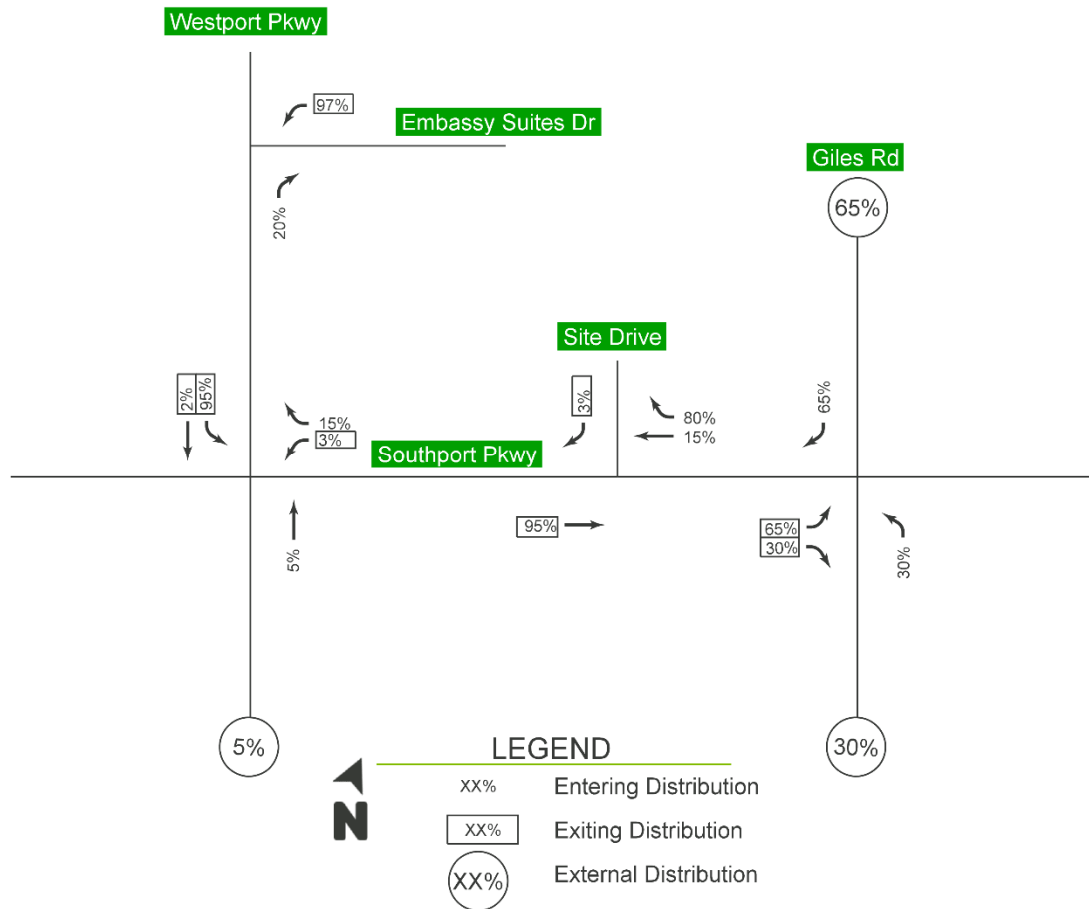


Figure 8. Trip Distribution

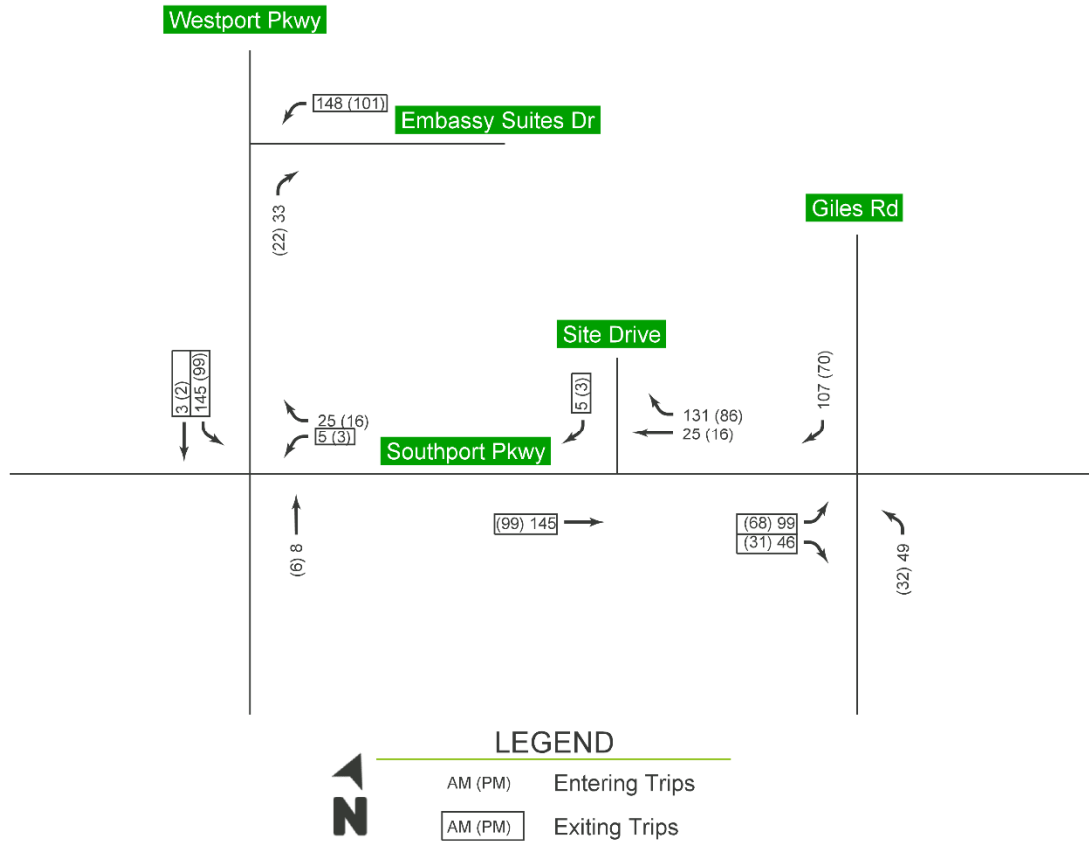


Figure 9. Primary Site Trips

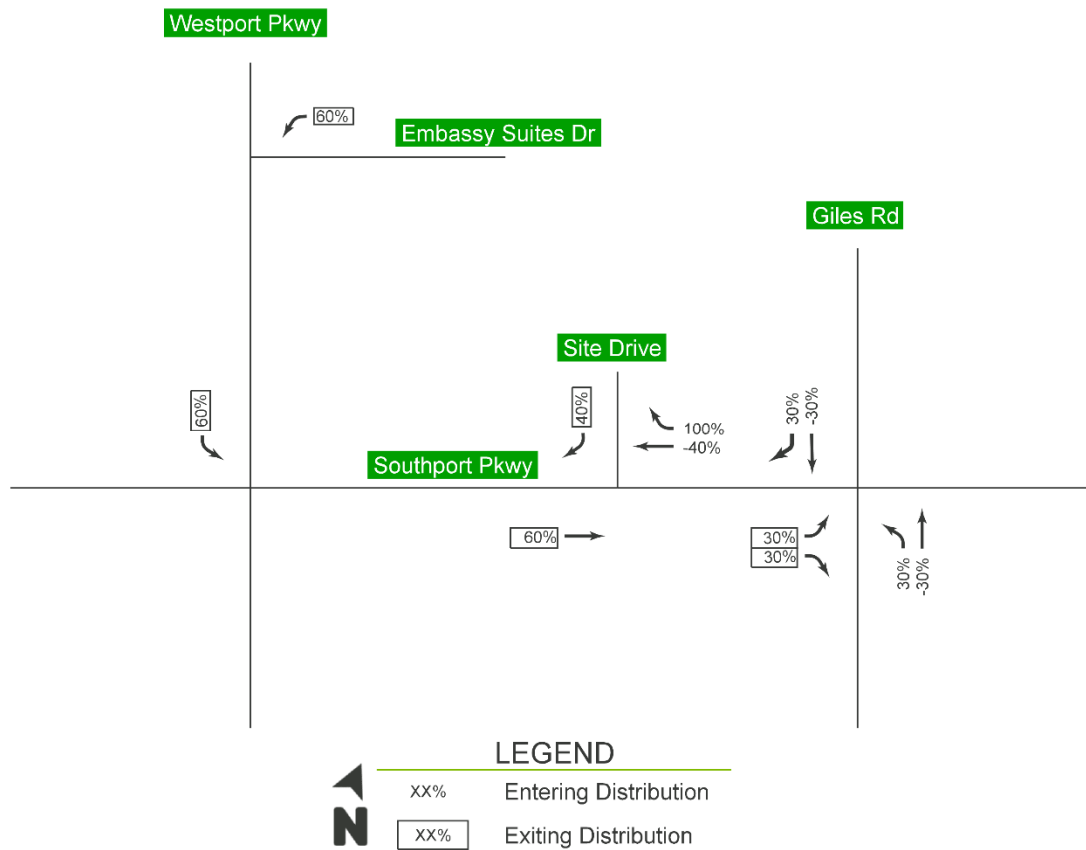


Figure 10. Pass-By Trip Distribution



Figure 11. Pass-By Site Trips

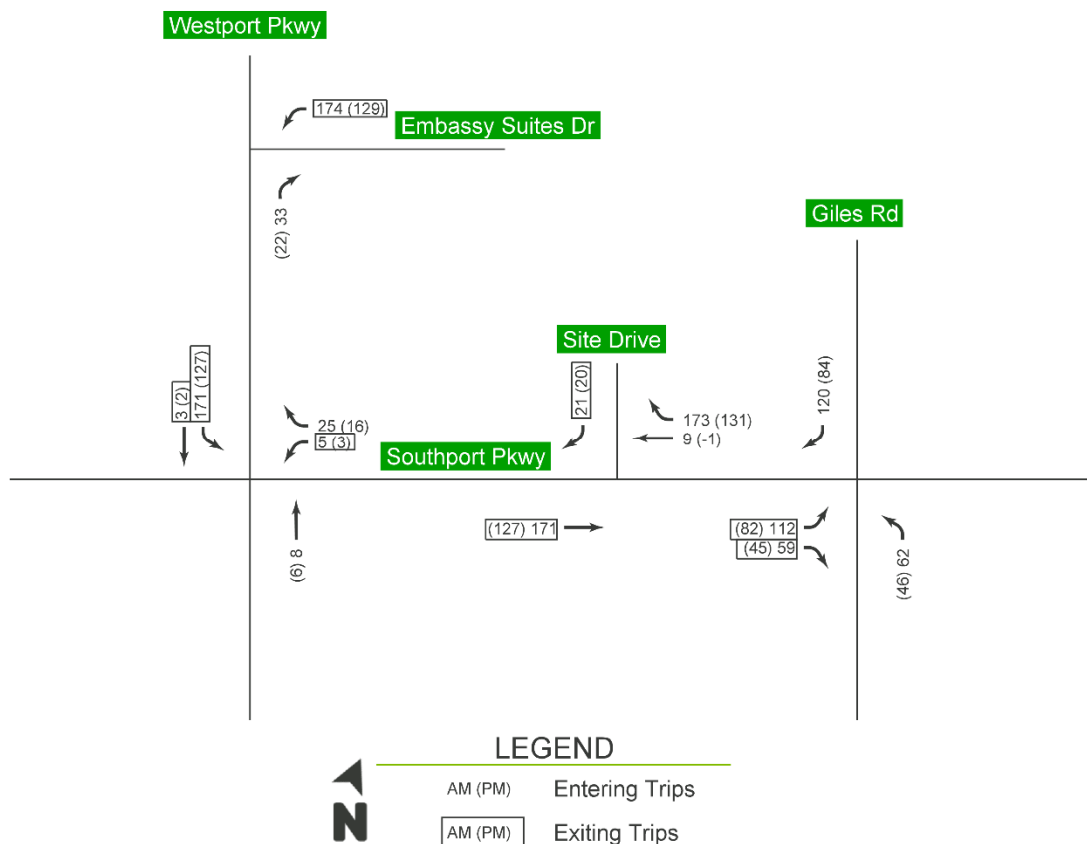


Figure 12. Total Site Trips

5.3 Site Traffic Circulation

The circulation of site traffic was analyzed to determine potential impacts on the roadway network.

Based on the location of the proposed Site Drive along Southport Parkway, there are concerns that traffic may use this drive for access to the adjacent hotel property. In addition, there are concerns delivery trucks using this access may need to wait for exiting vehicles in order to have adequate space to make a wide turn into the site, potentially stacking vehicles onto Southport Parkway. To address these concerns, the Southport Parkway access should include signage directing hotel traffic and delivery trucks to use Westport Parkway.

The current site plan proposes two land uses that include drive-through windows. Based on the current site plan, the available stacking for the coffee shop use is approximately 15 vehicles before it will begin to impede free flow parking lot movements along the east side of the lot. Due to the layout of the site, this is not anticipated to impact operations at any development access. The available stacking for the fast-food drive-through shown in the site plan is approximately nine vehicles. Queues longer than nine vehicles will block some movements at the westernmost development access off Embassy Suites Drive. In these cases, site traffic will be able to use the easternmost development access along Embassy Suites Drive.

6.0 FUTURE PLUS SITE ANALYSIS

The 2022 Background volumes were combined with the proposed site trips to develop the Opening Day volume scenario for capacity analysis purposes. The Opening Day peak hour volumes are shown in **Figure 13**.

6.1 Opening Day Capacity Analysis

Based on conversations with the City of La Vista, the construction of a westbound right-turn lane at the Site Drive along Southport Parkway will be required with site development and was included as part of the Opening Day analysis. All other intersections were analyzed with existing geometrics and intersection control.

Results of the capacity analysis indicate traffic operations along the north-south Giles Road mainline are anticipated to operate similar to 2022 Background conditions. There are several turning movements at Southport Parkway & Giles Road anticipated to operate at LOS E or LOS F in both peak hours that are detailed in **Table 6** below.

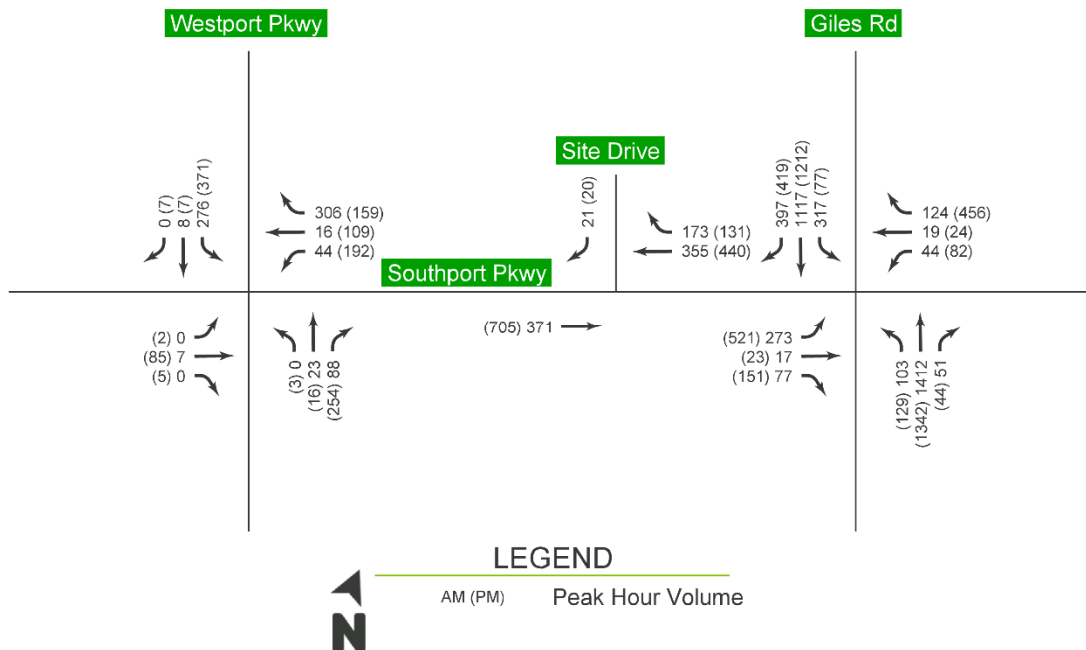


Figure 13. Opening Day Traffic Volumes

Table 6. Opening Day Capacity Analysis – Signalized LOS

Intersection	Movement	LOS AM (PM)	Delay (sec/veh) AM (PM)	Queue (ft) AM (PM)	V/C Ratio AM (PM)
Southport Parkway & Giles Road	EBL	F (E)	256 (66)	#238 (#319)	1.39 (0.91)
	EBT	E (D)	59 (54)	35 (43)	0.37 (0.26)
	EBR	D (E)	39 (59)	10 (82)	0.33 (0.87)
	WBT	E (D)	55 (52)	41 (42)	0.23 (0.25)
	WBR	D (F)	36 (177)	24 (135)	0.32 (1.30)
	NBL	D (E)	42 (57)	70 (88)	0.27 (0.59)
	SBL	F (E)	63 (58)	#191 (55)	1.00 (0.56)

Most queue lengths are anticipated to be contained in the current storage length for each of these movements. The 95th percentile queue length for the eastbound left-turning movement at Southport Parkway & Giles Road is anticipated to be approximately 320 feet in the PM peak hour which will extend into the taper of the existing storage bay. The eastbound left-turn lanes at Southport Parkway & Giles Road are currently back-to-back with the westbound left-turn lanes at Southport Parkway & Westport Parkway. There is currently no room to extend eastbound left-turn lanes.

There is an existing site drive approximately 250 feet northwest of the Southport Parkway & Westport Parkway intersection. The queue length for the southbound left-turning movement at this intersection is anticipated to be approximately 135 feet in the PM peak hour which will not extend beyond this drive. The Opening Day capacity analysis summary is illustrated in **Figure 14**. Detailed results may be found in **Appendix D**

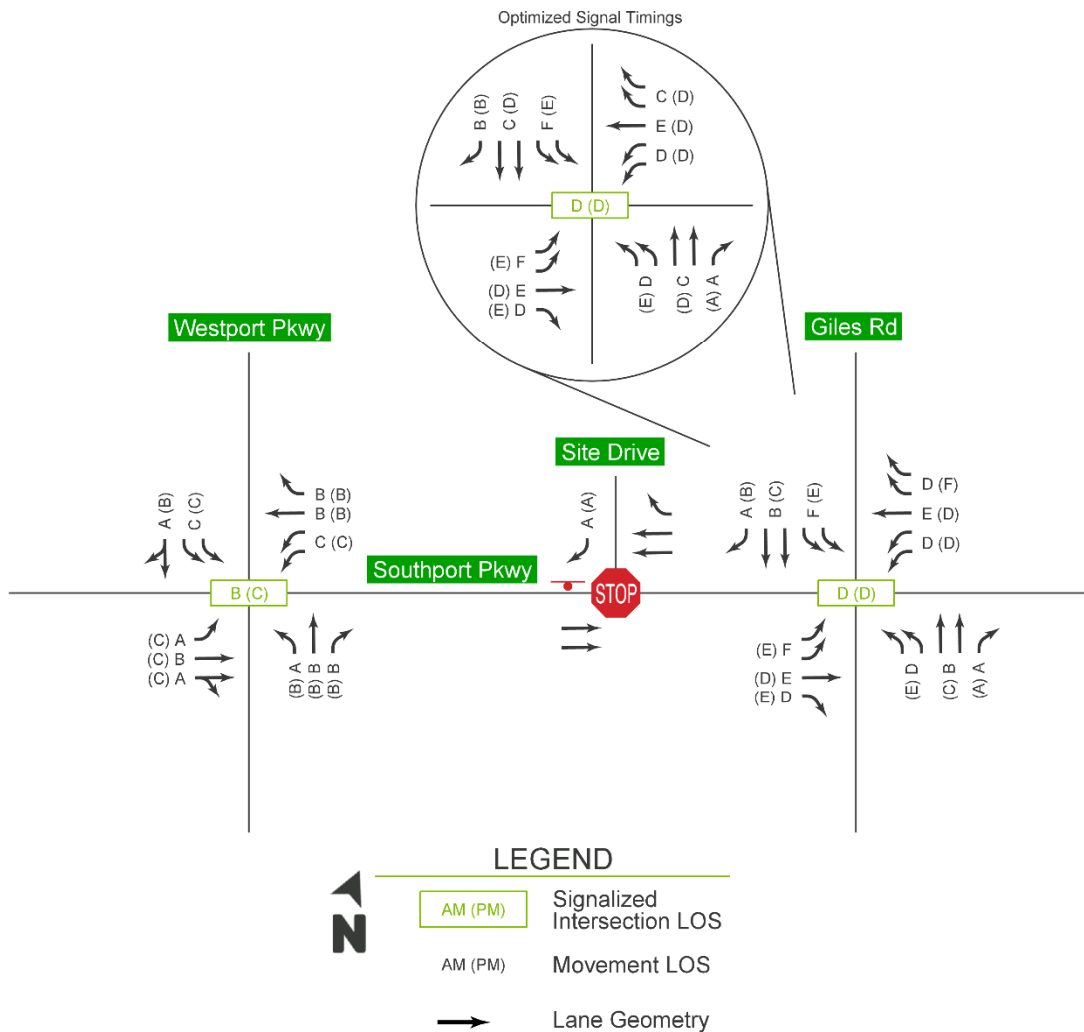


Figure 14. Opening Day Capacity Analysis

As part of the opening day capacity analysis, signal timings were evaluated for potential modification to improve overall traffic operations. At Southport Parkway & Giles Road, signal timings were optimized in both peak hours. Turning movement operations included in **Table 6** are shown in **Table 7** below for comparison purposes.

However, modifying signal timings at this intersection may impede progression along Giles Road. Northbound through movement queue lengths are anticipated to exceed 800 feet in the AM peak hour with optimized timings. Adjacent intersection signal timing coordination and north-south mainline progression along Giles Road should be considered before modifying signal timings at Southport Parkway & Giles Road. There are no signal timing recommendations for the intersection of Southport Parkway & Westport Parkway.

Table 7. Opening Day Capacity Analysis – Signalized LOS with Signal Timing Modifications

Intersection	Movement	LOS AM (PM)	Delay (sec/veh) AM (PM)	Queue (ft) AM (PM)	V/C Ratio AM (PM)
Southport Parkway & Giles Road	EBL	F (E)	89 (72)	153 (269)	0.95 (0.94)
	EBT	E (D)	59 (52)	34 (43)	0.37 (0.23)
	EBR	D (E)	39 (59)	9 (84)	0.34 (0.86)
	WBT	E (D)	55 (46)	41 (42)	0.23 (0.17)
	WBR	C (D)	23 (54)	8 (#154)	0.31 (0.98)
	NBL	D (E)	42 (63)	67 (#93)	0.28 (0.69)
	SBL	F (E)	89 (58)	#184 (56)	0.98 (0.56)

7.0 CONCLUSIONS & RECOMMENDED IMPROVEMENTS

This study documents the impacts of the proposed Brixmor North development located in the northeast quadrant of Southport Parkway & Westport Parkway in La Vista, Nebraska. This study was conducted to evaluate current roadway conditions and to identify potential improvements to mitigate existing and future traffic issues. Three scenarios were analyzed at study intersections: Existing, 2022 Background, and 2022 plus Site (Opening Day) conditions. Year 2022 coincides with the full build out of the site.

Trips associated with the development were generated based on ITE methodology. Site trips were combined with 2022 Background volumes and capacity analyses were performed for the Opening Day volume scenario.

Traffic is generally anticipated to operate with acceptable delay. However, several minor street turning movements at the intersection of Southport Parkway & Giles Road are anticipated to experience unacceptable delay or long queues in short-term future conditions. As traffic volumes increase along Giles Road and developments in the area build out, signal timings in the area should be considered for modification to improve traffic operations through the Giles Road corridor. There are no recommended signal timing modifications at study intersections currently.

The City of La Vista is requiring a westbound right-turn lane to be installed with the site at the RIRO site drive along Southport Parkway which is located approximately 300 feet west of Giles Road. This turn lane is proposed to have 75 feet of storage length. There should be a “One Way” sign (MUTCD R6-1) installed in the median along Southport Parkway with the construction of this drive. There should also be signage installed prior to the site drive directing hotel and delivery traffic to use Westport Parkway to reduce potential congestion at this site access. In addition, a “No U-Turn” sign (MUTCD R3-4) should be installed at the intersection of Westport Parkway & Southport Parkway to restrict westbound u-turning movements.

