

LA VISTA CITY COUNCIL MEETING AGENDA

December 18, 2018

7:00 P.M.

Harold "Andy" Anderson Council Chamber
La Vista City Hall
8116 Park View Blvd

- Call to Order
- Pledge of Allegiance
- Announcement of Location of Posted Open Meetings Act
- Administration of Oath of Office – Kelly R. Sell, Ward IV
- Service Awards – Gregory Carrico – 20 years; Jeff Siebels – 15 years
- Appointments
 - Library Board - Reappoint Huyen-Yen Hoang and Connie Novacek– 2 year term
 - Park & Recreation Advisory Board - Reappoint Jonathan Jameson – 2 year term; Appoint Nick Moyer– 2 year term
 - Civil Service Commission – Appoint Destynie Sewell – fulfill vacancy
 - Board of Health – Appoint Douglas Kindig, Kim Thomas and Robert Lausten – 1 year term

All matters listed under item A, Consent Agenda, are considered to be routine by the city council and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. CONSENT AGENDA

- 1. Approval of the Agenda as Presented
- 2. Approval of the Minutes of the December 4, 2018 City Council Organizational Meeting
- 3. Approval of the Minutes of the December 4, 2018 City Council Meeting
- 4. Approval of the Minutes of the November 15, 2018 Planning Commission Meeting
- 5. Monthly Financial Report – October 2018
- 6. Request for Payment – Graham Construction, Inc. – Construction Services – City Centre Infrastructure - \$364,653.86
- 7. Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – City Parking District Access Improvements – Drainage - \$1,855.00
- 8. Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – City Parking District Access Improvements – Drainage - \$23,320.10
- 9. Request for Payment – Gilmore Bell – Legal Services – Tax Increment Revenue Notes, Series 2017 - \$31,500.00
- 10. Request for Payment – The Novak Consulting Group, Inc. – Professional Services – Public Works and Parks and Recreation Assessment - \$15,161.00
- 11. Request for Payment – OPPD – Construction Services – La Vista City Centre - \$5,185.21
- 12. Approval of Claims

- Reports from City Administrator and Department Heads
- Presentation – 84th Street Redevelopment Update
- Presentation – OPPD
 - 1. LED Upgrades to Street Lights
 - 2. Relocation of the La Vista Transmission Line

B. PUD Site Plan – Lot 1, Southport East Replat Five (NW of Westport Pkwy)

- 1. Public Hearing
- 2. Resolution

C. Zoning Map Amendment (Rezoning) – Lots 6-11, Chalco Valley Business Park (SE of 142nd & Chalco Valley Parkway)

- 1. Public Hearing
- 2. Ordinance

D. Amend Municipal Retirement Plans

- 1. Ordinance – Amend La Vista Firefighters Retirement Plan and Trust
- 2. Ordinance – Amend La Vista Police Officers Retirement Plan and Trust

E. Resolution – Change Order No. 4 – Public Improvement Redevelopment Project – City Centre Infrastructure – Pavement & Sewers

- F. Resolution – Change Order No. 8 – 84th Street Redevelopment Area – Public Improvement Redevelopment Project – Offstreet Parking District No. 2, Structure No. 1
- G. Resolution – Purchase - Law Enforcement Voice Recognition System
- H. Resolution – Purchase - Ventrac Cab and Seeder
- I. Resolution – Purchase - Computer Equipment
- Comments from the Floor
- Comments from Mayor and Council
- Adjournment

The public is welcome and encouraged to attend all meetings. If special accommodations are required please contact the City Clerk prior to the meeting at 402-331-4343. A copy of the Open Meeting Act is posted in the Council Chamber and available in the public copies of the Council packet. Citizens may address the Mayor and Council under "Comments from the Floor." Comments should be limited to five minutes. We ask for your cooperation in order to provide for an organized meeting.

MINUTE RECORD

A-2

No. 729 -- REEDIE & COMPANY, INC. OMAHA E1910556LD

LA VISTA CITY COUNCIL ORGANIZATIONAL MEETING December 4, 2018

A meeting of the City Council of the City of La Vista, Nebraska was convened in open and public session at 7:00 p.m. on December 4, 2018. Present were Councilmembers: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Also in attendance were City Attorney McKeon, City Administrator Gunn, Assistant City Administrator Ramirez, City Clerk Buethe, Police Chief Lausten, Director of Administrative Services Pokorny, Community Development Director Birch, Finance Director Miserez, Recreation Director Stopak, Director of Public Works Soucie, City Engineer Kottmann, and Library Director Barcal.

A notice of the meeting was given in advance thereof by publication in the Times on November 21, 2018. Notice was simultaneously given to the Mayor and all members of the City Council and a copy of the acknowledgment of the receipt of notice attached to the minutes. Availability of the agenda was communicated to the Mayor and City Council in the advance notice of the meeting. All proceedings shown were taken while the convened meeting was open to the attendance of the public. Further, all subjects included in said proceedings were contained in the agenda for said meeting which is kept continuously current and available for public inspection at City Hall during normal business hours.

II. CITY CLERK'S REPORT OF ELECTION RESULTS

City Clerk Buethe read the results of the General Election held on Tuesday, November 6, 2018 as certified by the Sarpy County Election Commissioner for the City of La Vista are as follows:

For the office of City Council Ward I, Kim J. Thomas received 683 votes, Klaus Linder received 417 votes, and there were 9 write-in votes. For the office of City Council Ward II, Terrilyn Quick received 590 votes, Nicolas Crawford received 552 votes, and there were 13 write-in votes. For the office of City Council Ward III, Alan Ronan received 969 votes, and there were 31 write-in votes. For the office of City Council Ward IV, Kelly Sell received 1,339 votes, and there were 22 write-in votes.

III. ADMINISTRATION OF OATH TO COUNCILMEMBERS

KIM J. THOMAS – WARD I
TERRILYN QUICK – WARD II
ALAN W. RONAN – WARD III
KELLY R. SELL – WARD IV

Mayor Kindig Administered the Oath of Office to Councilmembers: Thomas, Quick, and Ronan. Councilmember Sell, who was unable to attend, will take his Oath of Office at the next meeting.

IV. ELECTION OF COUNCIL PRESIDENT

Mayor Kindig called for nominations for Council President. Councilmember Quick nominated Councilmember Thomas. Mayor Kindig asked for any further nominations. Councilmember Sheehan made a motion to cease nominations. Seconded by Councilmember Hale. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried. Councilmember Sheehan made a motion to cast a unanimous ballot for Councilmember Thomas for Council President. Seconded by Councilmember Frederick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

V. COMMENTS FROM THE MAYOR AND COUNCIL

There were no comments from the Mayor and Council.

At 7:08 p.m. Councilmember Crawford made a motion to adjourn the meeting. Seconded by Councilmember Quick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

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December 4, 2018
Organizational Meeting

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

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No. 729 — REEDIE & COMPANY, INC., OMAHA E1310556LD

LA VISTA CITY COUNCIL MEETING DECEMBER 4, 2018

A meeting of the City Council of the City of La Vista, Nebraska was convened in open and public session at 7:08 p.m. on December 4, 2018. Present were Councilmembers: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Also in attendance were City Attorney McKeon, City Administrator Gunn, Assistant City Administrator Ramirez, City Clerk Buethe, Police Chief Lausten, City Engineer Kottmann, Director of Public Works Soucie, Library Director Barcal, Director of Administrative Services Pokorny, Finance Director Miserez, Recreation Director Stopak, and Community Development Director Birch.

A notice of the meeting was given in advance thereof by publication in the Times on November 21, 2018. Notice was simultaneously given to the Mayor and all members of the City Council and a copy of the acknowledgment of the receipt of notice attached to the minutes. Availability of the agenda was communicated to the Mayor and City Council in the advance notice of the meeting. All proceedings shown were taken while the convened meeting was open to the attendance of the public. Further, all subjects included in said proceedings were contained in the agenda for said meeting which is kept continuously current and available for public inspection at City Hall during normal business hours.

Mayor Kindig called the meeting to order, led the audience in the Pledge of Allegiance, and made the announcements.

A. CONSENT AGENDA

1. APPROVAL OF THE AGENDA AS PRESENTED
2. APPROVAL OF THE MINUTES OF THE NOVEMBER 20, 2018 CITY COUNCIL MEETING
3. REQUEST FOR PAYMENT – OLSSON – PROFESSIONAL SERVICES – CITY CENTRE PHASE 1 PUBLIC INFRASTRUCTURE – \$40,877.90
4. REQUEST FOR PAYMENT – RDG PLANNING & DESIGN – PROFESSIONAL SERVICES – CIVIC CENTER PARK PHASE 1 - \$7,417.82
5. REQUEST FOR PAYMENT – OLSSON – PROFESSIONAL SERVICES – 84TH STREET REDEVELOPMENT SITE PREPARATION - \$1,391.00
6. REQUEST FOR PAYMENT – OLSSON – PROFESSIONAL SERVICES – CITY CENTRE LOT 17 PARKING GARAGE NE - \$2,723.75
7. REQUEST FOR PAYMENT – THOMPSON, DREESSEN & DORNER, INC. – PROFESSIONAL SERVICES – SEWER PLANS FOR PORTAL ROAD - \$200.00
8. REQUEST FOR PAYMENT – OLSSON – PROFESSIONAL SERVICES – 84TH STREET REDEVELOPMENT SITE PREPARATION - \$298.50
9. REQUEST FOR PAYMENT – DLR GROUP – PROFESSIONAL SERVICES – CITY CENTRE PARKING FACILITY - \$7,520.00
10. REQUEST FOR PAYMENT – YANO'S NURSERY – THOMPSON CREEK MAINTENANCE - \$5,000.00
11. REQUEST FOR PAYMENT – BLADE MASTERS GROUNDS MAINT., INC. – CONSTRUCTION SERVICES – CIVIC CENTER PHASE 2 - \$338,740.45
12. REQUEST FOR PAYMENT – THOMPSON, DREESSEN, & DORNER, INC. – PROFESSIONAL SERVICES – PHASE 2 GOLF COURSE TRANSFORMATION - \$15,702.03
13. REQUEST FOR PAYMENT – THOMPSON, DREESSEN, & DORNER, INC. – PROFESSIONAL SERVICES - \$1,487.05
14. REQUEST FOR PAYMENT – SWAIN CONSTRUCTION – CONSTRUCTION SERVICES – 84TH STREET ACCESS IMPROVEMENTS - \$2,080.48
15. REQUEST FOR PAYMENT – HAWKINS CONSTRUCTION – CONSTRUCTION SERVICES – PARKING GARAGE DISTRICT 2, STRUCTURE 1 - \$467,317.35
16. RESOLUTION - ELECTION OF DIRECTORS TO THE LA VISTA METROPOLITAN COMMUNITY COLLEGE BOARD OF DIRECTORS

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA TO ELECT DIRECTORS OF THE LA VISTA/METROPOLITAN COMMUNITY COLLEGE CONDOMINIUM OWNERS ASSOCIATION, INC.

WHEREAS, the City of La Vista Facilities Corporation ("City Facility Corporation") and the Metropolitan Community College Facilities Corporation made and

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No. 728 — REDFIELD & COMPANY, INC. OMAHA E1310556.D

entered a Declaration and Master Deed of La Vista Metropolitan Community College Condominium Property Regime dated December 29, 1997 ("Declaration") for the purposes of administering the condominium property regime and maintaining common areas of the Library/Sarpy Center; and

WHEREAS, the La Vista/Metropolitan Community College Condominium Owners Association, Inc., ("Association") was incorporated for purposes of administering the condominium property regime and maintaining the common areas under the Declaration, and the Association is governed by a Board of Directors; and

WHEREAS, pursuant to Article 1.24 of the Declaration, as amended, the City Facilities Corporation delegated to and authorized the City of La Vista ("City") to exercise voting rights with respect to the Association and its Board of Directors, and the City desires to exercise said voting rights to elect Directors of the Association; and

WHEREAS, the following positions (and the individuals holding the titles) have been designated by the Mayor and City Council to be the City's three directors on the Association's Board of Director's ("City's Director's"):

City Administrator
Library Director
Director of Public Works

WHEREAS, the Association held its 2018 Annual Meeting on November 12, 2018, at which time and at such meeting the City's Directors voted on behalf of the City and in accordance with the desire of the City Council and the Mayor to nominate and re-elect the City's Director's to the Association's Board of Directors; and

WHEREAS, the Mayor and City Council desire to designate, and ratify, affirm and approve the election of the City's Directors;

NOW, THEREFORE, BE IT RESOLVED, that the following are hereby designated and elected to serve as the City's appointees to the Board of Director's of the Association:

City Administrator
Library Director
Director of Public Works

and further that their attendance, participation, voting and exercise of other rights on behalf of the City (in exercise of the delegated rights of the City Facilities Corporation) to nominate and elect said individuals as directors at the annual meeting of the Association held November 12, 2018 (and all other related actions) are hereby ratified, affirmed and approved.

17. APPROVAL OF CLAIMS

ACCESS BANK, services	\$3,066.27
ACTION BATTERIES, maint.	\$746.70
AIM, services	\$3,539.00
ALLY BANK, services	\$356.91
AMERICAN HERITAGE LIFE INS CO, services	\$1,449.79
ARROW TOWING OF OMAHA INC, services	\$150.00
ASCAP, services	\$354.71
AT&T MOBILITY LLC, services	\$121.50
BAXTER FORD, maint.	\$117.12
BISHOP BUSINESS EQUIPMENT, services	\$1,965.05
BLACK HILLS ENERGY, utilities	\$3,722.28
BLADE MASTERS GROUNDS MNTN, services	\$223,269.00
BCBS OF NEBR, services	\$96,816.79
BRITE IDEAS DECORATING, services	\$13,555.16
BUILDERS SUPPLY CO INC, bld&grnds	\$70.00

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CATERPILLAR FINANCIAL, services	\$3,075.62
CENTER POINT PUBLISHING, books	\$750.21
CENTURY LINK, phones	\$326.22
CENTURY LINK BUSN SVCS, phones	\$73.91
CIOX HEALTH, LLC, services	\$252.11
CITY OF OMAHA, services	\$227,925.69
CITY OF PAPILLION, services	\$178,260.23
CIVIC NEBRASKA, services	\$3,080.31
COMP CHOICE INC, services	\$100.00
CONSOLIDATED MANAGEMENT, services	\$8.74
COX COMMUNICATIONS, services	\$147.03
CULLIGAN OF OMAHA, services	\$35.25
DATASHIELD CORP, services	\$20.00
DEARBORN NAT'L LIFE INS CO, services	\$6,112.40
HALE, D., travel	\$122.69
DI MAURO, J., travel	\$112.00
DXP ENTERPRISES INC, services	\$100.00
EDGEWEAR SCREEN PRINTING, services	\$69.00
ENTERPRISE, services	\$580.01
ESSENTIAL SCREENS, services	\$249.00
FBG SERVICE CORP, services	\$5,965.00
FIRST STATE BANK, services	\$12,205.78
GALE, books	\$123.98
GCR TIRES & SERVICE, maint.	\$390.19
H & H CHEVROLET LLC, maint.	\$47.25
HDR ENGINEERING INC, services	\$13,757.16
HEIMES CORP, services	\$160.00
HOCKENBERGS, supplies	\$111.19
HONG'S DRY CLEANING, services	\$306.30
INGRAM LIBRARY SERVICES, books	\$318.14
J & J SMALL ENGINE, maint.	\$8.40
JONES AUTOMOTIVE INC, maint.	\$504.01
KIMBALL MIDWEST, supplies	\$600.62
LV COMM FOUNDATION, payroll	\$90.00
LIBRA INDUSTRIES INC, apparel	\$132.00
LIBRARY IDEAS LLC, books	\$4.50
LINCOLN NAT'L LIFE INS CO, services	\$5,375.12
LIONHEART ENTERPRISES LLC, services	\$410.06
LOGO LOGIX EMBROIDERY, apparel	\$247.00
MAX I WALKER, services	\$727.65
MENARDS-RALSTON, bld&grnds	\$314.74
MUD, utilities	\$2,890.13
MID-AMERICAN BENEFITS INC, services	\$611.00
MIDWEST TAPE, media	\$866.81
MNJ TECHNOLOGIES DIRECT INC, services	\$1,030.00
NAT'L EVERYTHING WHOLESALE, supplies	\$977.23
NE DEPT OF REVENUE, sales tax	\$478.32
NE IOWA INDL FASTENERS, services	\$28.78
NE LAW ENFORCEMENT, services	\$52.00
NE MUNICIPAL CLERKS ASSN, services	\$90.00
NE SALT & GRAIN CO, services	\$45,932.89
NUTS AND BOLTS INC, bld&grnds	\$54.33
OFFICE DEPOT INC, supplies	\$922.67
OMAHA SLINGS INC, maint.	\$58.87
OMAHA WINNELSON, maint.	\$156.88
PAPILLION SANITATION, services	\$385.95
PAYLESS OFFICE, supplies	\$214.73
PETTY CASH, services	\$275.41
PITNEY BOWES, postage	\$1,278.00
PLAINS EQUIPMENT GROUP, maint.	\$113.80

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PLUTA, D., travel	\$244.00
QUALITY AUTO REPAIR, services	\$60.00
RAINBOW GLASS & SUPPLY, maint.	\$39.95
RANDY ROY, repairs	\$1,251.40
REACH SPORTS MARKETING GROUP, services	\$1,229.00
READY MIXED CONCRETE CO, maint.	\$424.19
RUFFNER, J., travel	\$112.00
SAPP BROS PETROLEUM, services	\$658.90
SARPY COUNTY, services	\$4,207.68
SCHEMMER ASSOCIATES INC, services	\$2,089.81
SEFFRON, R., travel	\$112.00
SOLBERG, C., travel	\$56.14
SOUTHERN UNIFORM, apparel	\$86.50
STEVE QUINN, refund	\$300.00
TOSHIBA FINANCIAL, services	\$127.40
TY'S OUTDOOR POWER, maint.	\$19.51
UHE, R., travel	\$244.00
UNITED HEALTHCARE INS CO, services	\$729.58
UNITED SEEDS INC, services	\$390.00
VERIZON WIRELESS, phones	\$209.53
WAL-MART, supplies	\$1,088.50
WICK'S STERLING TRUCKS INC, maint.	\$510.01

Councilmember Crawford made a motion to approve the consent agenda. Seconded by Councilmember Hale. Councilmember Thomas reviewed the bills and stated everything was in order. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

THIRD QUARTER REPORT – SARPY COUNTY ECONOMIC DEVELOPMENT CORPORATION

Josh Charvat from the Sarpy County Economic Development Corporation gave a report on the third quarter activity in Sarpy County.

REPORTS FROM CITY ADMINISTRATOR AND DEPARTMENT HEADS

Finance Director Miserez reported that the reports on 84th Street Development and the Sports Complex will be available at the next meeting and then subsequently on a quarterly basis.

Recreation Director Stopak reported that the Recreation Center is hosting the Circle of Iron Brazilian Jiu Jitsu Tournament this weekend.

B. ORDINANCE – AMEND SECTION 95.11 (ANIMALS – MAXIMUM NUMBERS ALLOWED) & SECTION 95.17 (DOG KENNELS, CATTERIES, AND PET STORES) OF THE LA VISTA MUNICIPAL CODE

Councilmember Hale introduced Ordinance No. 1335 entitled: AN ORDINANCE OF THE CITY OF LA VISTA, SARPY COUNTY, NEBRASKA, TO AMEND THE LA VISTA MUNICIPAL CODE SECTION 95.11 AND 95.17 REGARDING ANIMALS; TO REPEAL CONFLICTING ORDINANCES PREVIOUSLY ENACTED; TO PROVIDE FOR SEVERABILITY; AND TO PROVIDE FOR THE EFFECTIVE DATE HEREOF.

Councilmember Sheehan moved that the statutory rule requiring reading on three different days be suspended. Councilmember Frederick seconded the motion to suspend the rules and roll call vote on the motion. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried. The motion to suspend the rules was adopted and the statutory rule was declared suspended for consideration of said ordinance.

Said ordinance was then read by title and thereafter Councilmember Sheehan moved for final passage of the ordinance which motion was seconded by Councilmember Frederick. Councilmember Thomas stated that he had been requested by

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Councilmember Sell to state for the record that Sell is opposed to this item. The Mayor then stated the question, "Shall Ordinance No. 1335 be passed and adopted?" Upon roll call vote the following Councilmembers voted aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. The passage and adoption of said ordinance having been concurred on by a majority of all members of the Council, the Mayor declared the ordinance adopted and the Mayor, in the presence of the Council, signed and approved the ordinance and the City Clerk attested the passage/approval of the same and affixed her signature thereto.

C. RESOLUTION – CONDITIONAL USE PERMIT – PUPPYLAND, LLC – LOT 50, S&S'S HARVEST HILL (7505 THORN APPLE LN.)

Councilmember Hale introduced and moved for the adoption of Resolution No.18-164 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF A CONDITIONAL USE PERMIT FOR PUPPYLAND, LLC, TO OPERATE A HOME OCCUPATION ANIMAL SPECIALTY SERVICES ON LOT 50, S&S'S HARVEST HILL.

WHEREAS, Puppyland, LLC has applied for approval of a conditional use permit for a home occupation animal specialty services on Lot 50, S&S'S Harvest Hill, located at 7505 Thorn Apple Lane; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval; and

WHEREAS, the Mayor and City Council of the City of La Vista are agreeable to the issuance of a conditional use permit for such purposes.

NOW THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista hereby authorize the execution of a Conditional Use Permit in form and content submitted at this meeting, with such modifications that the City Administrator or City Attorney may determine necessary or advisable, for Puppyland, LLC to allow for a home occupation animal specialty services on Lot 50, S&S'S Harvest Hill.

Seconded by Councilmember Thomas. Councilmember Thomas stated that he had been requested by Councilmember Sell to state for the record that Sell is opposed to this item. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

D. RESOLUTION – AMEND FY2018-2019 BUDGET – SARPY COUNTY AND CITIES WASTEWATER AGENCY

Councilmember Hale introduced and moved for the adoption of Resolution No.18-165 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA APPROVING THE SARPY COUNTY AND CITIES WASTEWATER AGENCY'S AMENDED FY2018-2019 BUDGET.

WHEREAS, the City of La Vista is a party to an agreement (the "Agreement") entered into pursuant to the Interlocal Cooperation Act, set out at Neb. Rev. Stat. § 13-801 et seq. (the "Act"), by and between Sarpy County and the Cities of Papillion, Bellevue, Springfield, La Vista and Gretna (the "Members"), which formed the interlocal agency called the Sarpy County and Cities Wastewater Agency (the "Agency"); and

WHEREAS, pursuant to Section IX of the Agreement, the Agency Board is required to approve an itemized annual budget which shall be presented to and subject to approval of the individual governing body of each Member; and

WHEREAS, Sarpy County initially offered to make a contribution to the Agency for the FY2018-2019 to cover the Agency's anticipated expenses with the understanding that three hundred and sixty-five thousand and three hundred and seventeen dollars (\$365,317.00) will be reimbursed to Sarpy County by the agency through the first available revenue generated by the Agency; and

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WHEREAS, the Agency approved the revised FY2018-2019 Budget at the Agency's Board Meeting on June 26, 2018 with the understanding that three hundred and sixty-five thousand and three hundred seventeen dollars (\$365,317.00) will be reimbursed to Sarpy County by the Agency through the first available revenue generated by the Agency; and

WHEREAS, each of the Members' governing bodies approved the FY2018-2019 Budget with Sarpy county's contribution of \$365,317.00; and

WHEREAS, Sarpy County offered to make an additional contribution to the Agency for the FY2018-2019 to cover the Agency's anticipated expenses with the understanding that the total contributions from Sarpy County in the amount of six-hundred and fifty-six thousand and seven hundred and fifty-eight dollars (\$656,758.00) will be reimbursed to Sarpy County by the Agency through the first available revenue generated by the Agency; and

WHEREAS, the City of La Vista deems it appropriate and advisable to approve the proposed amended FY2018-2019 Budget, attached hereto as Exhibit A, which has been approved by the Agency Board through the Resolution attached hereto as Exhibit B;

NOW, THEREFORE, BE IT RESOLVED by the City Council of La Vista, Nebraska that the proposed Agency's amended FY2018-2019 Budget is hereby approved.

Seconded by Councilmember Quick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

E. RESOLUTION – REQUEST FOR PROPOSALS – INFORMATION TECHNOLOGY STRATEGIC PLAN

Councilmember Hale introduced and moved for the adoption of Resolution No.18-166 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NERASKA, AUTHORIZING THE ISSUANCE OF A REQUEST FOR PROPOSALS FOR AN INFORMATION TECHNOLOGY STRATEGIC PLAN.

WHEREAS, the City Council of the City of La Vista has determined that an information technology strategic plan is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for professional services; and

WHEREAS, proposals will be due January 25, 2019 with the approval of selected firm by the City Council on April 2, 2019, subject to the discretion of the City;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the issuance of a Request for Proposals for an Information Technology Strategic Plan.

Seconded by Councilmember Frederick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

F. RESOLUTION – PURCHASE OF SECURE INTERNET GATEWAY

Councilmember Hale introduced and moved for the adoption of Resolution No.18-167 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF A SECURE INTERNET GATEWAY FROM CDW GOVERNMENT, CHICAGO, ILLINOIS, IN AN AMOUNT NOT TO EXCEED \$8,356.00.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of a secure internet gateway is necessary; and

WHEREAS, the FY 19/20 Biennial Budget provides funding for this purchase; and

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WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal code requires that the City Administrator secure council approval prior to authorizing any purchases over \$5,000;

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska authorizing the purchase of a Secure Internet Gateway from CDW Government, Chicago, Illinois, in an amount not to exceed \$8,356.00.

Seconded by Councilmember Frederick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

G. RESOLUTION – PURCHASE OF BODY WORN CAMERA SYSTEM

Councilmember Thomas introduced and moved for the adoption of Resolution No.18-168 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE PURCHASE OF BODY WORN CAMERA EQUIPMENT AND ACCESSORIES FROM WATCH GUARD, ALLEN, TEXAS, ONE (1) DELL POWEREDGE SERVER FROM DELL MARKETING L.P., CHICAGO, ILLINOIS, AND ONE (1) BUFFALO TERASTATION BACKUP SERVER FROM MNJ TECHNOLOGIES DIRECT INC., BUFFALO GROVE, ILLINOIS, IN AN AMOUNT NOT TO EXCEED \$53,000.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of necessary equipment to implement a body worn camera system in the Police Department is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed purchases; and

WHEREAS, Subsection (c) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of Body Worn Camera Equipment and accessories from Watch Guard, Allen, Texas, one (1) Dell PowerEdge Server from Dell Marketing L.P., Chicago, Illinois, and one (1) Buffalo TeraStation Backup Server from MNJ Technologies Direct Inc., Buffalo Grove, Illinois, in an amount not to exceed \$53,000.

Seconded by Councilmember Quick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

H. RESOLUTION – PURCHASE OF POLICE MOBILE RADIOS

Councilmember Thomas introduced and moved for the adoption of Resolution No.18-169 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AWARDING A CONTRACT TO MOTOROLA SOLUTIONS, CHICAGO, IL, FOR THE PURCHASE OF THREE (3) MOTOROLA APX 6500 MOBILE RADIOS AND ACCESSORIES, IN AN AMOUNT NOT TO EXCEED \$15,500.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of new Motorola mobile radios and accessories is necessary; and

WHEREAS, the FY19/20 Biennial Budget does include funds for the purchase of three (3) Motorola mobile radios and accessories; and

WHEREAS, Motorola Solutions is a sole source vendor and will extend that price to the City of La Vista; and

WHEREAS, Subsection (c) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

MINUTE RECORD

December 4, 2018

No. 728 — REEDFIELD & COMPANY, INC. OMAHA E1310556LD

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby accept the requisition and authorize the purchase of three (3) Motorola APX 6500 mobile radios and accessories from Motorola Solutions, Chicago, IL, in an amount not to exceed \$15,500.

Seconded by Councilmember Hale. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

I. RESOLUTION – PURCHASE OF POLICE PORTABLE RADIOS

Councilmember Hale introduced and moved for the adoption of Resolution No.18-170 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE PURCHASE OF TWO (2) MOTOROLA APX 6000 PORTABLE RADIOS AND ACCESSORIES FROM MOTOROLA SOLUTIONS, CHICAGO, IL, IN AN AMOUNT NOT TO EXCEED \$10,500.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of new Motorola portable radios and accessories is necessary; and

WHEREAS, the FY19/20 Biennial Budget does include funds for the purchase of two (2) Motorola portable radios and accessories; and

WHEREAS, Motorola Solutions is a sole source vendor and will extend that price to the City of La Vista; and

WHEREAS, Subsection (c) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any purchase over \$5,000.00;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of two (2) Motorola APX 6000 portable radios and accessories from Motorola Solutions, Chicago, IL, in an amount not to exceed \$10,500.

Seconded by Councilmember Sheehan. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

J. RESOLUTION – SURPLUS AND TRANSFER OWNERSHIP – 1972 WARD LA FRANCE FIRE TRUCK

Councilmember Quick introduced and moved for the adoption of Resolution No.18-171 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA TO DECLARE SURPLUS AND AUTHORIZE THE TRANSFER OF OWNERSHIP OF THE DONATED 1972 WARD LA FRANCE FIRE TRUCK.

WHEREAS, The Mayor and City Council have determined it necessary declare the donated 1972 Ward La France Fire Truck as surplus; and

WHEREAS, In May of 2017 Dr. Joel Janssen donated a 1972 Ward La France fire truck to the City of La Vista for display purposes; and

WHEREAS, Restoration and repair costs exceed the practical usefulness of the vehicle; and

WHEREAS, Chris McMahon, son of former La Vista Fire Chief Dennis McMahon and grandson of early La Vista builder Kelly McMahon, wants to acquire and restore the donated 1972 Ward La France Fire Truck to display in Salute to Summer activities and at other special city events.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska, to declare the donated 1972 Ward La France Fire Truck surplus and authorize transfer of ownership.

Seconded by Councilmember Thomas. Chris McMahon and Russ Zeeb commented in favor of the Resolution. Councilmembers voting aye: Frederick, Ronan, Sheehan,

MINUTE RECORD

December 4, 2018

No. 729 — REEDFIELD & COMPANY, INC. OMAHA E1910556LD

Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

K. RESOLUTION – PURCHASE OF PICKUP TRUCK

Councilmember Thomas introduced and moved for the adoption of Resolution No.18-172 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF ONE (1) 2018 CHEVROLET 1500 EXTENDED CAB 4X4 PICKUP TRUCK FROM HUSKER AUTO GROUP, LINCOLN, NEBRASKA IN AN AMOUNT NOT TO EXCEED \$27,799.00

WHEREAS, the City Council of the City of La Vista has determined that the purchase of one (1) pickup truck for the Community Development Department is necessary; and

WHEREAS, the FY 19/20 Biennial Budget provides funding for this purchase; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal code requires that the City Administrator secure council approval prior to authorizing any purchases over \$5,000;

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska authorizing the purchase of one (1) 2018 Chevrolet 1500 Extended Cab 4x4 pickup truck from Husker Auto Group, Lincoln, Nebraska in an amount not to exceed \$27,799.00.

Seconded by Councilmember Hale. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

L. RESOLUTION – PROCUREMENT & PURCHASE – PROFESSIONAL SERVICES

Councilmember Thomas introduced and moved for the adoption of Resolution No.18-173 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA AUTHORIZING THE PROCUREMENT AND PURCHASE OF PROFESSIONAL SERVICES IN AN AMOUNT NOT TO EXCEED \$5,000.

WHEREAS, the Mayor and City Council of the City of La Vista Nebraska have determined that it is in the best interest of La Vista to participate in the coalition in the appeals of two orders from the Federal Communications Commission regarding Small Cell Deployment; and

WHEREAS, the FY 19/20 Biennial Budget includes funding for the proposed procurement and purchase; and

WHEREAS, the coalition has engaged Best Best & Krieger, Washington DC to represent the coalition in the appeals of two orders; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any expenditure over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista, Nebraska, do hereby authorize the procurement and purchase of professional services in an amount not to exceed \$5,000.

Seconded by Councilmember Frederick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

COMMENTS FROM THE FLOOR

There were no comments from the floor.

MINUTE RECORD

December 4, 2018

No. 729 — REDFIELD & COMPANY, INC. OMAHA E1310556LD

COMMENTS FROM MAYOR AND COUNCIL

Councilmember Sheehan thanked Capt. Bryan Waugh for his work with the Mayor's Leadership Youth Council.

Councilmember Crawford thanked Werner and the Mayor's Leadership Youth Council for volunteering with the Tree Lighting.

Mayor Kindig reminded Council that the Sarpy Wastewater P3 Session with Ernst and Young/Husch Blackwell will be held December 12th.

At 8:25 p.m. Councilmember Crawford made a motion to adjourn the meeting. Seconded by Councilmember Thomas. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, and Hale. Nays: None. Abstain: None. Absent: Sell. Motion carried.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



CITY OF LA VISTA
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
P: (402) 331-4343

PLANNING COMMISSION MINUTES
NOVEMBER 15, 2018, 7:00 P.M.

The City of La Vista Planning Commission held a meeting on Thursday, November 15, 2018 in the Harold "Andy" Anderson Council Chamber at La Vista City Hall, 8116 Park View Boulevard. Chairman Tom Miller called the meeting to order at 7:00 p.m. with the following members present: Mike Krzywicki, Gayle Malmquist, Kevin Wetuski, Mike Circo, Tom Miller, Kathleen Alexander, John Gahan, and Harold Sargus. Members absent were: Jason Dale. Also in attendance were Ann Birch, Community Development Director; Meghan Engberg, Permit Technician; and John Kottmann, City Engineer.

Legal notice of the public meeting and hearing were posted, distributed and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public.

1. Call to Order

The meeting was called to order by Chairman Miller at 7:00 p.m. Copies of the agenda and staff reports were made available to the public.

2. Approval of Meeting Minutes – October 18, 2018

Circo moved, seconded by Malmquist, to approve the October 18th minutes. Ayes: Krzywicki, Wetuski, Sargus, Alexander, Miller, Circo and Malmquist. Nays: None. Abstain: Gahan. Absent: Dale. Motion Carried, (7-0-1)

3. Old Business

None.

4. New Business

A. Planned Unit Development (PUD) Development Amendment – Lot 1, Southport West Replat Five – HOA Restaurant Holder, LLC

- i. **Staff Report – Ann Birch:** Birch stated that the request is for a Planned Unit Development Site Plan amendment to allow for a freestanding, 5,633 square foot restaurant. The site is currently vacant and is located in Southport West between the Boot Barn and Mutual of Omaha Bank. The staff recommendation is for approval with some contingencies.
- ii. **Applicant Presentation:** Brian Nebel from CDS came up and spoke on behalf of the applicant. He said that he was available to answer any questions they may have.

Gahan brought up item 4.2 and the references made to Papillion Fire Department. He said that it's indicated that the proposal must comply with emergency responder radio coverage requirements and asked for an explanation of what that means.

Birch said that this is being reviewed by the Papillion Fire Department and there is another person doing plan review and they have noticed some more substantial comments lately from them. She said that this a regular requirement that they are just now noting, but it is something that is constructed within the building.

Kottmann added that for this size of building it's probably a nonissue, but with larger warehouse buildings, the fire department has had some problems in the past with their emergency radios being able to get reception and communicate with dispatchers, so in certain buildings they need to have repeaters so that their radios can make contact with dispatch. It is a requirement to check that provision, but in this size of building, he doesn't expect that it would be an issue, but it is part of their normal requirement.

iii. Public Hearing – Miller opened the Public Hearing

Miller closed the public hearing as no members of the public came forward.

iv. Recommendation: Sargus moved, seconded by Malmquist to recommend approval of the PUD Site Plan for a restaurant development contingent on satisfactory finalization and recording of a common area installation and maintenance agreement and the substantial completion of the design review process prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance. **Ayes:** *Krzywicki, Wetuski, Sargus, Miller, Circo, Gahan, Alexander and Malmquist.* **Nays:** *None.* **Abstain:** *None.* **Absent:** *Dale.* **Motion Carried. (8-0)**

B. Zoning Map Amendment – Lots 6-11 Chalco Valley Business Park – NEBCO, Inc.

- i. Staff Report – Ann Birch:** Birch stated the request is for rezoning from I-1 Light Industrial with a Floodplain Overlay District to I-2 Heavy Industrial. She directed the commission to look at the staff report under E: Requested Actions that it is incorrect. It says I-2 Light Industrial and it should actually be I-2 Heavy Industrial. Birch said that it is for Lots 6-11, Chalco Valley Business Park. Staff's recommendation is for approval of the rezoning.
- ii. Applicant Presentation:** Joe Flaxbeard came up and spoke on behalf of the applicant. He also mentioned that Doug Whitehead from NEBCO was there as well. He said that

this was just for a rezoning, but they were there to answer any questions the commission may have.

Circo asked if they had any possible businesses that are interested in going into the lots in the future.

Flaxbeard said that might be something that Whitehead may want to come up and talk about. He did mention that the lots were historically a part of Sarpy County and that the zoning it was under coincided more with the county's original jurisdiction.

Whitehead came up and said they had a potential tenant approach them about a possible development there and that's when they discovered that the previous zoning under Sarpy County conflicted with the current zoning in La Vista. They are still hoping to put together a project, but aren't sure if that's going to happen or not. It did however open their eyes to get their current zoning in line with what the development was laid out for.

iii. Public Hearing – Miller opened the Public Hearing

Miller closed the public hearing as no members of the public came forward.

iv. Recommendation: Krzywicki moved, seconded by Wetuski to recommend to city council approval of the amendment to the Zoning Map from I-1 Light Industrial with a Floodplain District Overlay to I-2 Heavy Industrial with a Floodplain District Overlay as depicted in the Zoning Map Amendment Exhibit, as the request is consistent with the Zoning Ordinance and the Comprehensive Plan. **Ayes: Krzywicki, Wetuski, Sargus, Miller, Circo, Gahan, Alexander and Malmquist. Nays: None. Abstain: None. Absent: Dale. Motion Carried. (8-0)**

5. Adoption of the 2019 City of La Vista Review Schedule

Engberg mentioned to the commission that updated copies were put on their desk prior to the meeting.

Birch said that there were changes made to sentence number one. It now states that a pre-application meeting is now required for virtually any application submitted.

Circo moved, seconded by Alexander for approval of the review schedule as presented. **Ayes: Krzywicki, Wetuski, Sargus, Miller, Circo, Gahan, Alexander and Malmquist. Nays: None. Abstain: None. Absent: Dale. Motion Carried. (8-0)**

6. Comments from the Floor

No members of the public were present.

7. Comments from Planning Commission

None

8. Comments from Staff

Birch mentioned that Solberg is out of town and that is why he was not at the meeting tonight.

9. Adjournment

Miller adjourned the meeting at 7:17 p.m.

Reviewed by Planning Commission:

Planning Commission Secretary

Planning Commission Chairperson

Approval Date

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	<u>Total All Funds</u>					% of Budget <u>Used</u>
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>		
<u>OPERATING REVENUES</u>						
General Fund	\$ 18,435,291	\$ 988,724	\$ 988,724	\$ (17,446,567)	5%	
Sewer Fund	4,528,909	265,448	265,448	(4,263,461)	6%	
Debt Service Fund	4,232,911	285,707	285,707	(3,947,204)	7%	
Capital Improvement Program Fund	811,366	-	-	(811,366)	0%	
Lottery Fund	1,206,691	91,468	91,468	(1,115,223)	8%	
Economic Development Fund	718	-	-	(718)	0%	
Off Street Parking Fund	464	-	-	(464)	0%	
Redevelopment Fund	3,164,298	196,428	196,428	(2,967,870)	6%	
Police Academy	80,055	-	-	(80,055)	0%	
TIF 1A	-	-	-	-	0%	
Sewer Reserve Fund	3,003	351	351	(2,652)	12%	
Qualified Sinking Fund	250	29	29	(221)	12%	
Total Operating Revenues	32,463,956	1,828,153	1,828,153	(30,635,803)	6%	

OPERATING EXPENDITURES

General Fund	18,155,822	1,077,677	1,077,677	(17,078,145)	6%
Sewer Fund	3,978,263	288,659	288,659	(3,689,604)	7%
Debt Service Fund	4,130,462	205,532	205,532	(3,924,930)	5%
Capital Improvement Program Fund	-	-	-	-	0%
Lottery Fund	760,175	31,879	31,879	(728,296)	4%
Economic Development Fund	134,559	-	-	(134,559)	0%
Off Street Parking Fund	1,137,642	1,709	1,709	(1,135,933)	0%
Redevelopment Fund	2,508,057	-	-	(2,508,057)	0%
Police Academy	95,104	6,127	6,127	(88,977)	6%
TIF 1A	-	-	-	-	0%
Sewer Reserve Fund	-	-	-	-	0%
Qualified Sinking Fund	-	-	-	-	0%
Total Operating Expenditures	30,900,084	1,611,584	1,611,584	(29,288,500)	5%

OPERATING REVENUES NET OF EXPENDITURES

General Fund	279,469	(88,953)	(88,953)	(368,422)
Sewer Fund	550,646	(23,211)	(23,211)	(573,857)
Debt Service Fund	102,449	80,174	80,174	(22,275)
Capital Improvement Program Fund	811,366	-	-	(811,366)
Lottery Fund	446,516	59,588	59,588	(386,928)
Economic Development Fund	(133,841)	-	-	133,841
Off Street Parking Fund	(1,137,178)	(1,709)	(1,709)	1,135,469
Redevelopment Fund	656,241	196,428	196,428	(459,813)
Police Academy	(15,049)	(6,127)	(6,127)	8,922
TIF 1A	-	-	-	-
Sewer Reserve Fund	3,003	351	351	(2,652)
Qualified Sinking Fund	250	29	29	(221)
Operating Revenues Net of Expenditures	1,563,872	216,570	216,570	(1,347,302)
				(0)

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Total All Funds				
	<u>Budget</u> (12 month)	<u>MTD</u> Actual	<u>YTD</u> Actual	Over(under) <u>Budget</u>	% of Budget <u>Used</u>
<u>OTHER FINANCING SOURCES & USES</u>					
<u>TRANSFERS IN</u>					
General Fund	96,902	72,652	72,652	(24,250)	75%
Sewer Fund	3,000	-	-	(3,000)	0%
Debt Service Fund	724,604	-	-	(724,604)	0%
Capital Improvement Program Fund	2,570,012	-	-	(2,570,012)	0%
Lottery Fund	-	-	-	-	-
Economic Development Fund	200,000	-	-	(200,000)	0%
Off Street Parking Fund	1,138,651	10,250	10,250	(1,128,401)	1%
Redevelopment Fund	-	-	-	-	-
Police Academy	20,000	20,000	20,000	-	100%
TIF 1A	-	-	-	-	-
Sewer Reserve Fund	1,201,125	1,201,125	1,201,125	-	100%
Qualified Sinking Fund	100,000	100,000	100,000	-	100%
Total Transfers In	6,054,294	1,404,027	1,404,027	(4,650,267)	23%

TRANSFERS OUT

General Fund	(772,604)	(30,250)	(30,250)	742,354	4%
Sewer Fund	(1,201,125)	(1,201,125)	(1,201,125)	-	100%
Debt Service Fund	(3,179,106)	-	-	3,179,106	0%
Capital Improvement Program Fund	(90,000)	-	-	90,000	0%
Lottery Fund	(395,902)	(172,652)	(172,652)	223,250	44%
Economic Development Fund	-	-	-	-	-
Off Street Parking Fund	-	-	-	-	-
Redevelopment Fund	(415,557)	-	-	415,557	0%
Police Academy	-	-	-	-	-
TIF 1A	-	-	-	-	-
Sewer Reserve Fund	-	-	-	-	-
Qualified Sinking Fund	-	-	-	-	-
Total Transfers Out	(6,054,294)	(1,404,027)	(1,404,027)	4,650,267	23%

NET TRANSFERS

General Fund	(675,702)	42,402	42,402	718,104	
Sewer Fund	(1,198,125)	(1,201,125)	(1,201,125)	(3,000)	100%
Debt Service Fund	(2,454,502)	-	-	2,454,502	0%
Capital Improvement Program Fund	2,480,012	-	-	(2,480,012)	0%
Lottery Fund	(395,902)	(172,652)	(172,652)	223,250	44%
Economic Development Fund	200,000	-	-	(200,000)	0%
Off Street Parking Fund	1,138,651	10,250	10,250	(1,128,401)	1%
Redevelopment Fund	(415,557)	-	-	415,557	0%
Police Academy	20,000	20,000	20,000	-	100%
TIF 1A	-	-	-	-	-
Sewer Reserve Fund	1,201,125	1,201,125	1,201,125	-	100%
Qualified Sinking Fund	100,000	100,000	100,000	-	100%
Total Transfers Out	-	-	-	0	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Total All Funds				
	Budget (12 month)	MTD Actual	YTD Actual	Over(under) Budget	% of Budget Used
OTHER REVENUE: BOND PROCEEDS					
Sewer Fund					
Capital Improvement Program Fund	10,270,000	-	-	(10,270,000)	0%
Economic Development Fund	3,000,000	-	-	(3,000,000)	0%
Off Street Parking Fund	2,503,611	-	-	(2,503,611)	0%
Redevelopment Fund	17,130,000	-	-	(17,130,000)	0%
Total Bond Proceeds	32,903,611	-	-	(32,903,611)	0%
OTHER EXPENDITURES: CAPITAL IMPROVEMENT PROGRAM					
Sewer Fund	125,000	-	-	(125,000)	0%
Capital Improvement Program Fund	8,982,012	-	-	(8,982,012)	0%
Off Street Parking Fund	6,852,315	190,532	190,532	(6,661,783)	3%
Redevelopment Fund	10,780,187	522,015	522,015	(10,258,172)	5%
Total Capital Improvement Program	26,739,514	712,547	712,547	(26,026,967)	3%
OTHER EXPENDITURES: EDP GRANT					
Economic Development Fund	3,000,000	-	-	(3,000,000)	0%
NET FUND ACTIVITY					
General Fund	(396,233)	(46,551)	(46,551)	349,682	
Sewer Fund	(772,479)	-	(1,224,336)	(451,857)	
Debt Service Fund	(2,352,053)	80,174	80,174	2,432,227	
Capital Improvement Program Fund	4,579,366	-	-	(4,579,366)	
Lottery Fund	50,614	(113,063)	(113,063)	(163,677)	
Economic Development Fund	66,159	-	-	(66,159)	
Off Street Parking Fund	(4,347,231)	(181,991)	(181,991)	4,165,240	
Redevelopment Fund	6,590,497	(325,587)	(325,587)	(6,916,084)	
Police Academy	4,951	13,873	13,873	8,922	
TIF 1A	-	-	-	-	
Sewer Reserve Fund	1,204,128	1,201,476	1,201,476	(2,652)	
Qualified Sinking Fund	100,250	100,029	100,029	(221)	
Net Activity	\$ 4,727,969	(495,977)	(495,978)	(5,223,947)	
FUND BALANCE					
	As of FYE 9/30/19		As of 10/31/18		
General Fund	6,050,646		7,030,915	980,269	
Sewer Fund	825,173		(171,994)	(997,167)	
Debt Service Fund	2,577,299		5,885,380	3,308,081	
Capital Improvement Program Fund	4,568,738		(881,979)	(5,450,717)	
Lottery Fund	3,387,235		2,734,192	(653,043)	
Economic Development Fund	178,182		309,425	131,243	
Off Street Parking Fund	619,369		(185,149)	(804,518)	
Redevelopment Fund	16,539,092		8,713,310	(7,825,782)	
Police Academy	13,554		13,873	319	
TIF 1A	0		-	-	
Sewer Reserve Fund	1,204,128		1,201,476	(2,652)	
Qualified Sinking Fund	100,250		100,029	(221)	
Net Fund Balance	36,063,666	-	24,749,477	(11,314,189)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	General Fund				
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(<u>under</u>) <u>Budget</u>	% of Budget <u>Used</u>
<u>REVENUES</u>					
Property Taxes	\$ 8,102,903	\$ 185,723	\$ 185,723	\$ (7,917,180)	2%
Sales and use taxes	5,196,961	378,421	378,421	(4,818,540)	7%
Payments in Lieu of taxes	281,875	-	-	(281,875)	0%
State revenue	1,868,498	176,927	176,927	(1,691,571)	9%
Occupation and franchise taxes	882,000	77,677	77,677	(804,323)	9%
Hotel Occupation Tax	1,007,475	85,312	85,312	(922,163)	8%
Licenses and permits	460,250	15,509	15,509	(444,741)	3%
Interest income	30,992	5,000	5,000	(25,992)	16%
Recreation fees	170,710	21,403	21,403	(149,307)	13%
Special Services	19,500	2,893	2,893	(16,607)	15%
Grant Income	163,185	33,355	33,355	(129,830)	20%
Other	250,942	6,504	6,504	(244,438)	3%
Total Revenues	18,435,291	988,724	988,724	(17,446,567)	5%
<u>EXPENDITURES</u>					
Administrative Services	529,503	36,239	36,239	(493,264)	7%
Mayor and Council	242,643	25,347	25,347	(217,296)	10%
Boards & Commissions	10,338	48	48	(10,290)	0%
Public Buildings & Grounds	670,385	20,845	20,845	(649,540)	3%
Finance	463,027	22,045	22,045	(440,982)	5%
Administration	768,999	48,517	48,517	(720,482)	6%
Police and Animal Control	5,103,734	359,299	359,299	(4,744,435)	7%
Fire	1,975,871	161,093	161,093	(1,814,778)	8%
Community Development	691,268	38,555	38,555	(652,713)	6%
Public Works	3,826,276	197,964	197,964	(3,628,312)	5%
Recreation	866,314	43,261	43,261	(823,053)	5%
Library	880,477	42,917	42,917	(837,560)	5%
Information Technology	268,300	21,976	21,976	(246,324)	8%
Human Resources	1,010,268	38,955	38,955	(971,313)	4%
Public Transportation	106,272	5,346	5,346	(100,926)	5%
Capital outlay	742,147	15,272	15,272	(726,875)	2%
Total Expenditures	18,155,822	1,077,677	1,077,677	(17,078,145)	6%
REVENUES NET OF EXPENDITURES	279,469	(88,953)	(88,953)	(368,422)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (Lottery)	96,902	72,652	72,652	(24,250)	75%
Operating transfers out (DSF, OSP, CIP)	(772,604)	(30,250)	(30,250)	742,354	4%
Total other Financing Sources (Uses)	(675,702)	42,402	42,402	718,104	-6%
NET FUND ACTIVITY	\$ (396,233)	\$ (46,551)	\$ (46,551)	\$ 349,682	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-PROPRIETARY FUNDS
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Sewer Fund				
	<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>(Under) Budget</u>	<u>% of Budget Used</u>
<u>REVENUES</u>					
User fees	\$ 4,352,612	\$ 257,304	\$ 257,304	\$ (4,095,308)	6%
Service charge and hook-up fees	170,173	7,818	7,818	(162,355)	5%
Grant Income	-	-	-	-	0%
Miscellaneous (MUD old SID refunds)	115	17	17	(98)	15%
Total Revenues	4,522,900	265,140	265,140	(4,257,760)	6%
<u>EXPENDITURES</u>					
General & Administrative	-	-	-	-	0%
Maintenance	3,552,355	282,503	282,503	(3,269,852)	8%
Storm Water Grant	54,000	3,080	3,080	(50,920)	6%
Capital Outlay	371,908	3,076	3,076	(368,832)	1%
Total Expenditures	3,978,263	288,659	288,659	(3,689,604)	7%
OPERATING INCOME (LOSS)	544,637	(23,519)	(23,519)	(568,156)	
<u>NON-OPERATING REVENUE (EXPENSE)</u>					
Interest income	6,009	308	308	(5,701)	5%
	<u>6,009</u>	<u>308</u>	<u>308</u>	<u>(5,701)</u>	<u>5%</u>
<u>INCOME (LOSS) BEFORE OPERATING TRANSFERS</u>	550,646	(23,211)	(23,211)	(573,857)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (Lottery Events)	3,000	-	-	(3,000)	0%
Operating transfers out (CIP)	(1,201,125)	(1,201,125)	(1,201,125)	-	100%
Bond/registered warrant proceeds	-	-	-	-	0%
Capital Improvement	(125,000)	-	-	125,000	0%
Total other Financing Sources (Uses)	(1,323,125)	(1,201,125)	(1,201,125)	122,000	91%
NET INCOME (LOSS)	\$ (772,479)	\$ (1,224,336)	\$ (1,224,336)	\$ (451,857)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Debt Service Fund					
	<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Over(under) Budget</u>	<u>% of Budget Used</u>	
<u>REVENUES</u>						
Property Taxes	\$ 940,376	\$ 50,299	\$ 50,299	\$ (890,077)	5%	
Sales and use taxes	2,598,480	189,211	189,211	(2,409,269)	7%	
Payments in Lieu of taxes	91,225	-	-	(91,225)	0%	
Interest income	18,586	3,760	3,760	(14,826)	20%	
Other (Special Assessments; Fire Reimbursmnt)	584,244	42,437	42,437	(541,807)	7%	
Total Revenues	4,232,911	285,707	285,707	(3,947,204)	7%	
<u>EXPENDITURES</u>						
Administration	162,869	822	822	(162,047)	1%	
Fire Contract Bond	122,513	10,209	10,209	(112,304)	8%	
Debt service						
Principal	3,180,000	155,000	155,000	(3,025,000)	5%	
Interest	665,080	39,502	39,502	(625,578)	6%	
Total Expenditures	4,130,462	205,532	205,532	(3,924,930)	5%	
REVENUES NET OF EXPENDITURES	102,449	80,174	80,174	(22,275)		
<u>OTHER FINANCING SOURCES (USES)</u>						
Operating transfers in (GF Hwy Alloc)	724,604	-	-	(724,604)	0%	
Operating transfers out (CIP)	(3,179,106)	-	-	3,179,106	0%	
Total other Financing Sources (Uses)	(2,454,502)	-	-	2,454,502		
NET FUND ACTIVITY	\$ (2,352,053)	\$ 80,174	\$ 80,174	\$ 2,432,227		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Capital Fund					
	<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Over(under) Budget</u>		<u>% of Budget Used</u>
<u>REVENUES</u>						
Interest income	\$ 11,366	\$ -	\$ -	\$ (11,366)		0%
Grant Income	-	-	-	-		0%
Special Assessment	800,000	-	-	(800,000)		0%
Interagency	-	-	-	-		0%
Total Revenues	811,366	-	-	(811,366)		0%
<u>EXPENDITURES</u>						
Other	-	-	-	-		0%
Total Expenditures	-	-	-	-		0%
REVENUES NET OF EXPENDITURES	811,366	-	-	(811,366)		
<u>OTHER FINANCING SOURCES (USES)</u>						
Operating transfers in (GF, DSF)	2,570,012	-	-	(2,570,012)		0%
Operating transfers out (DSF)	(90,000)	-	-	90,000		0%
Bond/registered warrant proceeds	10,270,000	-	-	(10,270,000)		0%
Capital outlay	(8,982,012)	-	-	8,982,012		0%
Total other Financing Sources (Uses)	3,768,000	-	-	(3,768,000)		0%
NET FUND ACTIVITY	\$ 4,579,366	\$ -	\$ -	\$ (4,579,366)		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

Lottery Fund						
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>	
REVENUES						
Lottery Rev/Community Betterment	\$ 850,000	\$ 63,284	\$ 63,284	\$ (786,716)	7%	
Lottery Tax Form 51	340,000	25,198	25,198	(314,802)	7%	
Event Revenue	-	-	-	-	0%	
Interest income	16,691	2,985	2,985	(13,706)	18%	
Miscellaneous / Other	-	-	-	-	0%	
Total Revenues	1,206,691	91,468	91,468	(1,115,223)	8%	
EXPENDITURES						
Professional Services	285,813	2,017	2,017	(283,796)	1%	
Salute to Summer	32,634	-	-	(32,634)	0%	
Community Events	11,832	1,682	1,682	(10,150)	14%	
Events - Marketing	31,668	899	899	(30,769)	3%	
Recreation Events	4,507	28	28	(4,479)	1%	
Concert & Movie Nights	13,721	2,056	2,056	(11,665)	15%	
City Anniversary Celebration	30,000	-	-	(30,000)	0%	
Travel & Training	-	-	-	-	0%	
State Taxes	350,000	25,198	25,198	(324,802)	7%	
Other	-	-	-	-	0%	
Capital outlay	-	-	-	-	0%	
Total Expenditures	760,175	31,879	31,879	(728,296)	4%	
REVENUES NET OF EXPENDITURES	446,516	59,588	59,588	(386,928)		
OTHER FINANCING SOURCES (USES)						
Operating transfers in	-	-	-	-	-	
Operating transfers out (GF, SF, DSF)	(395,902)	(172,652)	(172,652)	223,250	44%	
Total other Financing Sources (Uses)	(395,902)	(172,652)	(172,652)	223,250	44%	
NET FUND ACTIVITY	\$ 50,614	\$ (113,063)	\$ (113,063)	\$ (163,677)		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Economic Development				
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of Budget <u>Used</u>
<u>REVENUES</u>					
Other Income	\$				
Interest income		718	-	-	(718)
Total Revenues	718	-	-	(718)	-
<u>EXPENDITURES</u>					
Professional Services	75,000	-	-	(75,000)	0%
Debt service: (Warrants)			-	-	0%
Principal		-	-	-	0%
Interest	59,559	-	-	(59,559)	0%
Total Expenditures	134,559	-	-	(134,559)	0%
REVENUES NET OF EXPENDITURES	(133,841)	-	-	133,841	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF, DSF)	200,000	-	-	(200,000)	0%
Operating transfers out	-	-	-	-	0%
Bond/registered warrant proceeds	3,000,000			(3,000,000)	0%
Community Development - Grant	(3,000,000)	-	-	3,000,000	0%
Total other Financing Sources (Uses)	200,000	-	-	(200,000)	0%
NET FUND ACTIVITY	\$ 66,159	\$ -	\$ -	\$ (66,159)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

Off Street Parking					
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over/(under) <u>Budget</u>	% of Budget <u>Used</u>
<u>REVENUES</u>					
Interest income	\$ 464	-	-	(464)	0%
Total Revenues	464	-	-	(464)	0%
<u>EXPENDITURES</u>					
General & Administrative	20,518	1,669	1,669	(18,849)	8%
Professional Services	163,150	-	-	(163,150)	0%
Maintenance	34,073	39	39	(34,034)	0%
Debt service: (Warrants)					
Principal	670,000	-	-	(670,000)	0%
Interest	249,901	-	-	(249,901)	0%
Total Expenditures	1,137,642	1,709	1,709	(1,135,933)	0%
REVENUES NET OF EXPENDITURES	(1,137,178)	(1,709)	(1,709)	1,135,469	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF, DSF, RDF)	1,138,651	10,250	10,250	(1,128,401)	1%
Operating transfers out		-	-		0%
Bond/registered warrant proceeds	2,503,611	-	-	(2,503,611)	0%
Capital Improvement	(6,852,315)	(190,532)	(190,532)	6,661,783	3%
Total other Financing Sources (Uses)	(3,210,053)	(180,282)	(180,282)	3,029,771	6%
NET FUND ACTIVITY	\$ (4,347,231)	\$ (181,991)	\$ (181,991)	\$ 4,165,240	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

Redevelopment Fund					
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of Budget <u>Used</u>
<u>REVENUES</u>					
Sales and use taxes	\$ 2,598,480	189,211	189,211	(2,409,269)	7%
Franchise Fee & Occupation Tax	500,000	-	-	(500,000)	0%
Interest income	65,818	7,217	7,217	(58,601)	11%
Total Revenues	3,164,298	196,428	196,428	(2,967,870)	6%
<u>EXPENDITURES</u>					
Community Development	-	-	-	-	0%
Professional Services	556,639	-	-	(556,639)	0%
Financial / Legal Fees	175,500	-	-	(175,500)	0%
Debt service: (Warrants)					
Principal	775,000	-	-	(775,000)	0%
Interest	1,000,918	-	-	(1,000,918)	0%
Total Expenditures	2,508,057	-	-	(2,508,057)	-
REVENUES NET OF EXPENDITURES	656,241	196,428	196,428	(459,813)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	-	-	-	-	0%
Operating transfers out (OSP)	(415,557)	-	-	415,557	0%
Bond/registered warrant proceeds	17,130,000	-	-	(17,130,000)	0%
Capital Improvement	(10,780,187)	(522,015)	(522,015)	10,258,172	5%
Total other Financing Sources (Uses)	5,934,256	(522,015)	(522,015)	(6,456,271)	
NET FUND ACTIVITY	\$ 6,590,497	\$ (325,587)	\$ (325,587)	\$ (6,916,084)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

Police Academy Fund					
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of budget <u>Used</u>
<u>REVENUES</u>					
Other Income	\$ 80,000	-	-	(80,000)	0%
Interest income	55	-	-	(55)	0%
Total Revenues	80,055	-	-	(80,055)	0%
<u>EXPENDITURES</u>					
Personnel Services	76,404	5,755	5,755	(70,649)	8%
Commodities	3,500	6	6	(3,494)	0%
Contract Services	11,700	280	280	(11,420)	2%
Other Charges	3,500	86	86	(3,414)	2%
Total Expenditures	95,104	6,127	6,127	(88,977)	6%
REVENUES NET OF EXPENDITURES	(15,049)	(6,127)	(6,127)	8,922	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in (GF)	20,000	20,000	20,000	-	100%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	20,000	20,000	20,000	-	-
NET FUND ACTIVITY	\$ 4,951	\$ 13,873	\$ 13,873	\$ 8,922	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

TIF 1A					
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of Budget <u>Used</u>
REVENUES					
Property Tax	\$			-	0%
Interest income				-	0%
Total Revenues	-	-	-	-	0%
EXPENDITURES					
Other				-	0%
Total Expenditures	-	-	-	-	-
REVENUES NET OF EXPENDITURES	-	-	-	-	-
OTHER FINANCING SOURCES (USES)					
Operating transfers in				-	0%
Operating transfers out				-	0%
Total other Financing Sources (Uses)	-	-	-	-	-
NET FUND ACTIVITY	\$ -	\$ -	\$ -	\$ -	\$ -

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

Sewer Reserve Fund					
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of Budget</u> <u>Used</u>
<u>REVENUES</u>					
Interest income	\$ 3,003	351	351	(2,652)	12%
Total Revenues	\$ 3,003	351	351	(2,652)	12%
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Total Expenditures	-	-	-	-	-
REVENUES NET OF EXPENDITURES	3,003	351	351	(2,652)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	1,201,125	1,201,125	1,201,125	-	100%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	1,201,125	1,201,125	1,201,125	-	
NET FUND ACTIVITY	\$ 1,204,128	\$ 1,201,476	\$ 1,201,476	\$ (2,652)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2018
8% of the Fiscal Year 2019

	Qualified Sinking Fund				
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of Budget <u>Used</u>
<u>REVENUES</u>					
Interest income	\$ 250	29	29	(221)	12%
Total Revenues	250	29	29	(221)	12%
<u>EXPENDITURES</u>					
Other	-	-	-	-	0%
Total Expenditures	-	-	-	-	-
REVENUES NET OF EXPENDITURES	250	29	29	(221)	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	100,000	100,000	100,000	-	100%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	100,000	100,000	100,000	-	-
NET FUND ACTIVITY	\$ 100,250	\$ 100,029	\$ 100,029	\$ (221)	

EJCDC
ENGINEERS JOINT CONTRACT
DOCUMENTS COMMITTEE

Contractor's Application for Payment No. 7	
Application Period:	10/31/18-11/27/18
From (Contractor):	Graham Construction, Inc.
To (Owner):	La Vista Community Development Agency
Project:	City of La Vista 84th St. Redevelopment Area
Owner's Contract No.:	City Centre Infrastructure
Owner's Contract No.:	CD-17-008
Contact:	Rob Wells
Contractor's Project No.:	N17045
Engineer's Project No.:	B16-0546

Application For Payment
Change Order Summary

Approved Change Orders		
Number	Additions	Deductions
1		\$159,278.10
2	\$115,225.88	
3	\$240,830.90	
TOTALS	\$356,076.78	\$159,278.10
NET CHANGE BY CHANGE ORDERS		\$196,798.68

Contractor's Certification

The undersigned Contractor certifies, to the best of its knowledge, the following:

- (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment.
- (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interest, or encumbrances) and
- (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor's Signature

By: *Rob Wells*

Date:

*O. K. to pay
Bank for
City of La Vista
12-5-2018
05.71.0909.003*

Payment of \$ *364,653.86* *Line 8 or other - attach explanation of the other amount*
is approved by: *Anthony Egloff* *12/04/18*
Engineer *(Date)*

Progress Estimate - Lump Sum Work

Contractor's Application

Progress Estimate - Unit Price Work

Contractor's Application

For (Contract): Rob Wells

Application Period: 10/31/18-11/27/18

Application Number: 7

Application Date: 11/27/2018

A		Contract Information				B	C	D	E	F	
Bid Item No.	Description	Item Quantity	Units	Unit Price	Total Value of Item (\$)	Estimated Quantity Installed	Value of Work Installed to Date	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D+E)	% (F/B)	Balance to Finish (B-F)
002	Remove pavement	4,373.00	SY	\$10.30	\$45,641.90	1554 ✓	\$16,006.20		\$16,006.20	35.5%	\$29,035.70
003	Remove sidewalk	582.00	SF	\$6.90	\$4,015.80	455	\$3,139.50		\$3,139.50	78.2%	\$876.30
004	Remove median surfacing	1,136.00	SF	\$10.30	\$11,700.80						\$11,700.80
005	Remove <12" sewer pipe	526.00	LF	\$14.70	\$7,732.20	237	\$3,483.90		\$3,483.90	45.1%	\$4,248.30
006	Remove 15-18" sewer pipe	311.00	LF	\$14.70	\$4,571.70	29	\$426.30		\$426.30	9.3%	\$4,145.40
007	Remove 48" sewer pipe	418.00	LF	\$16.70	\$6,980.60						\$6,980.60
008	Remove 54" sewer pipe	53.00	LF	\$24.50	\$1,298.50	53 ✓	\$1,298.50		\$1,298.50	100.0%	
009	Remove manhole	3.00	EA	\$685.00	\$2,055.00						\$2,055.00
010	Remove flared end 36-48"	1.00	EA	\$294.00	\$294.00	1 ✓	\$294.00		\$294.00	100.0%	
011	Remove flared end 48-60"	1.00	EA	\$294.00	\$294.00	1 ✓	\$294.00		\$294.00	100.0%	
012	Remove light pole	2.00	EA	\$975.00	\$1,950.00						\$1,950.00
013	Remove area inlet	1.00	EA	\$735.00	\$735.00	1 ✓	\$735.00		\$735.00	100.0%	
014	Remove curb inlet	3.00	EA	\$490.00	\$1,470.00	1 ✓	\$490.00		\$490.00	33.3%	\$980.00
015	Remove sign	2.00	EA	\$98.00	\$196.00	2 ✓	\$196.00		\$196.00	100.0%	
016	Remove fence	856.00	LF	\$3.90	\$3,338.40	856	\$3,338.40		\$3,338.40	100.0%	
017	Remove retaining wall	2,883.00	SF	\$3.90	\$11,243.70	2883	\$11,243.70		\$11,243.70	100.0%	
018	Saw cut full depth	317.00	LF	\$4.50	\$1,426.50	50	\$225.00		\$225.00	15.8%	\$1,201.50
019	Excavation on site	19,263.00	CY	\$6.75	\$130,025.25	19263	\$130,025.25		\$130,025.25	100.0%	
020	Unsuitable material	500.00	CY	\$30.00	\$15,000.00						\$15,000.00
021	Security fence	1,300.00	LF	\$13.00	\$16,900.00	1300	\$16,900.00		\$16,900.00	100.0%	
022	Temp contractor access road	2,914.00	SY	\$9.00	\$26,226.00	3455	\$31,095.00		\$31,095.00	118.6%	\$4,859.00
023	Temp 8" surfacing	912.00	SY	\$50.00	\$45,600.00	488 ✓	\$24,400.00		\$24,400.00	53.5%	\$21,200.00
024	Reconstruct manhole to grade	15.90	YF	\$590.00	\$9,381.00	15.9 ✓	\$9,381.00		\$9,381.00	100.0%	
025	Adjust Manhole to grade	0	EA	\$490.00	0						
026	Adjust inlet to grade	0	EA	\$735.00	0						
027	6" concrete pavement L65	4,782.00	SY	\$64.00	\$306,048.00	1986 ✓	\$127,104.00		\$127,104.00	41.5%	\$178,944.00
028	8" concrete pavement L65	9,279.00	SY	\$57.00	\$528,903.00	6990 ✓	\$398,430.00		\$398,430.00	75.3%	\$130,473.00
028A *	8" concrete pavement L65	204.00	SY	\$48.45	\$9,883.80	204 ✓	\$9,883.80		\$9,883.80	100.0%	
029	8" combo curb & gutter	286.00	LF	\$14.75	\$4,218.50	155 ✓	\$2,286.25		\$2,286.25	54.2%	\$1,932.25
030	8" imprinted concrete surfacing	3,249.00	SF	\$17.75	\$57,569.75	1609 ✓	\$28,559.75		\$28,559.75	49.5%	\$29,110.00
031	4" PCC sidewalk	4,225.00	SF	\$4.00	\$16,900.00	425	\$1,700.00		\$1,700.00	10.1%	\$15,200.00
032	6" concrete median surfacing	317.00	SF	\$5.00	\$1,585.00						\$1,585.00
033	Concrete curb ramp	255.00	SF	\$10.75	\$2,741.25	70	\$752.50		\$752.50	27.5%	\$1,988.75
034	Armor-tile warning panels	53.00	SF	\$31.50	\$1,669.50	16	\$504.00		\$504.00	30.2%	\$1,165.50
035	Gravity block retaining wall	996.00	SF	\$70.00	\$69,720.00	996	\$69,720.00		\$69,720.00	100.0%	
036	Alternate #1 Gravity block retaining wall	3,530.00	SF	\$75.00	\$264,750.00	3530	\$264,750.00		\$264,750.00	100.0%	
037	Small block retaining wall	382.00	SF	\$24.00	\$9,168.00						\$9,168.00
038	Pipe railing	539.00	LF	\$50.00	\$26,950.00	539	\$26,950.00		\$26,950.00	100.0%	
038A	Construct 48" Black Vinyl Chain Link Fence	418.00	LF	\$20.00	\$8,360.00						\$8,360.00
039	Construct Curb Wall	503.00	SF	\$40.00	\$20,120.00						\$20,120.00
040	Agg bedding 10" storm sewer pipe	49.00	LF	\$6.00	\$294.00	49	\$294.00		\$294.00	100.0%	
041	Agg bedding 12" storm sewer pipe	38.00	LF	\$6.25	\$237.50	38	\$237.50		\$237.50	100.0%	

Progress Estimate - Unit Price Work

Contractor's Application

For (Contract): Rob Wells

Application Period: 10/31/18-11/27/18

Application Number: 7

Application Date: 11/27/2018

A		B				C		D		E		F			
Item		Contract Information				Estimated Quantity Installed		Value of Work Installed to Date		Total Completed and Stored to Date (D + E)		% (F / B)		Balance to Finish (B - F)	
Bid Item No.	Description	Item Quantity	Unit	Unit Price	Total Value of Item (\$)										
042	Agg bedding 15" storm sewer pipe	382.00	LF	\$7.00	\$2,674.00	349	\$2,443.00			\$2,443.00		91.4%		\$231.00	
043	Agg bedding 18" storm sewer pipe	473.00	LF	\$8.00	\$3,784.00	458	\$3,664.00			\$3,664.00		96.8%		\$120.00	
044	Agg bedding 24" storm sewer pipe	848.00	LF	\$9.50	\$8,056.00	547	\$5,196.50			\$5,196.50		64.5%		\$2,859.50	
045	Agg bedding 30" storm sewer pipe	1,518.00	LF	\$14.75	\$22,390.50	1470	\$21,682.50			\$21,682.50		96.8%		\$708.00	
046	Agg bedding 36" storm sewer pipe	956.00	LF	\$17.50	\$16,730.00	871	\$15,242.50			\$15,242.50		91.1%		\$1,487.50	
047	Agg bedding 42" storm sewer pipe	913.00	LF	\$20.00	\$18,260.00	913	\$18,260.00			\$18,260.00		100.0%			
048	Agg bedding 54" storm sewer pipe	484.00	LF	\$25.20	\$12,196.80	484	\$12,196.80			\$12,196.80		100.0%			
049	8" HDPE storm sewer pipe	24.00	LF	\$49.00	\$1,156.00	24	\$1,176.00			\$1,176.00		100.0%			
050	10" HDPE storm sewer pipe	46.00	LF	\$42.00	\$1,922.00	46	\$1,932.00			\$1,932.00		100.0%			
051	12" HDPE storm sewer pipe	38.00	LF	\$49.00	\$1,862.00	38	\$1,862.00			\$1,862.00		100.0%			
052	15" HDPE storm sewer pipe	60.00	LF	\$54.50	\$3,270.00	60	\$3,270.00			\$3,270.00		100.0%			
053	18" HDPE storm sewer pipe	25.00	LF	\$64.00	\$1,600.00	10	\$640.00			\$640.00		40.0%		\$960.00	
054	24" HDPE storm sewer pipe	38.00	LF	\$67.00	\$2,546.00	33	\$2,211.00			\$2,211.00		86.8%		\$335.00	
055	15" RCP class III	322.00	LF	\$50.00	\$16,100.00	289	\$14,450.00			\$14,450.00		89.8%		\$1,650.00	
056	18" RCP class III	448.00	LF	\$60.00	\$26,880.00	448	\$26,380.00			\$26,380.00		100.0%			
057	24" RCP class III	810.00	LF	\$62.00	\$50,220.00	514	\$31,868.00			\$31,868.00		63.5%		\$18,352.00	
058	30" RCP class III	1,518.00	LF	\$74.00	\$112,332.00	1470	\$108,780.00			\$108,780.00		96.8%		\$3,532.00	
059	36" RCP D(0.01)=1350	956.00	LF	\$105.00	\$100,380.00	871	\$91,455.00			\$91,455.00		91.1%		\$8,925.00	
060	36" RCP D(0.01)=1350 or HDPE	157.00	LF	\$105.00	\$16,485.00									\$16,485.00	
061	42" RCP D(0.01)=1350	913.00	LF	\$130.00	\$118,590.00	913	\$118,690.00			\$118,690.00		100.0%			
062	54" RCP D(0.01)=1350 or HDPE	484.00	LF	\$165.00	\$79,860.00	484	\$79,360.00			\$79,360.00		100.0%			
063	36" concrete collar	1.00	EA	\$2,050.00	\$2,050.00	1	\$2,050.00			\$2,050.00		100.0%			
064	54" ID storm manhole	24.30	VF	\$750.00	\$18,225.00	15.6	\$11,700.00			\$11,700.00		64.2%		\$6,525.00	
065	60" ID storm manhole	44.50	VF	\$770.00	\$34,265.00	44.5	\$34,265.00			\$34,265.00		100.0%			
066	72" ID storm manhole	32.20	VF	\$860.00	\$25,760.00	32.2	\$25,760.00			\$25,760.00		100.0%			
067	84" ID storm manhole	87.00	VF	\$1,105.00	\$36,135.00	78.8	\$37,074.00			\$37,074.00		90.6%		\$9,061.00	
068	96" ID storm manhole	145.90	VF	\$1,185.00	\$172,391.50	137.9	\$163,411.50			\$163,411.50		94.5%		\$9,480.00	
069	Type C manhole NDOR 435-R1	1.00	EA	\$20,450.00	\$20,450.00	1	\$20,450.00			\$20,450.00		100.0%			
071	30" RC flared end		EA	\$2,400.00											
072	36" RC flared end	1.00	EA	\$2,700.00	\$2,700.00	1	\$2,700.00			\$2,700.00		100.0%			
073	42" RC flared end	1.00	EA	\$3,000.00	\$3,000.00	1	\$3,000.00			\$3,000.00		100.0%			
074	Reinforced curb inlet type III	2.00	EA	\$5,650.00	\$11,300.00	2	—			\$11,300.00		100.0%			
075	Curb inlet type I	3.00	EA	\$2,900.00	\$8,700.00	2	\$8,800.00			\$8,800.00		66.7%		\$2,900.00	
076	Curb inlet type III	2.00	EA	\$3,750.00	\$7,500.00	1	\$3,750.00			\$3,750.00		50.0%		\$3,750.00	
077	Curb inlet type IV	4.00	EA	\$2,825.00	\$11,300.00	2	—			\$5,650.00		50.0%		\$5,650.00	
078	Grated inlet type saddle creek	11.00	EA	\$6,500.00	\$71,500.00	10	—			\$65,000.00		90.9%		\$6,500.00	
079	Install Filterra Inlet	0	EA	\$20,100.00	0										
080	Agg bedding 6" sani sewer pipe	644.00	LF	\$7.00	\$4,508.00	569	\$3,983.00			\$3,983.00		88.4%		\$525.00	
081	Agg bedding 8" sani sewer pipe	1,531.00	LF	\$7.00	\$10,717.00	1912	\$13,384.00			\$13,384.00		124.9%		-\$2,667.00	
082	Agg bedding 10" sani sewer pipe	533.00	LF	\$8.50	\$4,550.50	229	\$1,946.50			\$1,946.50		43.0%		\$2,584.00	
083	6" PVC sani sewer pipe	619.00	LF	\$33.00	\$20,427.00	569	\$18,777.00			\$18,777.00		91.9%		\$1,650.00	
084	8" PVC sani sewer pipe	1,531.00	LF	\$33.00	\$50,523.00	1473	\$48,609.00			\$48,609.00		96.2%		\$1,914.00	

Progress Estimate - Unit Price Work

Contractor's Application

For (Contract): Rob Wells

Application Number: 7

Application Period: 10/31/18-11/27/18

Application Date: 11/27/2018

Bid Item No.	Description	Contract Information						Estimated Quantity Installed	Value of Work Installed to Date	Materials Presently Stored (not in C)	Total Completed and Stored to Date (D + E)	% (F/B)	Balance to Finish (B - F)
		A	B	C	D	E	F						
085	10" PVC sani sewer pipe	205.00	LF	\$35.00	\$7,175.00	229	\$8,015.00		\$8,015.00		111.7%	\$840.00	\$49,200.00
086	10" DIP sani sewer pipe	328.00	LF	\$150.00	\$49,200.00								
086A	8" DIP sani sewer pipe	495.00	LF	\$150.00	\$74,250.00	495	\$74,250.00		\$74,250.00		100.0%		
087	Construct 6" x 8" Wye	1.00	EA	\$350.00	\$350.00	1	\$350.00		\$350.00		100.0%		
087A	Construct 6" x 10" Wye	1.00	EA	\$350.00	\$350.00	1	\$350.00		\$350.00		100.0%		
088	6' cleanout	1.00	EA	\$625.00	\$625.00								\$625.00
089	Install external frame seal	50.00	EA	\$350.00	\$17,500.00								\$17,500.00
090	Connect sani manhole tap	1.00	EA	\$12,000.00	\$12,000.00	1	\$12,000.00		\$12,000.00		100.0%		
091	Connect sani manhole tap extra deep	1.00	EA	\$40,000.00	\$40,000.00	1	\$40,000.00		\$40,000.00		100.0%		
091A	Construct 30" Storm Sewer Tap	1.00	EA										
092	54" ID sani manhole	194.40	VF	\$310.00	\$99,144.00	167.8 ✓	\$85,578.00		\$85,578.00		86.3%	\$13,566.00	
093	Riprap type B	165.00	IT	\$62.00	\$1,020.00	104 ✓	\$6,448.00		\$6,448.00		63.0%	\$3,782.00	
094	1" SCH 40 PVC in trench	12,380.00	LF	\$3.00	\$37,140.00								\$37,140.00
095	#8 copper wire w/ thwn insul	18,590.00	LF	\$0.65	\$12,083.50								\$12,083.50
096	LED luminaire w/ pole & base	66.00	EA	\$5,310.00	\$350,460.00								\$350,460.00
097	Electrical hardhole/pullbox	14.00	EA	\$480.00	\$6,720.00								\$6,720.00
098	Lighting service cabinet	1.00	EA	\$18,782.00	\$18,782.00								\$18,782.00
099	Permanent paint 4" white	4,677.00	LF	\$2.25	\$10,523.25								\$10,523.25
100	Permanent paint 5" yellow	325.00	LF	\$3.50	\$1,137.50								\$1,137.50
101	Perm tape type 4, 5" white grooved	972.00	LF	\$5.50	\$5,346.00								\$5,346.00
102	Perm tape type 3, 12" white grooved	80.00	LF	\$22.00	\$1,760.00								\$1,760.00
103	Perm tape type 3, 24" white grooved	310.00	LF	\$22.00	\$6,820.00								\$6,820.00
104	Perm tape white left arrow grooved	4.00	EA	\$475.00	\$1,900.00								\$1,900.00
105	Perm tape white right arrow grooved	3.00	EA	\$550.00	\$1,650.00								\$1,650.00
106	ADA stall symbol	7.00	EA	\$175.00	\$1,225.00								\$1,225.00
107	Remove lines 5" white	62.00	LF	\$17.00	\$1,054.00								\$1,054.00
108	Remove lines 12" white	40.00	LF	\$29.00	\$1,160.00								\$1,160.00
109	Remove lines 24" white	120.00	LF	\$33.00	\$3,960.00								\$3,960.00
110	Remove arrow	2.00	EA	\$425.00	\$850.00								\$850.00
113	Install seeding cover crop	1.45	AC	\$835.00	\$1,210.75								\$1,210.75
114	Install seeding native mix	0.52	AC	\$3,050.00	\$1,566.00								\$1,586.00
115	Install turf erosion control type 2	6.06	AC	\$8,500.00	\$51,510.00	2.28 ✓	\$19,380.00		\$19,380.00		37.6%	\$32,130.00	
116	Install inlet protection	20.00	EA	\$215.00	\$4,300.00	15 ✓	\$3,225.00		\$3,225.00		75.0%	\$1,075.00	
117	Install erosion check wattle	3,023.00	LF	\$3.00	\$9,069.00	2130 ✓	\$6,390.00		\$6,390.00		70.3%	\$2,679.00	
118	Install sodding	185.00	SY	\$55.00	\$10,175.00								\$10,175.00
119	Install site fence	460.00	LF	\$3.00	\$1,340.00	343	\$1,029.00		\$1,029.00		74.6%	\$351.00	
120	Install flexamat	174.00	SY	\$97.00	\$16,878.00	174	\$16,878.00		\$16,878.00		100.0%		
121	Install turf mat type A	491.00	SY	\$6.25	\$3,068.75	1779 ✓	\$11,118.75		\$11,118.75		362.3%	-\$8,050.00	
122	Install SAFL baffle	3.00	EA	\$6,900.00	\$20,700.00	3	\$20,700.00		\$20,700.00		100.0%		
123	Install snout	1.00	EA	\$7,100.00	\$7,100.00	1	\$7,100.00		\$7,100.00		100.0%		
124	Install 18" ID preserver	1.00	EA	\$4,200.00	\$4,200.00	1 ✓	\$4,200.00		\$4,200.00		100.0%		
125	Install 24" ID preserver	1.00	EA	\$5,300.00	\$5,300.00	1	\$5,300.00		\$5,300.00		100.0%		

Progress Estimate - Unit Price Work

Contractor's Application

A-7

INVOICE



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

Please remit to:
TD2 Nebraska Office
10836 Old Mill Road; Omaha, NE 68154
Office: 402/330-8860 Fax: 402/330-5866

TD2 South Dakota Office
5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 129123
Date 11/29/2018

Project 0171-414 CITY PARKING DISTRICT
ACCESS IMPROVEMENTS - DRAINAGE

Professional Services through November 25, 2018

Description	Current Billed
Additional Services - Utility Locates	1,855.00
Total	1,855.00

Invoice total **1,855.00**

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
129123	11/29/2018	1,855.00	1,855.00				
	Total	1,855.00	1,855.00	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay
JMK 12-5-2018
0571.0899.003

Consent Agenda 12/18/18 (Re)

A-8

INVOICE



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

Please remit to:
TD2 Nebraska Office
10836 Old Mill Road; Omaha, NE 68154
Office: 402/330-8860 Fax: 402/330-5866

TD2 South Dakota Office
5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 129122
Date 11/29/2018

Project 0171-414 CITY PARKING DISTRICT
ACCESS IMPROVEMENTS - DRAINAGE

Professional Services from August 13, 2018 through November 25, 2018

PO #18-0080

see detail other side

Description	Contract Amount	Prior Billed	Remaining	Current Billed
Task 3 - Topographic Survey (Alt Area Between Bldgs)	9,820.50	0.00	0.00	9,820.50
Task 4 - Design Drainage Impr N Side of Old Giles Road	17,050.00	6,915.00	5,775.00	4,360.00
Task 5 - Design Grading & Drainage Impr N Side of Old Giles Rd	11,005.00	4,935.92	99.48	5,969.60
Task 6 - Design Drainage Impr S Side of Old Giles Road	16,664.50	7,511.25	5,983.25	3,170.00
Task 7 - Construction Phase Services	16,740.00	145.00	16,595.00	0.00
Total	71,280.00	19,507.17	28,452.73	23,320.10

Invoice total 23,320.10

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
129122	11/29/2018	23,320.10	23,320.10				
	Total	23,320.10	23,320.10	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay

DMK 12-5-2018

05.71.0839.003

Consent Agenda 12/10/18 (2)

THOMPSON, DREESSEN & DORNER, INC.*Consulting Engineers and Land Surveyors*

10836 Old Mill Road
 Omaha, Nebraska 68154
 Phone (402) 330-8860 Fax (402) 330-5866

August 29, 2018

Invoice #
127675**INVOICE**

City of La Vista
 9900 Portal Road
 La Vista, NE 68128

Project No. 171-414

City Parking District Access Improvements - Drainage

Professional Services from August 13, 2018 through November 25, 2018

CIP Project No. PWST -16-002

P.O. #18-0080

Task 3 - Topographic Survey (Alt Area Between Bldgs)

	Hours	Rate	Total
Chris Dorner - Principal - Survey	1	\$ 145.00	\$ 145.00
Michael Smith - Reg Land Surveyor	1.25	\$ 135.00	\$ 168.75
David Neef - Reg Land Surveyor	27.75	\$ 130.00	\$ 3,607.50
Brian Herr - Sr Survey Cad Tech	16.75	\$ 60.00	\$ 1,005.00
Michael Caniglia - Survey Crew Chief	21	\$ 100.00	\$ 2,100.00
Brian Sullivan - Survey Crew Member	20.75	\$ 65.00	\$ 1,348.75
Allan Villella - Survey Crew Member	6.75	\$ 50.00	\$ 337.50
Survey Equipment - GPS	22	\$ 45.00	\$ 990.00
Survey Equipment - Mule	2	\$ 15.00	\$ 30.00
Mileage - Survey Company Vehicle	110	\$ 0.80	\$ 88.00
			\$ 9,820.50

Task 4 - Design Drainage Impr N Side of Old Giles Road

	Hours	Rate	Total
Richard Madson - Senior Engineer	22.75	\$ 130.00	\$ 2,957.50
Farhad Latifi	16.5	\$ 85.00	\$ 1,402.50
			\$ 4,360.00

Task 5 - Design Grading & Drainage Impr N Side of Old Giles Road

	Hours	Rate	Total
Richard Madson - Senior Engineer	44	\$ 130.00	\$ 5,720.00
Kevin Powers - Sr Technician	3	\$ 80.00	\$ 240.00
Mileage	12	\$ 0.80	\$ 9.60
			\$ 5,969.60

Task 6 - Design Drainage Impr S Side of Old Giles Road

	Hours	Rate	Total
Richard Madson - Senior Engineer	24	\$ 130.00	\$ 3,120.00
Roger Meyer - Sr Cad Tech	0.5	\$ 100.00	\$ 50.00
			\$ 3,170.00

TOTAL INVOICE AMOUNT \$ 23,320.10

A-9

GILMOREBELL

450 Regency Parkway, Suite 320
Omaha, Nebraska 68114-3777

(402) 991-9450 / (402) 991-9455 FAX / gilmorebell.com

EIN: 43-1611738

Matter No. 602491.00002

November 19, 2018

Invoice No. 8036605

57.25
60.75
La Vista Community Development Agency
\$5,312,561 Tax Increment Revenue Note (La Vista City Centre Phase IA Project), Series 2017
\$8,222,287 Tax Increment Revenue Note (La Vista City Centre Phase IB Project), Series 2017

For legal services rendered in connection with the issuance of the above-referenced
financing.

\$31,500.00

Total Fees.....\$31,500.00

WIRE or ACH INSTRUCTIONS:

Commerce Bank of Kansas City
Kansas City, Missouri
(ABA #101000019)
For the Account of Gilmore & Bell, P.C.
(Account #280511860)

Note: Please Reference the Invoice Number

MGR

18.95.0321

12,363.75

19.94.0321

19,136.25
31,500

Consent Agenda 12/18/18

A-10



The Novak Consulting Group, Inc
26 E Hollister Street
Cincinnati, OH 45219 US
(513) 221-0500
jnovak@thenovakconsultinggroup.com
http://thenovakconsultinggroup.com

Invoice 1796

BILL TO

Public Works and Parks and
Rec Assessment
Brenda Gunn
City Administrator
City of La Vista
8116 Park View Boulevard
La Vista, NE 68128

DATE
12/01/2018

PLEASE PAY
\$15,161.00

DUE DATE
12/31/2018

ACTIVITY	QTY	RATE	AMOUNT
FEES:Consulting Fees Professional Services: Activity 2 - Conduct Field Work			15,161.00

TOTAL DUE **\$15,161.00**

THANK YOU.

Reminder: Please remit payment to our !!*NEW ADDRESS*!!
26 E. HOLLISTER STREET
CINCINNATI OH 45219

Consent Agenda 12/18/18 (Re)

01.28.0314.000

A-11



Project Proposal and Waiver

CIS+ Acct. No.: Deb Quade
Service Request: 54707 **Design:** 55632
Date: August 13, 2018 **ESD Phone:** (402) 552-5332
Tax I.D.: **W. O.:**

Capital W.O. <input checked="" type="checkbox"/>	Maint W.O. <input type="checkbox"/>	Job Order <input type="checkbox"/>	3 Year Refund <input type="checkbox"/>
--	-------------------------------------	------------------------------------	--

Customer:

City of LaVista

Work Location:

LaVista City Center
7978 Main Street
LaVista, NE 68128

Phone:**Description of Work:**

Install two underground streetlights for temporary lighting of FNB premise.

OPPD Responsibilities:

Install two steel streetlight poles at designated stakes with 200W fixtures. Trench in underground streetlight cable from existing padmount transformer.

Customer Responsibilities: 1)Waiver signature and submittal is required prior to work scheduling.
2)Notify OPPD representative if project is cancelled so invoice can be voided.
3)Payment (if applicable) is required prior to scheduling work.

Customer Need Date: ASAP

Charge:

\$5,185.21

←

X Owner or Owner Representative:

O.K. to pay

Date: September 4, 2018

OPMK 11-29-2018

16.71.0509.003

Consent Agenda 12/18/18 (m)

User: mgustafson

DB: La Vista

Check #

Check #	Check Date	Vendor Name	Amount	Voided
128434	12/05/2018	BLACK HILLS ENERGY	1,159.04	N
128435	12/05/2018	BLADE MASTERS GROUNDS MNTNC IN	338,740.45	N
128436	12/05/2018	DLR GROUP	7,520.00	N
128437	12/05/2018	ETC INSTITUTE	3,000.00	N
128438	12/05/2018	HAWKINS CONSTRUCTION COMPANY	467,317.35	N
128439	12/05/2018	LAUSTEN JR ROBERT S	1,180.00	N
128440	12/05/2018	MARCO INCORPORATED	112.16	N
128441	12/05/2018	OFFICE DEPOT INC	71.72	N
128442	12/05/2018	OLSSON, INC.	45,291.15	N
128443	12/05/2018	RDG PLANNING & DESIGN	7,417.82	N
128444	12/05/2018	SWAIN CONSTRUCTION INC	2,080.48	N
128445	12/05/2018	THOMPSON DREESSEN & DORNER	17,389.08	N
128446	12/05/2018	YANO'S NURSERY	5,000.00	N
128448	12/11/2018	HUSKER AUTO GROUP INC	27,799.00	N
128449	12/18/2018	ARTHUR J GALLAGHER RISK	4,582.00	N
128450	12/18/2018	ASPHALT & CONCRETE MATERIALS	426.35	N
128451	12/18/2018	AUSHA COX	9.99	N
128452	12/18/2018	AWARDS AND MORE COMPANY	82.62	N
128453	12/18/2018	BAUER BUILT TIRE	912.84	N
128454	12/18/2018	BIG RIG TRUCK ACCESSORIES INC	635.00	N
128455	12/18/2018	BISHOP BUSINESS EQUIPMENT	71.42	N
128456	12/18/2018	BKD LLP	2,325.00	N
128457	12/18/2018	BLUE 360 MEDIA, LLC	308.75	N
128458	12/18/2018	BRITE IDEAS DECORATING	778.00	N
128459	12/18/2018	BS&A SOFTWARE	200.00	N
128460	12/18/2018	BUILDERS SUPPLY CO INC	59.00	N
128461	12/18/2018	CALENTINE, JEFFREY	89.00	N
128462	12/18/2018	TAYLOR CASCADEN	88.00	N
128463	12/18/2018	CENTER POINT PUBLISHING	22.77	N
128464	12/18/2018	CENTURY LINK	584.48	N
128465	12/18/2018	CENTURY LINK BUSN SVCS	199.75	N
128466	12/18/2018	CHILD'S WORLD INCORPORATED	246.35	N
128467	12/18/2018	CINTAS CORPORATION	25.56	N
128468	12/18/2018	CNA SURETY	100.00	N
128469	12/18/2018	CONRECO INCORPORATED	35.40	N
128470	12/18/2018	CONSOLIDATED MANAGEMENT	17.48	N
128471	12/18/2018	CORNHUSKER INTL TRUCKS INC	112.44	N
128472	12/18/2018	CORNHUSKER STATE INDUSTRIES	202.04	N
128473	12/18/2018	COUNCIL OF STATE GOVERNMENTS	112.50	N
128474	12/18/2018	COX COMMUNICATIONS	277.40	N
128475	12/18/2018	CRANE, RAY	214.00	N
128476	12/18/2018	CULLIGAN OF OMAHA	29.50	N
128477	12/18/2018	DELL MARKETING L.P.	1,688.47	N
128478	12/18/2018	DEMCO INCORPORATED	755.17	N
128479	12/18/2018	DI GIORGIO'S SPORTSWEAR INC	15.00	N
128480	12/18/2018	DIAMOND VOGEL PAINTS	179.45	N
128481	12/18/2018	DOG WASTE DEPOT	299.95	N
128482	12/18/2018	DOUGLAS COUNTY SHERIFF'S OFC	887.50	N
128483	12/18/2018	DULTMEIER SALES & SERVICE	68.50	N
128484	12/18/2018	EBSCO INFORMATION SERVICES	1,536.00	N
128485	12/18/2018	FAC PRINT & PROMO COMPANY	256.75	N
128486	12/18/2018	FEDEX	63.10	N
128487	12/18/2018	FERRELLGAS	12.00	N
128488	12/18/2018	FILTER CARE	39.50	N
128489	12/18/2018	FOSTER, TERRY	88.00	N
128490	12/18/2018	GALE	263.89	N
128491	12/18/2018	GCR TIRES & SERVICE	1,475.42	N
128492	12/18/2018	GENERAL FIRE & SAFETY EQUIP CO	376.00	N
128493	12/18/2018	GENUINE PARTS COMPANY-OMAHA	1,437.94	N
128494	12/18/2018	GOVERNMENT FINANCE OFFICER'S	190.00	N

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
128495	12/18/2018	GRAYBAR ELECTRIC COMPANY INC	137.46	N
128496	12/18/2018	GREATAMERICA FINANCIAL SERVICES	894.50	N
128497	12/18/2018	HARTS AUTO SUPPLY	189.00	N
128498	12/18/2018	HERITAGE CRYSTAL CLEAN LLC	511.51	N
128499	12/18/2018	HOBBY LOBBY STORES INC	75.19	N
128500	12/18/2018	HONEYMAN RENT-ALL #1	376.05	N
128501	12/18/2018	HURST, JEAN	47.03	N
128502	12/18/2018	HY-VEE INC	112.50	N
128503	12/18/2018	IDENTISYS INCORPORATED	176.05	N
128504	12/18/2018	IIMC	110.00	N
128505	12/18/2018	INGRAM LIBRARY SERVICES	131.62	N
128506	12/18/2018	JONES AUTOMOTIVE INC	483.72	N
128507	12/18/2018	KILEY STEHMAN	9.99	N
128508	12/18/2018	KRIHA FLUID POWER CO INC	244.16	N
128509	12/18/2018	LABRIE, DONALD P	225.00	N
128510	12/18/2018	LAW ENFORCEMENT TARGETS INC	462.70	N
128511	12/18/2018	LEADS ONLINE LLC	2,848.00	N
128512	12/18/2018	LEAGUE OF NEBR MUNICIPALITIES	795.00	N
128513	12/18/2018	LIBRA INDUSTRIES INC	92.00	N
128514	12/18/2018	LIBRARY IDEAS LLC	3,605.00	N
128515	12/18/2018	LOU'S SPORTING GOODS	66.00	N
128516	12/18/2018	MATHESON TRI-GAS INC	134.25	N
128517	12/18/2018	MAX I WALKER UNIFORM RENTAL	46.00	N
128518	12/18/2018	MENARDS-RALSTON	604.20	N
128519	12/18/2018	METRO AREA TRANSIT	644.00	N
128520	12/18/2018	METROPOLITAN UTILITIES DIST.	55.21	N
128521	12/18/2018	MID AMERICAN SIGNAL INC	320.00	N
128522	12/18/2018	MID CON SYSTEMS INCORPORATED	301.52	N
128523	12/18/2018	MID-WEST MILITARY REAL ESTATE, LLC	80.00	N
128524	12/18/2018	MIDWEST TAPE	67.98	N
128525	12/18/2018	MIDWEST TURF & IRRIGATION	1,022.11	N
128526	12/18/2018	MNJ TECHNOLOGIES DIRECT INC	148.00	N
128527	12/18/2018	MSC INDUSTRIAL SUPPLY CO	208.35	N
128528	12/18/2018	NEBRASKA AIR FILTER INC	138.00	N
128529	12/18/2018	NEBRASKA ENVIRONMENTAL PRODS	2,900.00	N
128530	12/18/2018	NEBRASKA LAW ENFORCEMENT	1,752.00	N
128531	12/18/2018	NEBRASKA LIBRARY COMMISSION	1,692.10	N
128532	12/18/2018	NEBRASKA SALT & GRAIN COMPANY	3,492.19	N
128533	12/18/2018	NMC EXCHANGE LLC	1,667.25	N
128534	12/18/2018	NUTS AND BOLTS INCORPORATED	162.41	N
128535	12/18/2018	O'REILLY AUTOMOTIVE STORES INC	410.90	N
128536	12/18/2018	OCLC INC	155.39	N
128537	12/18/2018	OFFICE DEPOT INC	908.77	N
128538	12/18/2018	OMAHA PUBLIC POWER DISTRICT	49,682.43	N
128541	12/18/2018	OMAHA WORLD-HERALD	631.03	N
128542	12/18/2018	ONE CALL CONCEPTS INC	228.18	N
128543	12/18/2018	PAPILLION SANITATION	3,180.27	N
128544	12/18/2018	PAYLESS OFFICE PRODUCTS INC	55.45	N
128545	12/18/2018	PEGGY FLESCH	21.36	N
128546	12/18/2018	PENWORTHY COMPANY	574.80	N
128547	12/18/2018	PERSONAL BEST	479.00	N
128548	12/18/2018	PETTY CASH-PAM BUETHE	261.21	N
128549	12/18/2018	PLAINS EQUIPMENT GROUP	135.94	N
128550	12/18/2018	PLUTA, DON	101.00	N
128551	12/18/2018	POLICE CHIEF'S ASSN OF NEBR	50.00	N
128552	12/18/2018	PROTECH COMM. VEHICLE OUTFITTERS	940.53	N
128553	12/18/2018	READY MIXED CONCRETE COMPANY	369.95	N
128554	12/18/2018	RED MUNICIPAL & INDUSTRIAL EQUIP	10.58	N
128555	12/18/2018	ROURKE PUBLISHING COMPANY	582.60	N
128556	12/18/2018	SARPY COUNTY TREASURER	11,414.25	N

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
128557	12/18/2018	SCARPA, DAN	88.00	N
128558	12/18/2018	MICHAEL D SCHAWANG	950.00	N
128559	12/18/2018	SITE ONE LANDSCAPE SUPPLY LLC	239.47	N
128560	12/18/2018	SOUTHERN UNIFORM & EQUIPMENT	919.99	N
128561	12/18/2018	TRANS UNION RISK AND	60.70	N
128562	12/18/2018	TY'S OUTDOOR POWER & SVC INC	5,290.00	N
128563	12/18/2018	U.S. CELLULAR	999.56	N
128564	12/18/2018	UHE, ROBERT	88.00	N
128565	12/18/2018	UNITE PRIVATE NETWORKS LLC	3,850.00	N
128566	12/18/2018	UNITED RENT-ALL	815.21	N
128567	12/18/2018	UNIVERSITY OF LOUISVILLE	1,295.00	N
128568	12/18/2018	VOIANCE LANGUAGE SERVICES, LLC	13.50	N
128569	12/18/2018	WESTLAKE HARDWARE INC NE-022	1,204.90	N
128570	12/18/2018	WICK'S STERLING TRUCKS INC	487.57	N
128571	12/18/2018	WOODHAVEN COUNSELING ASSOCS	270.00	N
128572	12/18/2018	WORLD TRADE PRESS	781.10	N
			TOTAL:	1,061,033.22

APPROVED BY COUNCIL MEMBERS ON: 12/18/2018

COUNCIL MEMBER

User: mgustafson

DB: La Vista

Check #	Check Date	Vendor Name	Amount	Voided
528(E)	11/01/2018	ACCESS BANK	3,066.27	N
529(E)	11/01/2018	ALLY BANK	356.91	N
530(E)	11/01/2018	CATERPILLAR FINANCIAL SVCS CORP	6,151.24	N
531(E)	11/01/2018	ENTERPRISE FM TRUST	580.01	N
532(E)	11/01/2018	FIRST STATE BANK	6,536.93	N
533(E)	11/01/2018	FIRST STATE BANK	5,668.85	N
534(E)	11/01/2018	MID-AMERICAN BENEFITS INC	624.00	N
535(E)	11/01/2018	NE DEPT OF REVENUE-LOTT/51	77,478.00	N
536(E)	11/01/2018	NE DEPT OF REVENUE-SALES TAX	669.65	N
537(E)	11/01/2018	PITNEY BOWES-EFT POSTAGE	50.00	N
538(E)	11/01/2018	TOSHIBA FINANCIAL SERVICES	127.40	N
539(E)	11/06/2018	ELAN FINANCIAL SERVICES	23,554.45	N
552(E)	11/29/2018	ACCESS BANK	3,066.27	N
553(E)	11/29/2018	ALLY BANK	356.91	N
554(E)	11/29/2018	DEARBORN NATIONAL LIFE INSURANC	1,147.00	N
555(E)	11/29/2018	ENTERPRISE FM TRUST	580.01	N
556(E)	11/29/2018	ESSENTIAL SCREENS	249.00	N
557(E)	11/29/2018	FIRST STATE BANK	6,536.93	N
558(E)	11/29/2018	FIRST STATE BANK	5,668.85	N
559(E)	11/29/2018	LINCOLN NATIONAL LIFE INS CO	5,375.12	N
560(E)	11/29/2018	MID-AMERICAN BENEFITS INC	611.00	N
561(E)	11/29/2018	NE DEPT OF REVENUE-SALES TAX	478.32	N
562(E)	11/29/2018	PITNEY BOWES-EFT POSTAGE	1,278.00	N
563(E)	11/29/2018	TOSHIBA FINANCIAL SERVICES	127.40	N
564(E)	11/29/2018	UNITED HEALTHCARE INSURANCE CO	729.58	N
565(E)	11/30/2018	AMERICAN HERITAGE LIFE INSURANCE	1,449.79	N
566(E)	11/30/2018	BLUE CROSS BLUE SHIELD OF NEBR	96,816.79	N
567(E)	11/30/2018	CATERPILLAR FINANCIAL SVCS CORP	3,075.62	N
568(E)	11/30/2018	DEARBORN NATIONAL LIFE INSURANC	4,965.40	N
TOTAL:				257,375.70

APPROVED BY COUNCIL MEMBERS ON: 12/18/2018

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
APPLICATION FOR PUD SITE PLAN – LOT 1, SOUTHPORT EAST REPLAT FIVE (NW OF WESTPORT PKWY)	◆ RESOLUTION ORDINANCE RECEIVE/FILE	CHRISTOPHER SOLBERG CITY PLANNER

SYNOPSIS

A public hearing has been scheduled and a resolution prepared to approve a PUD Site Plan Amendment to allow for the construction of a restaurant, located on approximately 3.39 acres in Southport West.

FISCAL IMPACT

None.

RECOMMENDATION

Approval.

BACKGROUND

A public hearing has been scheduled to consider an application submitted by HOA Restaurant Holder, LLC for a PUD Site Plan Amendment to allow for the construction of a restaurant on approximately 3.39 acres platted as Lot 1, Southport West Replat Five. The site is located northwest of Westport Parkway, between Mutual of Omaha bank and Boot Barn.

The original PUD Site Plan for this property was approved on October 7, 2014. The property lies within the Gateway Corridor Overlay District as well as Southport West and is subject to the building design review process. The applicant has submitted the building design for staff review, which is ongoing. Design review must be completed prior to the issuance of a building permit.

A detailed staff report is attached.

The Planning Commission held a public hearing on November 15, 2018 and voted unanimously to recommend approval of the PUD Site Plan Amendment, contingent on satisfactory finalization and recording of a common area installation and maintenance agreement and the substantial completion of the design review process prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, DETERMINING CONDITIONS FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT (PUD) SITE PLAN AMENDMENT FOR LOT 1, SOUTHPORT WEST REPLAT FIVE, LOCATED IN THE SW 1/4 OF SECTION 18, T14N, R12E OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.

WHEREAS, the applicant, HOA Restaurant Holder, LLC, has made an application for approval of a PUD Site Plan Amendment for Lot 1, Southport West Replat Five; and

WHEREAS, the City Planner and the City Engineer have reviewed the PUD Site Plan Amendment; and

WHEREAS, the La Vista Planning Commission has reviewed the application and recommends approval.

NOW THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of La Vista, Nebraska, that the PUD Site Plan Amendment for Lot 1, Southport West Replat Five, located in the Southwest 1/4 of Section 18, T14N, R12E of the 6th P.M., Sarpy County, Nebraska, generally located South of Interstate 80 on the Northwest corner of Westport Parkway, be, and hereby is, approved.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER 2018.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk



**CITY OF LA VISTA
PLANNING DIVISION**

RECOMMENDATION REPORT

CASE NUMBER: PPUD-18-0005

For Hearing of: December 18, 2018
Report Prepared on: December 11, 2018

I. GENERAL INFORMATION

A. APPLICANT:

HOA Restaurant Holder, LLC

B. PROPERTY OWNER(S):

RBTJ LLC
PO Box 248
Paxton, NE 69155

C. LOCATION:

South of Interstate 80 on northwest corner Westport Parkway.

D. LEGAL DESCRIPTION:

Lot 1 Southport West Replat Five

E. REQUESTED ACTION(S):

Planned Unit Development (PUD) Site Plan amendment to allow for the development of a restaurant.

F. EXISTING ZONING AND LAND USE:

C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District); the property is currently vacant.

G. PROPOSED USES:

Developer wishes to construct a 5,633 square foot freestanding restaurant building.

H. SIZE OF SITE: 3.39 Acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE: The existing site is vacant ground. There is a slight downward grade to the south.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Andover Pointe; R-3 High Density Residential and Gateway Corridor District (Overlay District) (west of Interstate 80).
2. **West:** Boot Barn; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
3. **South:** Cabela's; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)
4. **East:** Mutual of Omaha Bank; C-3 Highway Commercial/Office Park District, Gateway Corridor District (Overlay District), and Southport West PUD District (Overlay District)

C. RELEVANT CASE HISTORY:

1. The PUD Plan and Ordinance for Southport West was originally approved on December 21, 2004.
2. The PUD Ordinance for Southport West was last amended on February 16, 2016.
3. The Final PUD Site Plan, Replat, and Subdivision Agreement for Southport West Replat 5 were approved on October 7, 2014.

III. ANALYSIS

A. COMPREHENSIVE PLAN: The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.

B. OTHER PLANS: N/A

C. TRAFFIC AND ACCESS:

1. Access to the property will be provided from an existing entrance off of Westport Parkway that currently serves Boot Barn and the rest of Southport West Replat 5. Upon development of the balance of this lot, a connection northward to Lot 16 Southport West will be constructed to allow through-access.
2. The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. Additionally, the applicant has provided a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Based on this information, the City Engineer has concluded that a new traffic impact study would not be required.

D. UTILITIES: All utilities are available to the site.

E. PARKING REQUIREMENTS:

1. The plans indicate approximately 5,633 square feet of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment has been stated as 20 employees during peak shift. The parking count is 114 stalls (110 without the “food to-go” stalls) which exceeds the requirement.

F. LANDSCAPING:

The landscape plan is currently under review by the City’s Design Review Architect as part of the overall building and site design package. The design review process needs to be substantially complete prior to City Council review.

G. BUILDING DESIGN:

The building design is currently under review by the City’s Design Review Architect as part of the overall building and site design package. The design review process needs to be completed prior to application for building permit.

IV. REVIEW COMMENTS:

1. The applicant has submitted a proposed schedule of construction that is compliant and acceptable to staff.
2. Steve Thornburg of the Papillion Fire Department has noted that the Fire Department approves of the PUD Amendment as long as the proposed development complies with emergency responder radio coverage requirements. This shall be verified by the Papillion Fire Department upon the completion of construction.
3. The development will need to obtain FAA approval prior to the issuance of a building permit.
4. The proposed common area installation and maintenance agreement needs to be approved, executed and recorded prior to obtaining a building permit. The form of the agreement must be approved prior to City Council action on the PUD.

V. STAFF RECOMMENDATION – PUD SITE PLAN AMENDMENT:

Approval of the PUD Site Plan for a restaurant development contingent on the recording of the common area installation and maintenance agreement as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VI. PLANNING COMMISSION RECOMMENDATION – PUD SITE PLAN AMENDMENT:

The Planning Commission held a meeting on November 15, 2018 and unanimously voted to recommend approval of the PUD Site Plan Amendment, contingent on satisfactory finalization and recording of a common area installation and maintenance agreement and the substantial completion of the design review process prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VII. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review and Consultant Response Letters
3. Draft PUD Site Plan Map Set

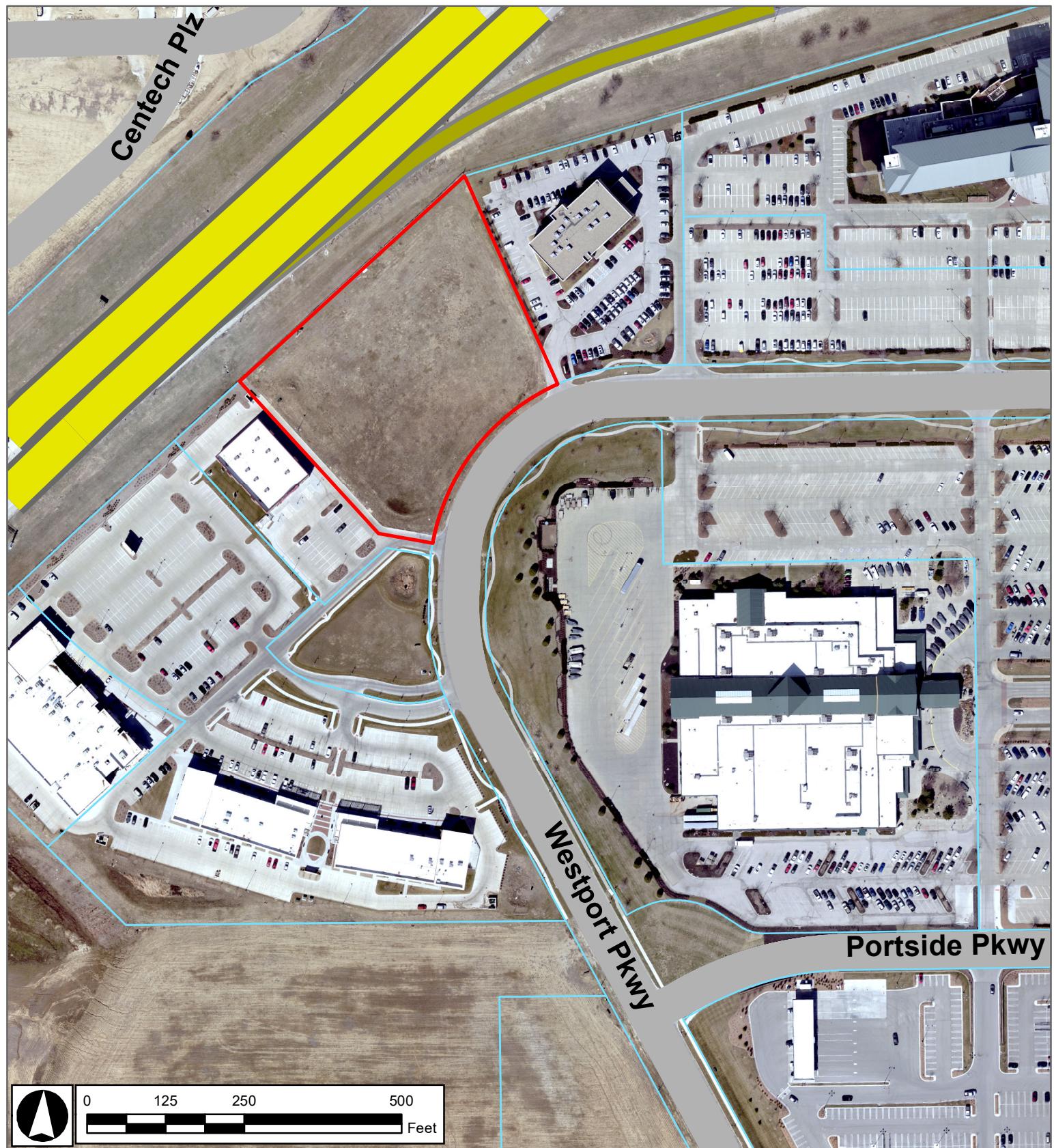
VIII. COPIES OF REPORT TO:

1. Brian Nebel, Consolidated Development Services
2. LeAmber Yisrael, HOA Restaurant Holder, LLC
3. David Tipton, CEI Engineering
4. Tim Holzfaster, RBTJ, LLC
5. Public Upon Request

 12/12/18
Prepared by:

Community Development Director

Date



Project Vicinity Map



Hooters PUD Amendment: Lot 1, Southport West Replat Five

11/7/18
CRB





September 17, 2018

Brian Nebel
Consolidated Development Services
14901 Quorum Drive, Suite 310
Dallas, TX 75254

RE: Hooters Restaurant
Proposed Planned Unit Development (PUD) Site Plan Amendment - Initial
Review

Mr. Nebel,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance and in reference to the existing PUD plan that was approved on October 7, 2014, for Southport West Replat Five which also covered this lot, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.
2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.
3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Relative to the proposed driveways being adequate to serve the proposed development, the City

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La Vista, NE 68128-2198
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f: 402-331-4375

Community Development
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f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

Engineer recommends that the proposed entry drive in front of the restaurant be better aligned with the existing driveway that leads southwesterly in front of the Boot Barn. The concern is the short amount of stacking to the internal intersection from Westport Parkway and potential for gridlock with conflicting traffic movements. A representative sketch of the necessary changes has been attached to this review letter. The applicant should expect that there will be congestion at peak hours at intersections connecting to Giles Road.

4. Article 5.15.04.04: The Papillion Fire Marshall's office requires the provision of a separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal.

All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. This shall be verified upon the completion of construction.

5. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.
6. Article 5.15.04.06: The applicant will need to update the open space and site parking data for Lot 1 (both the proposed development portion and an assumption for the remaining portion of Lot 1) to amend the information set forth in the current PUD plan for Southport West Replat Five approved on October 7, 2014. There needs to be an indication of the continuation of the proposed front driveway across the remainder of Lot 1 to reach the shared access with adjacent Lot 16 of Southport West, which is consistent with the existing PUD plan.
7. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.
8. Article 5.15.04.08: The Site Plan needs to have dimensions of green spaces along Westport Parkway and I-80 labelled to demonstrate compliance with the minimum requirement of 15 feet. Also, the site plan needs to contain data

showing compliance with the minimum requirement of 25% greenspace for the total lot and 10% of the parking lot area being landscaped as set forth in the current PUD for this property.

The grading plan submitted does not depict the required berthing of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD.

The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

9. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback:	25'
Front Yard Setback (when parking present in front yard):	50'
Side Yard Setback:	15'
Rear Yard Setback:	15'

Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

10. Article 5.15.04.10: Building coverage does not appear to be an issue, but data should be set forth on the site layout plan to show compliance with the 60% limitation.
11. Article 5.15.04.11: Not applicable.
12. Article 5.15.04.12: While there is not specifically common open space, there is shared, private infrastructure. The applicant should be aware of the requirement to participate in the operation and maintenance of such facilities.
13. Article 5.15.04.13: Not applicable.
14. Article 5.15.04.14: The plan is compliant as proposed subject to showing the remainder of Lot 1 having a connection to the proposed development and the shared access with Lot 16 of Southport West.
15. Article 5.15.04.15: The sidewalk along Westport Parkway is properly noted to be 5 feet wide by 6 inches thick. The sidewalk needs to be continued to the

existing drive approach and align with the existing sidewalk on the southerly side of the existing drive approach. The existing sidewalk is not shown.

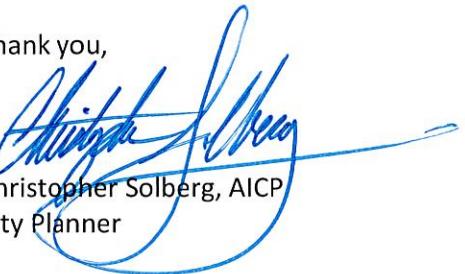
16. Article 5.15.04.16: Not applicable.
17. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the City Council approval process.
18. Article 5.15.05.04: Provide a statement on the Post Area Drainage Map that the drainage system will be sized to address first ½ of storm water runoff for water quality and to limit peak storm water runoff flows for 2-year events to pre-development levels.

Note that the development will need to obtain FAA approval prior to the issuance of a building permit. Also, there may be private, protective covenants recorded against the property that the applicant should review.

In order for the PUD to be considered for review at the October 18, 2018 Planning Commission meeting, revised PUD plan set documents will need to be provided for further review. Please submit 4 full size copies (along with electronic copies) of the revised documents by September 26, 2018 to ensure that the application stays on track for the review by Planning Commission.

If you have any questions regarding these comments please feel free to contact me at any time.

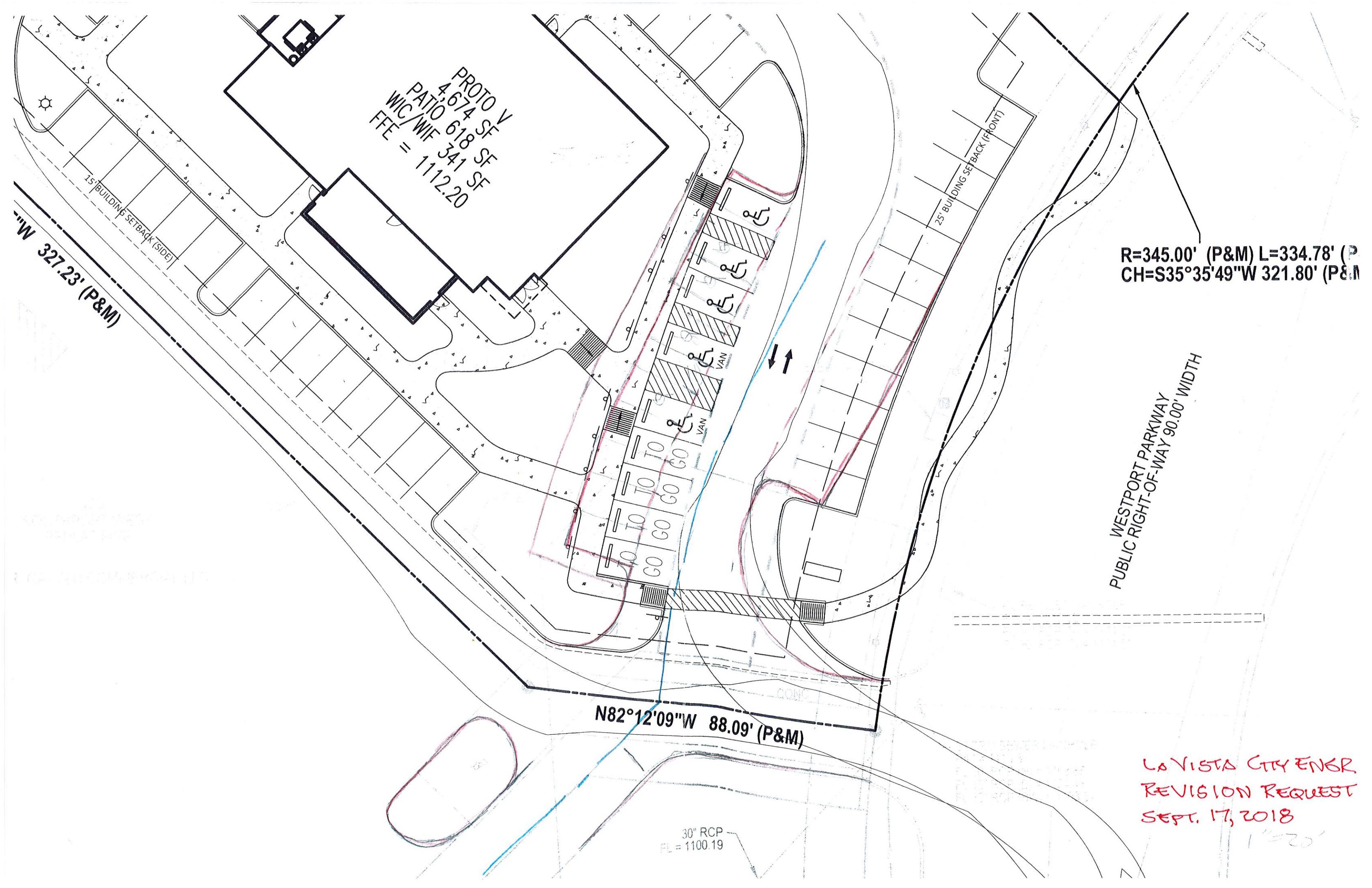
Thank you,



Christopher Solberg, AICP
City Planner

Attachment

cc: David Tipton, CEI Engineering
 Ann Birch, Community Development Director
 John Kottmann, City Engineer





Response to Proposed Planned Unit Development (PUD) Site Plan Amendment

Initial Review Comments

for

Hooters

12710 Westport Parkway
La Vista, NE 68138

September 26, 2018

Introduction:

Below in **bold font** are the written responses to the Initial Comments for the above project.

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.

Hooters is preparing this schedule. As it has to account for replat, DRB, City/State Health/FAA approvals of building plans, that critical path timeline is being confirmed.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

Hooters is working on this document with their legal counsel with the goal of approval prior to the 11/20/18 City Council date.

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm.

We are working with Hooters and our engineer to confirm the expected peak hour trips.

Relative to the proposed driveways being adequate to serve the proposed development, the City Engineer recommends that the proposed entry drive in front of the restaurant be better aligned

with the existing driveway that leads southwesterly in front of the Boot Barn. The concern is the short amount of stacking to the internal intersection from Westport Parkway and potential for gridlock with conflicting traffic movements. A representative sketch of the necessary changes has been attached to this review letter. The applicant should expect that there will be congestion at peak hours at intersections connecting to Giles Road.

The revised plans show the entry configuration revised per City Engineer's redlined plan.

4. Article 5.15.04.04: The Papillion Fire Marshall's office requires the provision of a separate Emergency Vehicle Access Plan which includes Site Plan, Fire Lane, Fire Hydrants, PIV, and FDC - Use Auto-Turn Professional, or similar program, using specifications provided by Fire Marshal.

The revised plans include an Emergency Vehicle Access Plan sheet.

All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. This shall be verified upon the completion of construction.

Acknowledged

5. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

We have obtained a list of current PUD property owners, and will be sending letters to all, requesting signed letters of support. We understand that this will need to be provided prior to City Council approval.

6. Article 5.15.04.06: The applicant will need to update the open space and site parking data for Lot 1 (both the proposed development portion and an assumption for the remaining portion of Lot 1 to amend the information set forth in the current PUD plan for Southport West Replat Five approved on October 7, 2014. There needs to be an indication of the continuation of the proposed front driveway across the remainder of Lot 1 to reach the shared access with adjacent Lot 16 of Southport West, which is consistent with the existing PUD plan.

The revised plans address this comment.

7. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.

As this is the first location where Hooters will be constructing their smaller building, the number of employees is being confirmed. We will have that figure and an updated parking count prior to the 10/18 Planning Commission meeting.

8. Article 5.15.04.08: The Site Plan needs to have dimensions of green spaces along Westport Parkway and 1-80 labelled to demonstrate compliance with the minimum requirement of 15 feet. Also, the site plan needs to contain data showing compliance with the minimum requirement of 25% greenspace for the total lot and 10% of the parking lot area being landscaped as set forth in the current PUD for this property.

The revised plans address these comments.

The grading plan submitted does not depict the required berthing of the landscaped areas along Westport Parkway as required per Section 8(B) (ii) (c) of the Southport West PUD.

Please confirm how large of an area (i.e. percentage of the overall Secondary Street Frontage Green Space) must be bermed, and what the minimum berm height requirement is. Exhibit C of the Southport West Design Guidelines refers to a 3' maximum height.

The landscape plan is currently under review by the City's Design Review Architect as part of the overall building and site design package. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through City Council approval process.

We will respond to the City Design Review Architect's comments as soon as possible once we receive them.

9. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback: 25'

Front Yard Setback (when parking present in front yard): 50'

Side Yard Setback: 15'

Rear Yard Setback: 15'

Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

The revised plans address this comment.

10. Article 5.15.04 .10: Building coverage does not appear to be an issue, but data should be set forth on the site layout plan to show compliance with the 60% limitation.

The revised plans address this comment.

11. Article 5.15.04.11: Not applicable.

12. Article 5.15.04.12: While there is not specifically common open space, there is shared, private infrastructure. The applicant should be aware of the requirement to participate in the operation and maintenance of such facilities.

Acknowledged

13. Article 5.15.04.13: Not applicable.

14. Article 5.15.04.14: The plan is compliant as proposed subject to showing the remainder of Lot 1 having a connection to the proposed development and the shared access with Lot 16 of Southport West.

15. Article 5.15.04.15: The sidewalk along Westport Parkway is properly noted to be 5 feet wide by 6 inches thick. The sidewalk needs to be continued to the existing drive approach and align with the existing sidewalk on the southerly side of the existing drive approach. The existing sidewalk is not shown.

The revised plans show the new sidewalk being extended to the curb and will align with the existing sidewalk on the south side of the driveway.

16. Article 5.15.04.16: Not applicable.

17. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the City Council approval process.

We will respond to the City Design Review Architect's comments as soon as possible once we receive them.

18. Article 5.15.05.04: Provide a statement on the Post Area Drainage Map that the drainage system will be sized to address first Yi of storm water runoff for water quality and to limit peak storm water runoff flows for 2-year events to pre- development levels.

The revised plans address this comment.

Note that the development will need to obtain FAA approval prior to the issuance of a building permit.

Acknowledged.

Also, there may be private, protective covenants recorded against the property that the applicant should review.

Acknowledged.

END OF COMMENTS

Thank you for your time and attention to this project. Please contact me with any questions or comments.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brian Nebel".

Brian Nebel

Property Development Manager



October 1, 2018

Brian Nebel
Consolidated Development Services
14901 Quorum Drive, Suite 310
Dallas, TX 75254

RE: Hooters Restaurant
Proposed Planned Unit Development (PUD) Site Plan Amendment – 2nd
Review

Mr. Nebel,

We have reviewed the resubmitted documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance and in reference to the existing PUD plan that was approved on October 7, 2014, for Southport West Replat Five which also covered this lot, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.
2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

Applicant has notified the City that work on this document is still underway. We await the submittal of this document. Please note that the form of the agreement will need to be approved prior to submittal of final documents for City Council packets.

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Golf Course
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p: 402-537-3900
f: 402-537-3902

Police
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p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
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p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.
4. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.
5. Article 5.15.04.06: The applicant needs to provide clarification on the data table that the parking info is NOT for all of Lot 1 and that the remaining undeveloped area will have to provide its own. Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.
6. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1. Applicant has notified the City that work on this document is still underway. We await the submittal of this document.
7. Article 5.15.04.08: The grading plan submitted does not depict the required berthing of the landscaped areas along Westport Parkway as required per Section 8(B)(ii)(c) of the Southport West PUD.

The application has submitted a request for clarification regarding this aspect. Attached is a copy of the existing landscaping plan for the Southport West Replat 5 for review. As depicted on this plan, one "Non-Corner Streetscape" lies in the vicinity of the Hooters frontage on Westport Parkway. This is the expected vicinity of the berthing and related landscaping as noted in the detail. Comments from the City's Design Review Architect are expected to reflect this requirement as well.

8. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically,

Front Yard Setback:	25'
Front Yard Setback (when parking present in front yard):	50'
Side Yard Setback:	15'
Rear Yard Setback:	15'

This table has not been sufficiently updated since the initial review letter.

Also, the side building setback along the northeast property line is still depicted at 10 feet. This needs to be revised to 15 feet.

9. Article 5.15.04.14: Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

10. Article 5.15.04.15: The existing sidewalk on the south is still not shown.

At this time staff has concluded that the PUD application is not in acceptable form for the October Planning Commission. In order for the PUD to be considered for review at the November 15, 2018 Planning Commission meeting, revised PUD plan set documents will need to be provided for further review. Please submit 4 full size copies (along with electronic copies) in a timely manner to ensure that the application stays on track for the review by Planning Commission in November.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
City Planner

Attachment

cc: David Tipton, CEI Engineering
 Ann Birch, Community Development Director
 John Kottmann, City Engineer

Response to Proposed Planned Unit Development (PUD) Site Plan Amendment

Second Review Comments

for

Hooters

12710 Westport Parkway
La Vista, NE 68138

October 22, 2018

Introduction:

Below in ***bold font*** are the written responses to the Second Comments for the above project.

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.

A Preliminary timeline is included in the resubmittal package.

2. Article 5.15.04.02: A copy of a proposed common area installation and maintenance agreement needs to be provided along with a statement identifying which entities are to be a party to the agreement. It appears at a minimum, the shared, private infrastructure would be the shared roadway along the common boundary of Lots 1 and 2 as well as the front driveway across the restaurant site to the remaining portion of Lot 1. If there are any other items to be shared, such as lighting, they need to be set forth in the agreement. A final version that has been approved, executed and recorded will be needed prior to obtaining a building permit. Staff recommends the form of the agreement be approved prior to the City Council action on the PUD. The portion of the existing drainage and detention easement in favor of the City and located on Lot 1 will need to be released. This should occur after a building permit is issued and prior to the Certificate of Occupancy if the PUD is approved and the development proceeds. This portion of the existing easement is not required to remain.

Received sample easement document from Planning staff 10/19. Hooters legal counsel is preparing a draft document, which will be submitted for staff review prior to 11/15/18 Planning Commission Meeting date.

3. Article 5.15.04.03: The proposed development of a restaurant on part of Lot 1 is consistent with the range of uses assumed for Southport West in prior traffic impact studies. For this reason, the City Engineer does not recommend a new traffic impact study be undertaken. But, the applicant needs to provide a statement as to expected peak hour trips (inbound and outbound) during the weekday, evening rush hour of 4:30 to 5:30 pm.

Per the current ITE Manual (for a High-Turnover/Sit-Down Restaurant), the expected total number of peak-hour trips is 55, which includes 33 trips entering (60%) and 22 trips exiting (40%).

4. Article 5.15.04.05: The application to amend the PUD needs to be signed by at least 51% of the initial PUD property owners. Provision of signed letters of support would be acceptable.

Hooters legal counsel has sent requests to all current PUD property owners requesting signed letters of support. I have requested documentation of shipment and/or receipt by each owner from counsel. We understand that this documentation will need to be submitted to staff prior to the Planning Commission Meeting.

5. Article 5.15.04.06: The applicant needs to provide clarification on the data table that the parking info is NOT for all of Lot 1 and that the remaining undeveloped area will have to provide its own.

The Site Information table on the Site Plan (sheet 2 of 19) has been updated to state that the future development on the remainder of Lot 1 will need to provide its own parking.

Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

Statement has been added to Sheets 2 and 4.

6. Article 5.15.04.07: The current PUD indicates that Lot 1 is not subject to sharing of parking with other lots. The plans indicate approximately 5,633 SF of gross floor area. The zoning regulations would require one stall per 100 square feet plus one space per employee on the peak shift. The gross floor area requires 57 stalls. The peak shift employment is not stated. The parking count is 114 stalls (110 without the "to-go" stalls) which most likely exceeds the requirement. The applicant needs to state the peak employment shift to complete the parking review. It should be noted that the data table on the Site Plan indicates required parking to be 112 spaces based on 1 per 100 sf, so some clarification is needed or correction to the data table. If there is excess parking, the applicant needs to indicate whether there will be shared parking with the remainder of Lot 1.

Hooters estimates to have (20) employees working during peak shift. The Site Information table on the Site Plan (sheet 2 of 19) has been updated to call out (20) employee parking spaces, and to state that the future development on the remainder of Lot 1 will need to provide its own parking.

7. The grading plan submitted does not depict the required berthing of the landscaped areas along Westport Parkway as required per Section 8(B) (ii) (c) of the Southport West PUD.

The plan set has been updated to show a bermed landscape area along the Hooters frontage.

8. Article 5.15.04.09: The setbacks in the site information table and on the map of the site plan need to depict the setbacks set forth within Section 5.12.06.01 of the Zoning Ordinance. Specifically, Front Yard Setback: 25'

Front Yard Setback (when parking present in front yard): 50'

Side Yard Setback: 15'

Rear Yard Setback: 15'

Please note that the lot line along the Interstate 80 right-of-way is not considered a rear yard. As per the graphic, "Example of possible Lot Configurations and Yard Requirement" on page 32 of the Zoning Ordinance, this is considered a front yard.

The Site Information table on the Site Plan (sheet 2 of 19) has been updated to note the above minimum setback requirements.

9. Article 5.15.04.14: Please provide a note on Sheets 2 and 4 stating that there is to be a future extension of the driveway across the remainder of Lot 1 to reach the shared access point at the common line of Lot 1, Replat Five and Lot 16. The intention of this note is to try to avoid future conflicts if a connection is not illustrated as part of this plan set.

The note has been added to Sheets 2 and 4.

10. Article 5.15.04.15: The existing sidewalk on the south is still not shown.

The revised plans show the existing sidewalk/ramp on the south side of the shared driveway in a "light" line weight, so as not to be confused with future improvements.

END OF COMMENTS

Thank you for your time and attention to this project. Please contact me with any questions or comments.

Sincerely,



Brian Nebel

Property Development Manager

Hooters - Southport West - La Vista, NE - PRELIMINARY TIMELINE

ID	Task Name	Duration	Start	Finish	2019						
					Sep	Oct	Nov	Dec	Jan	Feb	Mar
1	PUD SITE PLAN AMENDMENT	79 days	Tue 9/4/18	Fri 12/21/18							
2	ADMINISTRATIVE DESIGN REVIEW	35 days	Mon 10/29/18	Fri 12/14/18							
3	ADMINISTRATIVE REPLAT	29 days	Tue 11/13/18	Fri 12/21/18							
4	GRADING PLAN REVIEW	40 days	Mon 11/26/18	Fri 1/18/19							
5	BUILDING PLAN REVIEW - CITY	45 days	Mon 12/3/18	Fri 2/1/19							
6	COUNTY HEALTH PLAN REVIEW	50 days	Mon 12/3/18	Fri 2/8/19							
7	BUILDING PLAN REVIEW - FAA	45 days	Mon 12/3/18	Fri 2/1/19							
8	MOBILIZE	2 wks	Mon 2/11/19	Fri 2/22/19							
9	CONSTRUCTION	4 mons	Mon 2/25/19	Fri 6/14/19							
10	OPEN	2 wks	Mon 6/17/19	Fri 6/28/19							

SITE DEVELOPMENT PLANS

HOOTERS

12710 WESTPORT PARKWAY

LA VISTA, NEBRASKA

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

TOPOGRAPHY: E & A CONSULTING GROUP, INC.
10909 MILL VALLEY ROAD, SUITE 100
OMAHA, NE 68154
PHONE: 402-895-4700

CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.

D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DERBIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

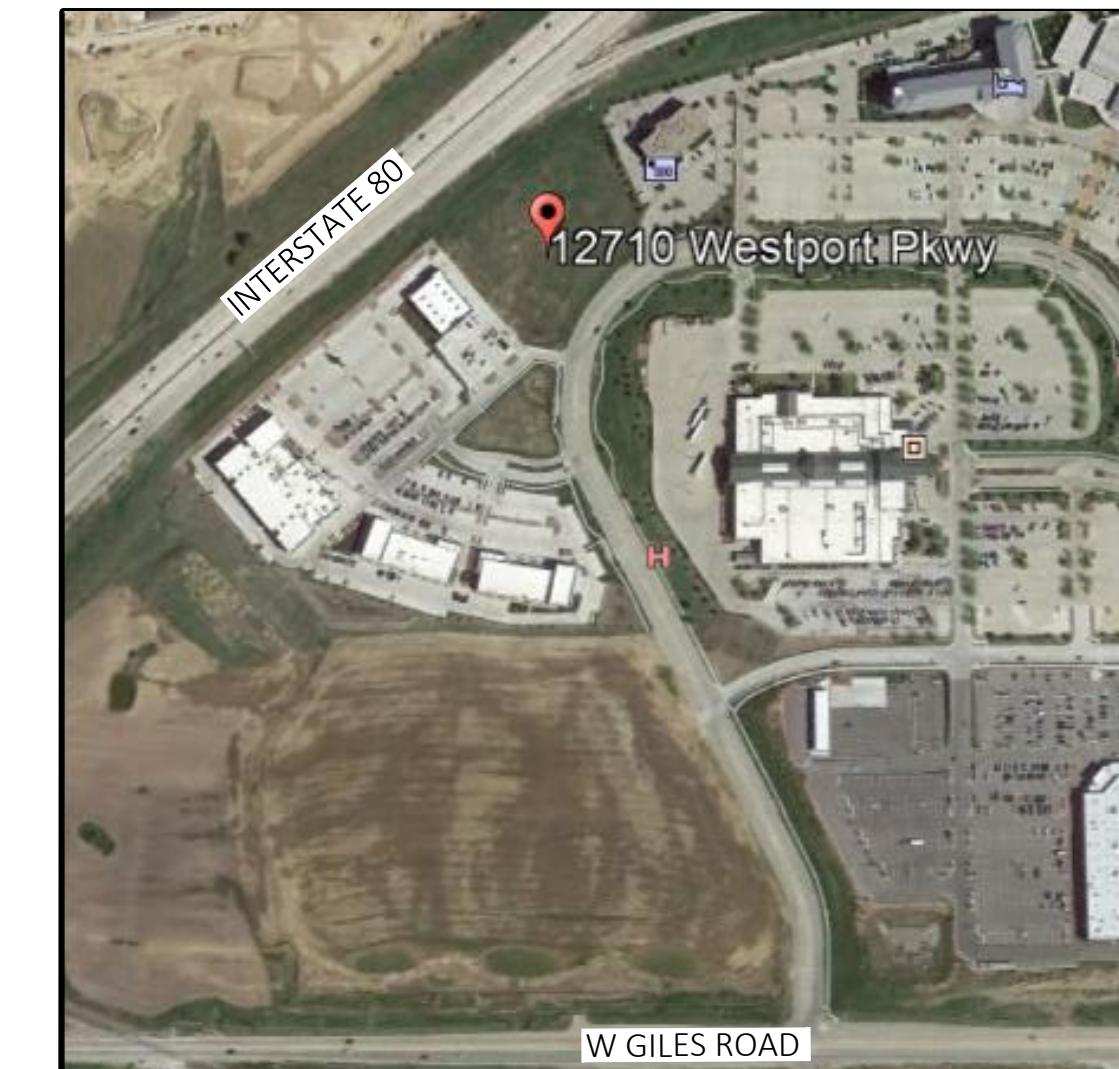
F. WARRANTY/Disclaimer: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INVOLVED. THE OWNER/DEVELOPER AGREED THAT THE ENGINEER NOTIFIED THE CONTRACTOR PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.

G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.

I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER LINES, AND PUBLIC STORMWATER CONSTRUCTION. THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.



Vicinity Map

Not to Scale

PLAN INDEX:

1. COVER SHEET	10. EMERGENCY VEHICLE ACCESS PLAN
-- SURVEY	11. DETAIL SHEET 1
2. SITE PLAN	12. DETAIL SHEET 2
3. DEMOLITION PLAN	13. DETAIL SHEET 3
4. PAVING PLAN	14. DETAIL SHEET 4
5. GRADING PLAN	15. DETAIL SHEET 5
6. PRE-DRAINAGE AREA MAP	16. LANDSCAPE PLAN
7. POST-DRAINAGE AREA MAP	17. LANDSCAPE DETAILS
8. EROSION CONTROL PLAN	18. IRRIGATION PLAN
9. UTILITY PLAN	19. PHOTOMETRIC PLAN



ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3030 LBJ Freeway, Suite 100 (972)488-3737
Dallas, TX 75234 FAX (972)488-6732

Arkansas * California * Minnesota * Pennsylvania * Texas

APPLICANT:

CONSOLIDATED DEVELOPMENT SERVICES
1000 PARKVIEW DR, SUITE 310
DALLAS, TX 75234
CONTACT: BRIAN NEBEL, PROPERTY DEVELOPMENT MANAGER
PHONE: (972) 488-0816
EMAIL: BNEBEL@CDSDEVELOPMENT.COM

OWNER:

HOOTERS OF AMERICA, LLC
1815 THE EXCHANGE SE
ATLANTA, GA 30339
CONTACT: LEAMBER ISRael, DEVELOPMENT SERVICES MANAGER
PHONE: (404) 330-2202
EMAIL: SGMILLER@TERRACON.COM

ENGINEER:

CEI ENGINEERING ASSOCIATES
3030 LBJ Fwy, Ste. 100
DALLAS, TX 75234
CONTACT: DAVID TIPTON, PROJECT MANAGER
PHONE: (972) 488-3737
EMAIL: DTIPTON@CEIENG.COM

GEOTECH:

TERRACON CONSULTANTS, INC.
15080 A CIRCLE
OMAHA, NE 68144
CONTACT: SCOTT MILLER, P.E.
PHONE: (402) 330-2202
EMAIL: SGMILLER@TERRACON.COM

LEGAL DESCRIPTION

LOT 1, SOUTHPORT WEST REPLAT FIVE, AN ADDITION TO THE CITY OF LA VISTA, IN SARPY COUNTY, NEBRASKA.

SAID LOT 1, SOUTHPORT WEST REPLAT FIVE, CONTAINS AN AREA OF 147,991 SQUARE FEET OR 3.397 ACRES, MORE OR LESS.

APPROVED

DATE

CITY OF LA VISTA

RESOURCE LIST:

PLANNING AND ZONING
CITY OF LA VISTA
DEPARTMENT OF COMMUNITY DEVELOPMENT
8116 PARKVIEW BLVD.
LA VISTA, NE 68128
ANN BIRCH
COMMUNITY DEVELOPMENT DIRECTOR
402-593-6400

HEALTH AUTHORITY
STATE OF NEBRASKA
DEPARTMENT OF AGRICULTURE
FOOD SAFETY
301 CENTENNIAL MALL SOUTH
LINCOLN, NE 68509-4947
PAUL DEL SIGNORE
FOOD SANITARIAN
PH: 402-471-2536
CELL: 402-326-2694

ENGINEERING
CITY OF LA VISTA
ENGINEERING DEPARTMENT
9500 PORTAL ROAD
LA VISTA, NE 68128
JOHN M. KOTTMANN, P.E.
CITY ENGINEER
402-331-8927

ELECTRIC PROVIDER
OMAHA PUBLIC POWER DISTRICT (OPPD)
1210 WEST 6TH STREET
PAPILLION, NE 68046
DEB NASTASIA, QUADRE
ELECTRICAL SERVICE DESIGNER
PH: 402-552-5332
CELL: 402-699-9683

COMMUNICATIONS PROVIDER
CENTURYLINK
15825 W MAPLE RD
OMAHA, NE 68116
ELIZABETH LEEGE
ENGINEER II
402-572-5803

LIQUOR AUTHORITY
CITY OF LA VISTA
CITY CLERK'S OFFICE
8116 PARKVIEW BLVD.
LA VISTA, NE 68128
MANDY GARRICK
DEPUTY CITY CLERK
402-331-4343

SANITARY PROVIDER
CITY OF LA VISTA
PUBLIC WORKS DEPARTMENT
9500 PORTAL ROAD
LA VISTA, NE 68128
JOHN KOTTMANN
CITY ENGINEER
402-331-8927

STORM DRAINAGE AUTHORITY
CITY OF LA VISTA
PUBLIC WORKS DEPARTMENT
8116 PARKVIEW BLVD.
LA VISTA, NE 68128
JOHN KOTTMANN
CITY ENGINEER
402-331-8927

WATER PROVIDER
METROPOLITAN UTILITIES DISTRICT (MUD)
1723 HARNEY ST.
OMAHA, NE 68102-1960
SANDY LOVGREN
BUILDER SERVICES REPRESENTATIVE
402-504-7986

BUILDING DEPARTMENT AUTHORITY
CITY OF LA VISTA
BUILDING DEPARTMENT
8116 PARKVIEW BLVD.
LA VISTA, NE 68128
JEFF SINNETT
CHIEF BUILDING OFFICIAL
402-593-6400

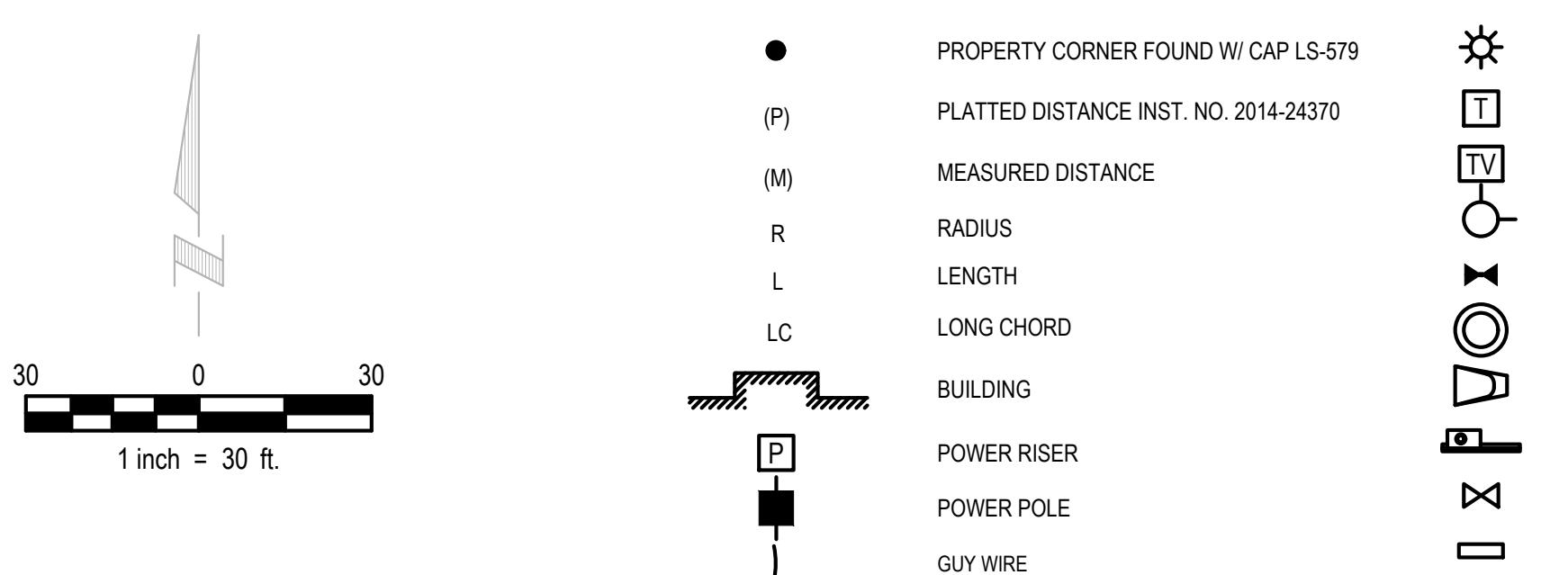
FLOOD ZONE:
SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE PROPERTY IS LOCATED IN THE CITY OF LA VISTA, IN SARPY COUNTY, NEBRASKA AND INCORPORATED AREAS PANEL NUMBER 61 OF 255, CONTAINS COMMUNITY SARPY COUNTY, PANEL NUMBER 310190.0061 H, AND ALSO LA VISTA, CITY OF, PANEL NUMBER 310192 0061 H, AND ALSO PAPILLION, CITY OF, PANEL NUMBER 315275.0061 H, MAP NUMBER 31153C0061H, EFFECTIVE DATE MAY 3, 2010.

SURVEY:

E & A CONSULTING GROUP, INC.
10909 MILL VALLEY ROAD, SUITE 100
OMAHA, NE 68154
PHONE: 402-895-4700
FAX: 402-895-3599

LEGEND

NOTE: FOR REFERENCE ONLY, ITEMS DEPICTED IN LEGEND MAY NOT APPEAR ON PLANS.



BENCHMARK:

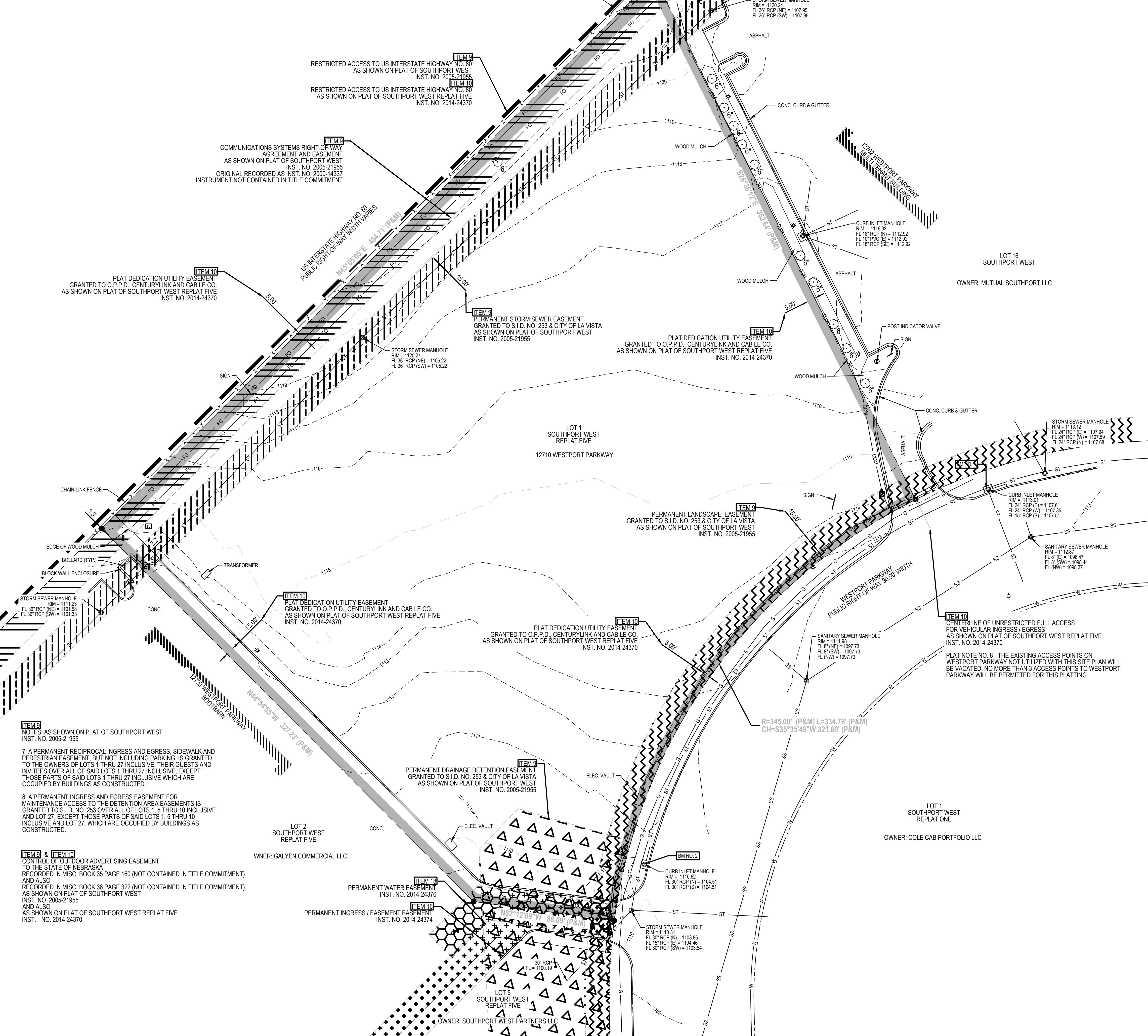
NO. 1
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.

ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

NO. 2

CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF 12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT PARKWAY.

ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON



UTILITIES NOTE:

NO. 18210274
THE FOLLOWING UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED EVIDENCE, TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKING BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES; HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES.

MISCELLANEOUS NOTES:

- 1) NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK AT TIME OF FIELDWORK, NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 2) NO OBSERVABLE EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION, OR NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

FLOOD PLAIN STATEMENT:

SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AS SHOWN ON FIRM, FLOOD INSURANCE RATE MAP, SARPY COUNTY, NEBRASKA AND INCORPORATED AREAS PANEL NUMBER 61 OF 255, CONTAINS COMMUNITY SARPY COUNTY, PANEL NUMBER 310190.0061 H, AND ALSO LA VISTA, CITY OF, PANEL NUMBER 310192.0061 H, AND ALSO PARILION, CITY OF, PANEL NUMBER 315275.0061 H, MAP NUMBER 31153C0061H, EFFECTIVE DATE MAY 3, 2010.

LEGAL DESCRIPTION

LOT 1, SOUTHPORT WEST REPLAT FIVE, AN ADDITION TO THE CITY OF LA VISTA, IN SARPY COUNTY, NEBRASKA.

SAID LOT 1, SOUTHPORT WEST REPLAT FIVE, CONTAINS AN AREA OF 147,991 SQUARE FEET OR 3.397 ACRES, MORE OR LESS.

SCHEDULE B PART II "EXCEPTIONS" FROM COMMITMENT FOR TITLE INSURANCE FILE NO. 18-13984:

EASEMENT LOCATIONS SHOWN ON DRAWING WERE COMPILED FROM COMMITMENT FOR TITLE COMMITMENT FILE NO. 18-13984, COMMITMENT DATE: MARCH 16, 2018 AT 7:30 AM, SUPPLIED BY GRS TITLE SERVICES, LLC, AS AGENT OF FIRST AMERICAN TITLE INSURANCE COMPANY.

ITEM 1 AND ITEM 8 ARE NOT SURVEY MATTERS.

ITEM 9 PROVISIONS OF THE PLAT OF SOUTHPORT WEST, RECORDED AS INSTRUMENT NO. 2005-21955 OF THE PUBLIC RECORDS OF SARPY COUNTY, NEBRASKA. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)

ITEM 10 PROVISIONS OF THE PLAT OF SOUTHPORT WEST REPLAT FIVE, RECORDED IN AS INSTRUMENT NO. 2014-24370 OF THE PUBLIC RECORDS OF SARPY COUNTY, NEBRASKA. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)

ITEM 11 BURDENS AND OBLIGATIONS CONTAINED IN ORDINANCE NO. 960, AN ORDINANCE TO ANNEX CERTAIN REAL ESTATE TO THE CITY OF LA VISTA, RECORDED OCTOBER 3, 2005 AS INSTRUMENT NO. 2005-36237. (NOTE: THE AFOREMENTIONED RECORDED DOCUMENT APPEARS TO BE MISSING ONE OR MORE PAGES FROM THE ORIGINAL). (AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)

ITEM 12 DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, WHICH CONTAINS PROVISIONS FOR A PRIVATE CHARGE OR ASSESSMENTS, RECORDED AS INSTRUMENT NO. 2005-2248 AS AFFECTED BY FIRST AMENDMENT TO DECLARATION RECORDED AS INSTRUMENT NO. 2006-17152 AND AS AFFECTED BY SECOND AMENDMENT TO DECLARATION RECORDED AS INSTRUMENT NO. 2015-32100, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HINDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (AFFECTS SUBJECT PROPERTY, CONTAINS BLANKET EASEMENTS FOR COMMON AREAS AND RESERVATION OF UTILITY, UNPLOTTABLE)

NOTE: ASSIGNMENT OF RIGHTS AS DECLARANT UNDER DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SOUTHPORT WEST SUBDIVISION RECORDED JUNE 9, 2006 AS INSTRUMENT NO. 2006-19338. (AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)

NOTE: ASSIGNMENT OF RIGHTS AS DECLARANT UNDER DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SOUTHPORT WEST SUBDIVISION RECORDED APRIL 1, 2008 AS INSTRUMENT NO. 2008-08886. (AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)

ITEM 13 TERMS, CONDITIONS, BURDENS AND OBLIGATIONS CONTAINED IN FIRST AMENDMENT COMMERCIAL/INDUSTRIAL SUBDIVISION AGREEMENT SOUTHPORT WEST SUBDIVISION RECORDED SEPTEMBER 17, 2007 AS INSTRUMENT NO. 2007-28607. (AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)

ITEM 14 TERMS, CONDITIONS, BURDENS AND OBLIGATIONS CONTAINED IN SUBDIVISION AGREEMENT BY AND BETWEEN SOUTHPORT WEST PARTNERS, LLC AND THE CITY OF LA VISTA RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24372. (AFFECTS SUBJECT PROPERTY, CONTAINS BLANKED EASEMENTS FOR CROSS PARKING, ACCESS, UTILITIES, SURFACE WATER DRAINAGE, AND CITY USES, UNPLOTTABLE)

ITEM 15 SANITARY SEWER EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24373. (DOES NOT AFFECT SUBJECT PROPERTY)

ITEM 16 INGRESS AND EGRESS EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION AND THE GENERAL PUBLIC RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24374. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)

ITEM 17 12. STORM SEWER & DRAINAGE EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24375. (DOES NOT AFFECT SUBJECT PROPERTY)

ITEM 18 WATER EASEMENT AS GRANTED TO THE OWNERS OF LOTS 1 THROUGH 5, INCLUSIVE OF SOUTHPORT WEST REPLAT FIVE AND THE SOUTHPORT WEST OWNERS ASSOCIATION AND METROPOLITAN UTILITIES DISTRICT RECORDED OCTOBER 31, 2014 AS INSTRUMENT NO. 2014-24376. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON DRAWING)

ITEM 19 TERMS AND CONDITIONS, INCLUDING A GRANT OF LIEN RIGHTS, CONTAINED IN POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, MAINTENANCE AGREEMENT AND EASEMENT BY SOUTHPORT WEST PARTNERS, LLC RECORDED NOVEMBER 6, 2014 AS INSTRUMENT NO. 2014-24998. (AFFECTS SUBJECT PROPERTY, NOT AN EASEMENT)

ITEM 20 DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS FOR SHOPS AT SOUTHPORT WEST, INCLUDING ANY AMENDMENTS OR MODIFICATIONS THERETO, WHICH CONTAINS PROVISIONS FOR A PRIVATE CHARGE OR ASSESSMENTS RECORDED AS INSTRUMENT NO. 2014-25283, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HINDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (AFFECTS SUBJECT PROPERTY, CONTAINS BLANKED EASEMENTS FOR CROSS PARKING, ACCESS, UTILITIES, SURFACE WATER DRAINAGE, AND CITY USES, UNPLOTTABLE)

ITEM 21 NOT A SURVEY MATTER.

ZONING AND SETBACKS:

SUBJECT PROPERTY IS ZONED: C-3 HIGHWAY COMMERCIAL / OFFICE PARK DISTRICT WITH GATEWAY CORRIDOR OVERLAY DISTRICT

C-3 PERMITTED USES HEIGHT AND LOT REQUIREMENTS

LOT AREA	10,000 SQUARE FEET
LOT WIDTH	NO REQUIREMENT
FRONT YARD	25 FEET MINIMUM (1)
SIDE YARD	15 FEET MINIMUM
REAR YARD	15 FEET MINIMUM
MAX HEIGHT	90 FEET MAXIMUM (2)
MAX LOT COVERAGE	60%

(1) 25 FEET FRONT YARD SETBACK REQUIRED ONLY WHEN NO PARKING IN PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD THEN FRONT YARD SETBACK IS A MINIMUM OF FIFTY (50) FEET.

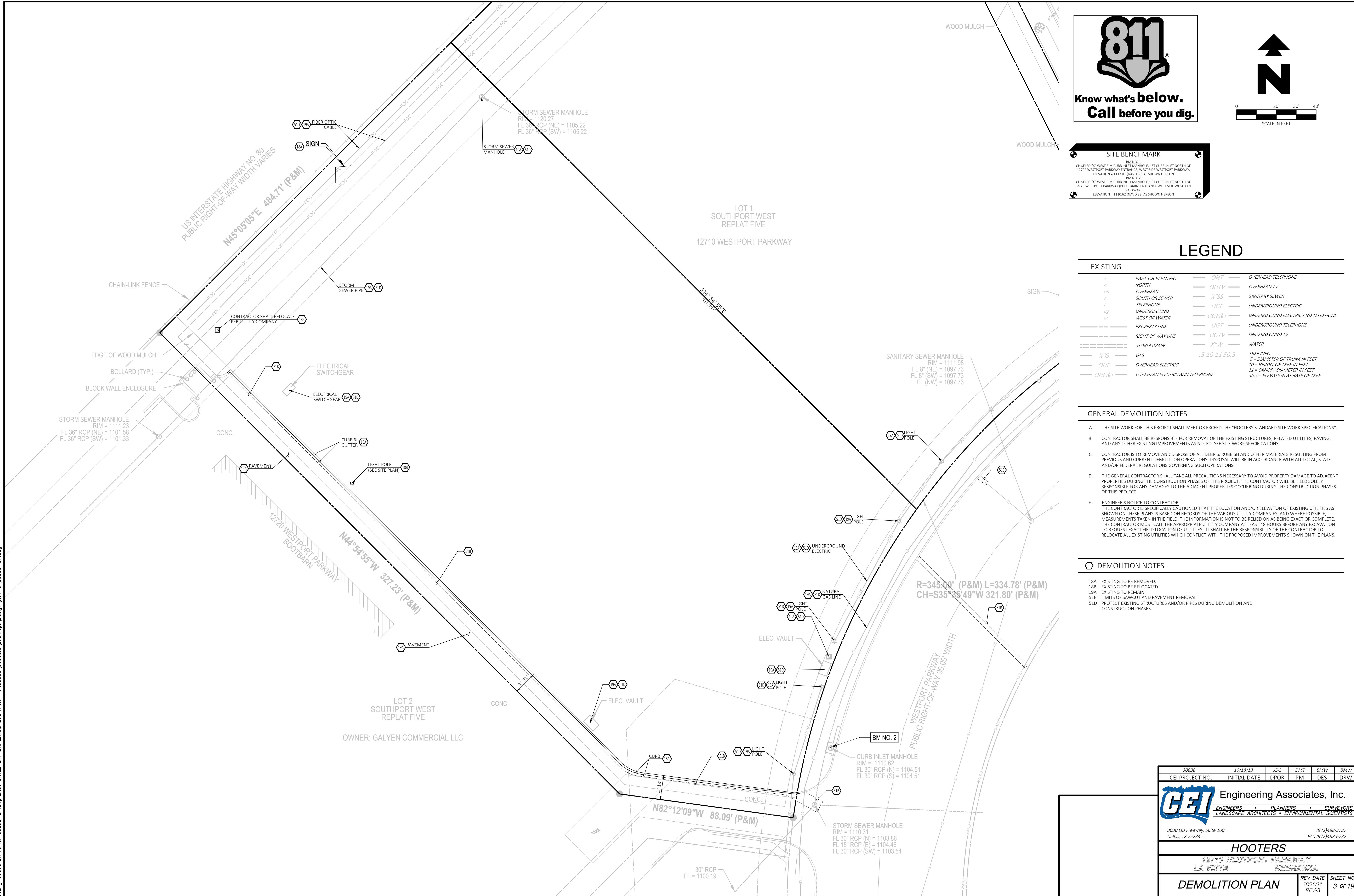
(2) ANY BUILDING WITHIN 100 FEET OF A RESIDENTIALLY ZONED DISTRICT SHALL NOT EXCEED 45 FEET IN HEIGHT. (ORDINANCE NO. 1082.11-18-08)

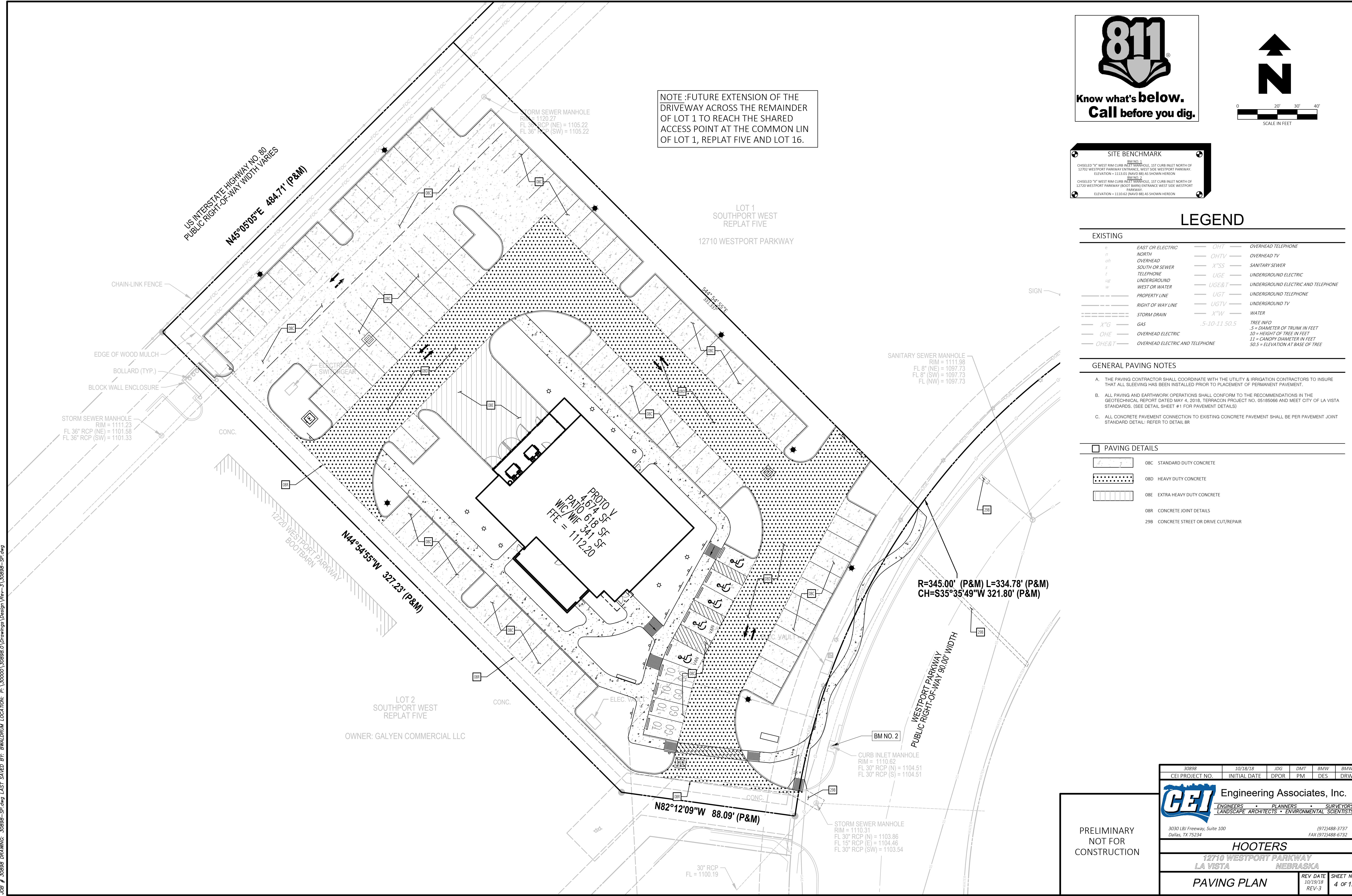
NOTE: NO ZONING REPORT OR LETTER WAS PROVIDED TO THE SURVEYOR LISTING CURRENT ZONING CLASSIFICATIONS, REQUIREMENTS OR RESTRICTIONS AS REQUIRED BY ALTA / NSPS TABLE A ITEM 6(A). ZONING AND SETBACKS AS SHOWN ON SURVEY WERE OBTAINED FROM CITY OF LA VISTA WEB-SITE.

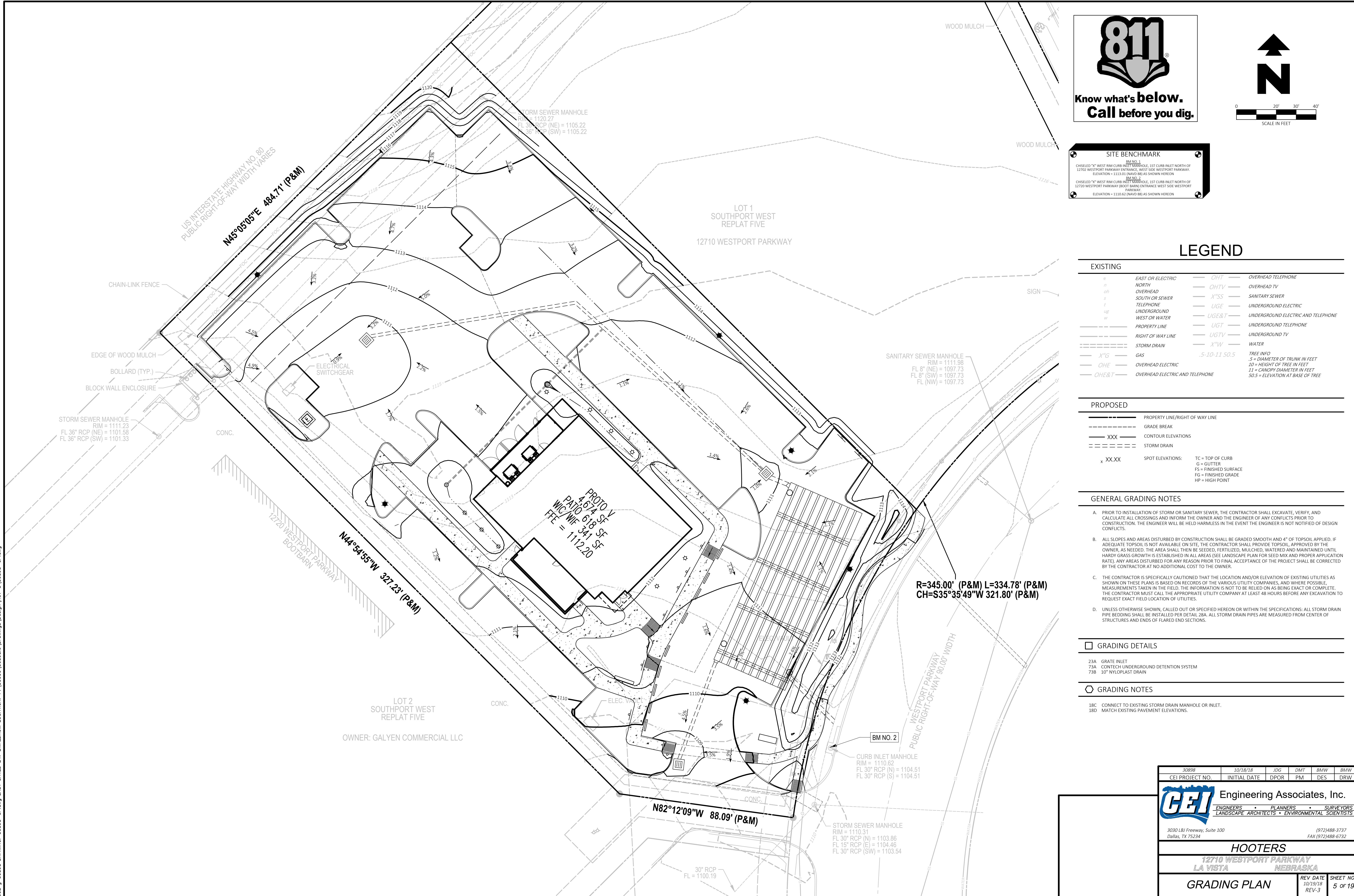
SURVEYOR'S CERTIFICATION:

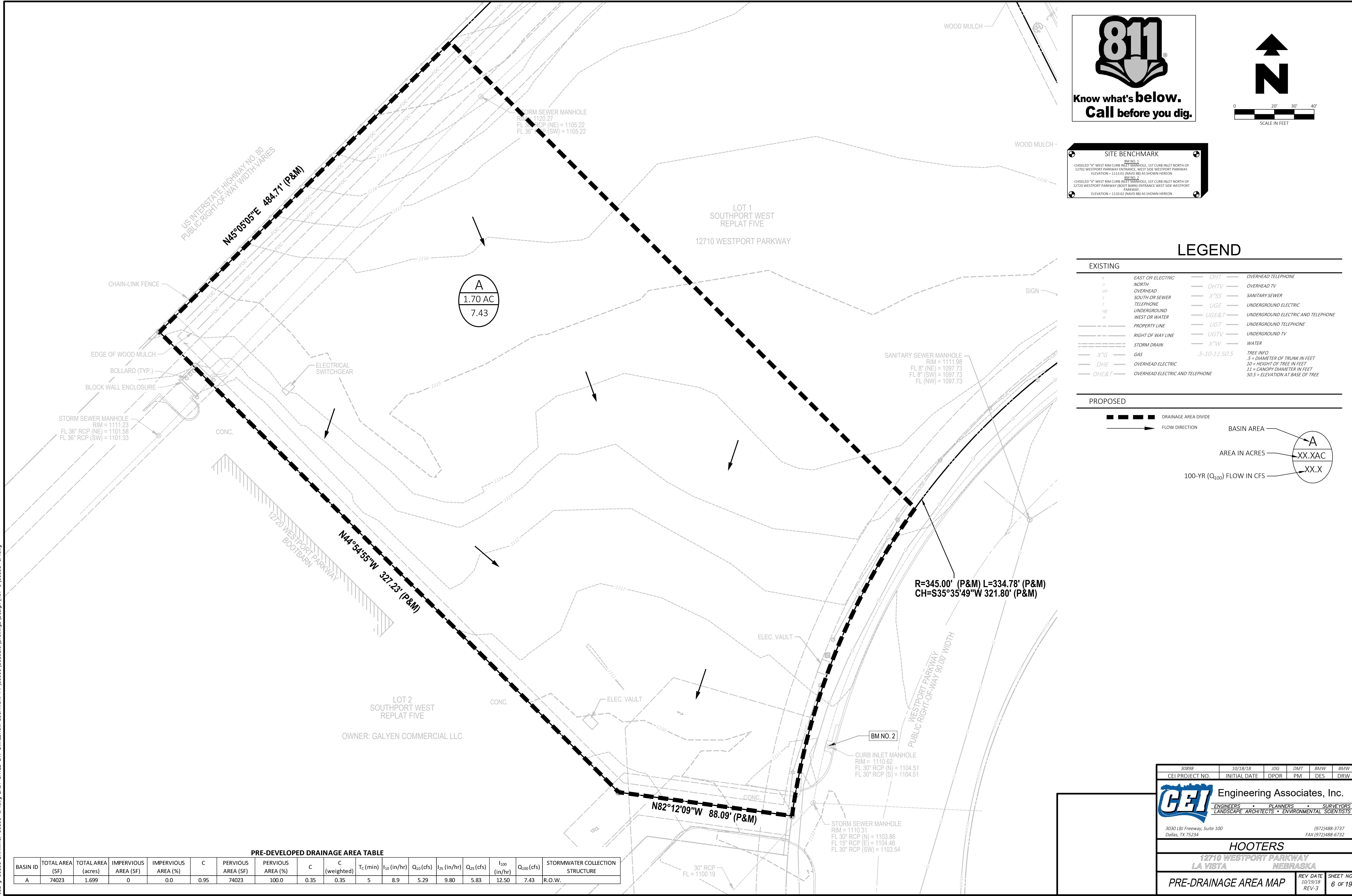
TO: HOA RESTAURANT HOLDER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND GRS TITLE SERVICES, LLC AS AGENT OF FIRST AMERICAN TITLE INSURANCE COMPANY.

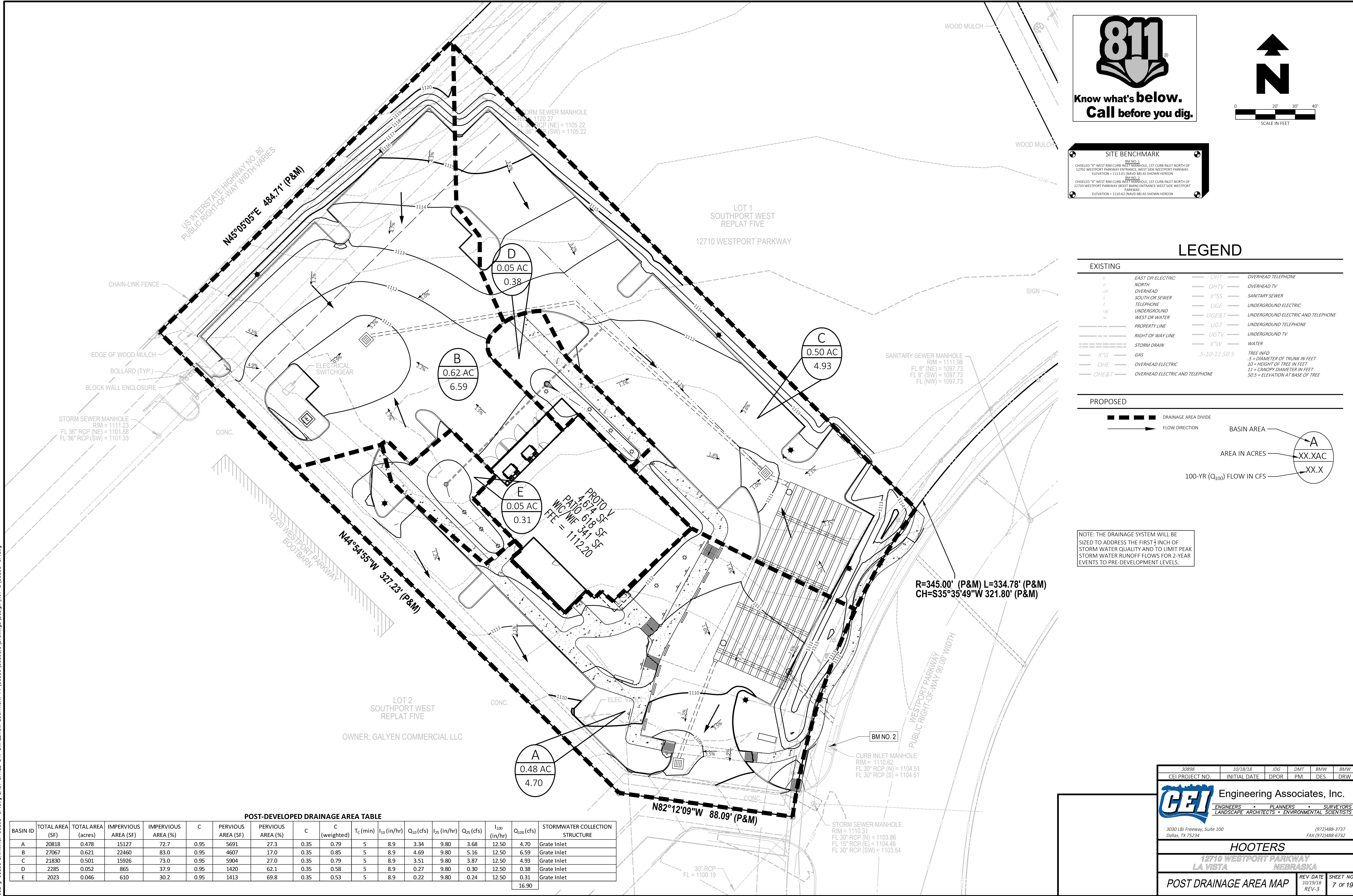
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 8, 11, 13 AND 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 24, 2018.

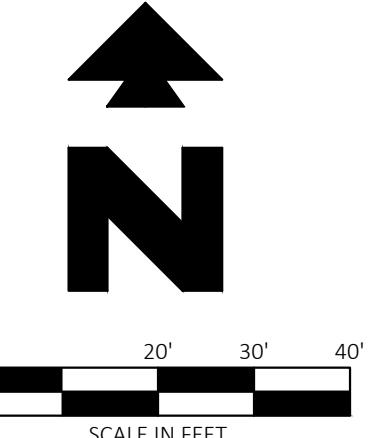
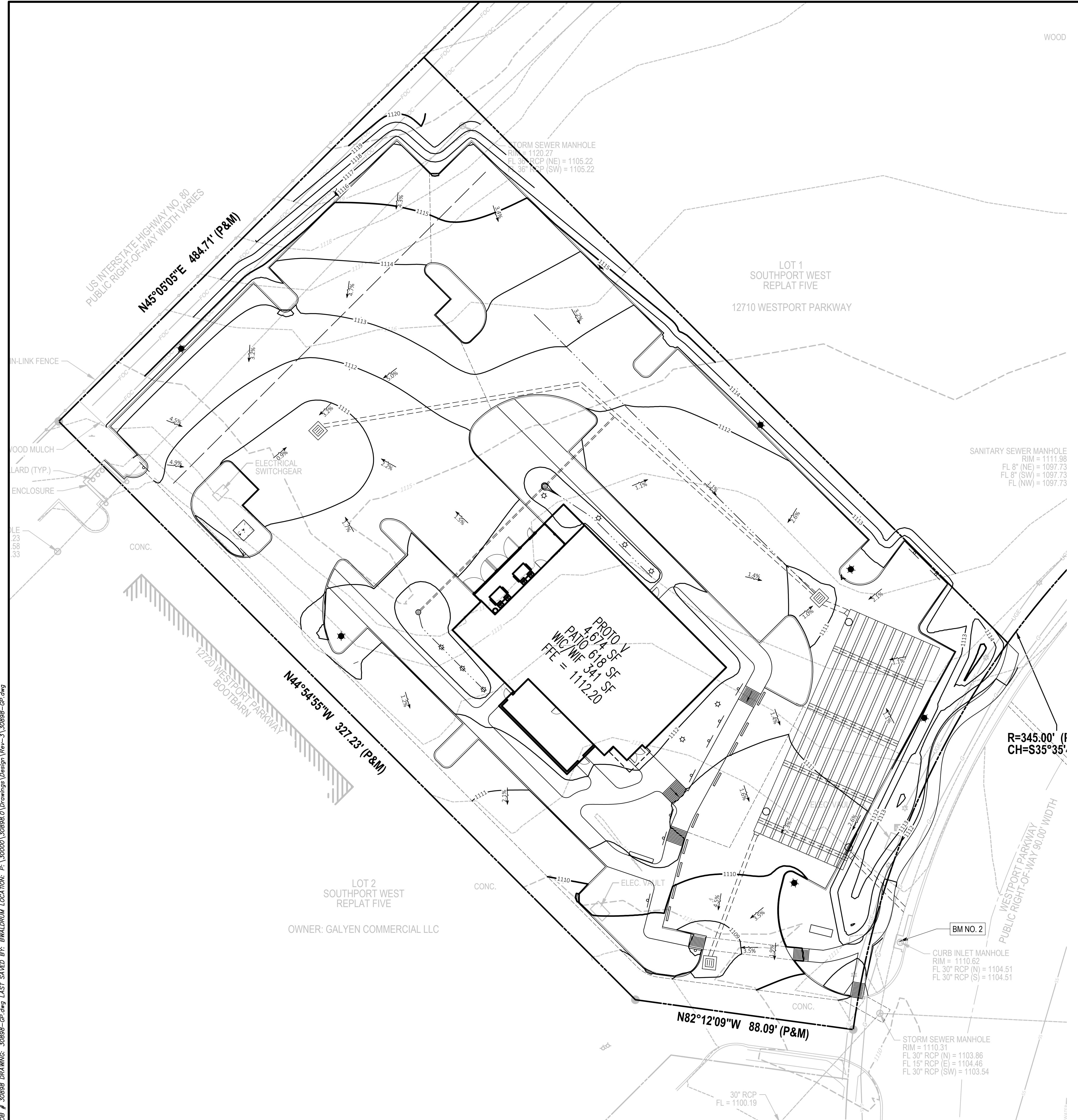












LEGEND

EROSION DETAILS

- 75A BIG RED CURB – MODEL SWP-CI
- 80A TEMPORARY BLOCK AND AGGREGATE INLET SEDIMENT FILTER
- 84A TEMPORARY SILT FENCE
- 85A TEMPORARY STONE CONSTRUCTION ENTRANCE
- 85C TEMPORARY CONCRETE WASH OUT.

SITE BENCHMARK

BM NO. 1
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF
12702 WESTPORT PARKWAY ENTRANCE, WEST SIDE WESTPORT PARKWAY.
ELEVATION = 1113.01 (NAVD 88) AS SHOWN HEREON

BM NO. 2
CHISELED "X" WEST RIM CURB INLET MANHOLE, 1ST CURB INLET NORTH OF
12720 WESTPORT PARKWAY (BOOT BARN) ENTRANCE WEST SIDE WESTPORT
PARKWAY.
ELEVATION = 1110.62 (NAVD 88) AS SHOWN HEREON

LEGEND

EXISTING			
e	EAST OR ELECTRIC	—	OHT
n	NORTH	—	OHTV
oh	OVERHEAD	—	X"SS
s	SOUTH OR SEWER	—	UGE
t	TELEPHONE	—	UGE&T
ug	UNDERGROUND	—	UGT
w	WEST OR WATER	—	UGTV
—	PROPERTY LINE	—	X"W
—	RIGHT OF WAY LINE	—	GAS
—	STORM DRAIN	—	OHE
—		—	OHE&T
		.5-10-11 50.5	
			TREE INFO
			.5 = DIAMETER OF TRUNK IN FEET
			10 = HEIGHT OF TREE IN FEET
			11 = CANOPY DIAMETER IN FEET
			50.5 = ELEVATION AT BASE OF TREE

GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEBRASKA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- P. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- Q. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

GENERAL EROSION NOTES CONT'D

MAINTENANCE
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM
WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL
CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION
CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN
CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE
FEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE ROLLED AWAY, CLEANED AND REPLACED.

SEQUENCE OF CONSTRUCTION

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- 2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
- 3. CONSTRUCT THE SILT FENCES ON THE SITE.
- 4. CLEAR AND GRUB THE SITE.
- 5. BEGIN GRADING THE SITE.
- 6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- 7. TEMPORARILY SEED DENUDED AREAS.
- 8. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- 9. INSTALL INLET PROTECTION DEVICES.
- 0. PREPARE SITE FOR PAVING.
- 1. PAVE SITE.
- 2. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- 3. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS

30898	10/18/18	JDG	DMT	BMW	BMW
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The logo for CEI Engineering Associates, Inc. features a large, stylized, blocky letter 'E' in the center, with 'CEI' stacked vertically to its left. The letters are white with a dark blue outline, set against a background of blue and white wavy lines suggesting water or a city skyline. To the right of the logo, the company name 'Engineering Associates, Inc.' is written in a large, black, sans-serif font. Below this, a horizontal line separates the logo from the company's services, which are listed in a smaller, black, sans-serif font.

uite 100 (972)
FAX (972)

HOOTERS

2710 WESTPORT PARKWAY

LA VISTA NEBRASKA

EROSION CONTROL PLAN

REV DATE 10/19/18 REV-3	 SHEET NO 8 OF 19
--------------------------------------	-----------------------------



0 20' 30' 40'
SCALE IN FEET

LEGEND

EXISTING

○	EAST OR ELECTRIC	OHE&T	OVERHEAD ELECTRIC AND TELEPHONE
○ ^h	OVERHEAD	OHT	OVERHEAD TELEPHONE
○ ^t	TELEPHONE	OHTV	OVERHEAD TV
○ ^u	UNDERGROUND	X'SS	SANITARY SEWER
○ ^w	WEST OR WATER	UGE	UNDERGROUND ELECTRIC
—	PROPERTY LINE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
—	RIGHT OF WAY LINE	UGT	UNDERGROUND TELEPHONE
—	STORM DRAIN	UGTV	UNDERGROUND TV
—	FIBER OPTIC CABLE	X'G	GAS
—	—	OHE	OVERHEAD ELECTRIC

PROPOSED

—	PROPERTY LINE/RIGHT OF WAY LINE
—	STORM DRAIN
—	POST INDICATOR VALVE
—	GAS
—	SANITARY SEWER SERVICE
—	UNDERGROUND ELECTRIC SERVICE
—	UGE&T
—	UGT
—	2'W
—	WATER SERVICE
—	6'W
—	FIRE LINE SERVICE
●	FIRE DEPARTMENT CONNECTION

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL BE PVC C-900 WITH 36" MIN. COVER.
- ALL SANITARY SEWER LINES SHALL BE PVC SDR-35 WITH 36" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31A. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

UTILITY DETAILS

298 CONCRETE STREET OR DRIVE CUT REPAIR
39A SANITARY SEWER MANHOLE (CAST IN PLACE)
39C SANITARY SEWER INSIDE DROP MANHOLE
40C SANITARY SEWER CLEAN-OUT

UTILITY NOTES

22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
22B MJ TAPPING SLEEVE WITH MJ, TAPPING VALVE AND THRUST BLOCKING WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
22D MJ TAPPING SLEEVE WITH MJ, TAPPING VALVE AND THRUST BLOCKING (SEE SIZES THIS SHEET).
22E 90 DEGREE MJ BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22H 45 DEGREE MJ BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22L SPRINKLER ENTRY PER ARCHITECT PLANS (SEE SIZES THIS SHEET).
22M POINT OF CONNECTION FOR UNDERGROUND WATER SERVICE (PER LOCAL WATER SERVICE PLANS) (SEE SIZES THIS SHEET).
22N INTERIOR BACK FLOW PREVENTER (PER ARCH. PLANS).
23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
23H GREASE TRAP WITH CLEAN-OUT (SIZE TO BE DETERMINED BY PLUMBING ENGINEER FOR MORE INFORMATION, SEE ARCHITECT'S BUILDING PLANS.).
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
24D PROPOSED ELECTRICAL SERVICE ENTRY.
26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE (PER TELEPHONE COMPANY REQUIREMENTS).
27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
27C PROPOSED GAS METER.
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
70A ELECTRIC AND COMMUNICATIONS SERVICE ENTRY (PER ARCH. PLANS)
70B POST INDICATOR VALVE (PER LOCAL CODES).

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10/18/18

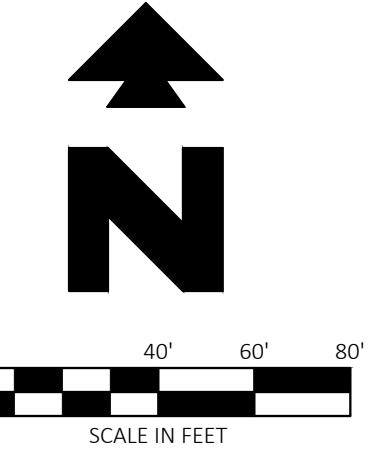
REV-3

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PRELIMINARY NOT FOR CONSTRUCTION

HOOTERS	
12710 WESTPORT PARKWAY	
LA VISTA NEBRASKA	
UTILITY PLAN	REV DATE



**Know what's below.
Call before you dig.**

LEGEND

EXISTING

e	EAST OR ELECTRIC	— OHT —	OVERHEAD TELEPHONE
n	NORTH	— OHTV —	OVERHEAD TV
oh	OVERHEAD	— X"SS —	SANITARY SEWER
s	SOUTH OR SEWER	— UGE —	UNDERGROUND ELECTRIC
t	TELEPHONE	— UGE&T —	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	— UGT —	UNDERGROUND TELEPHONE
w	WEST OR WATER	— UGTV —	UNDERGROUND TV
— — — — —	PROPERTY LINE	— X"W —	WATER
— — — — —	RIGHT OF WAY LINE	— X"G —	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
— — — — —	STORM DRAIN	— OHE —	OVERHEAD ELECTRIC
— — — — —	GAS	— OHE&T —	OVERHEAD ELECTRIC AND TELEPHONE

MINARY T FOR STRUCTION

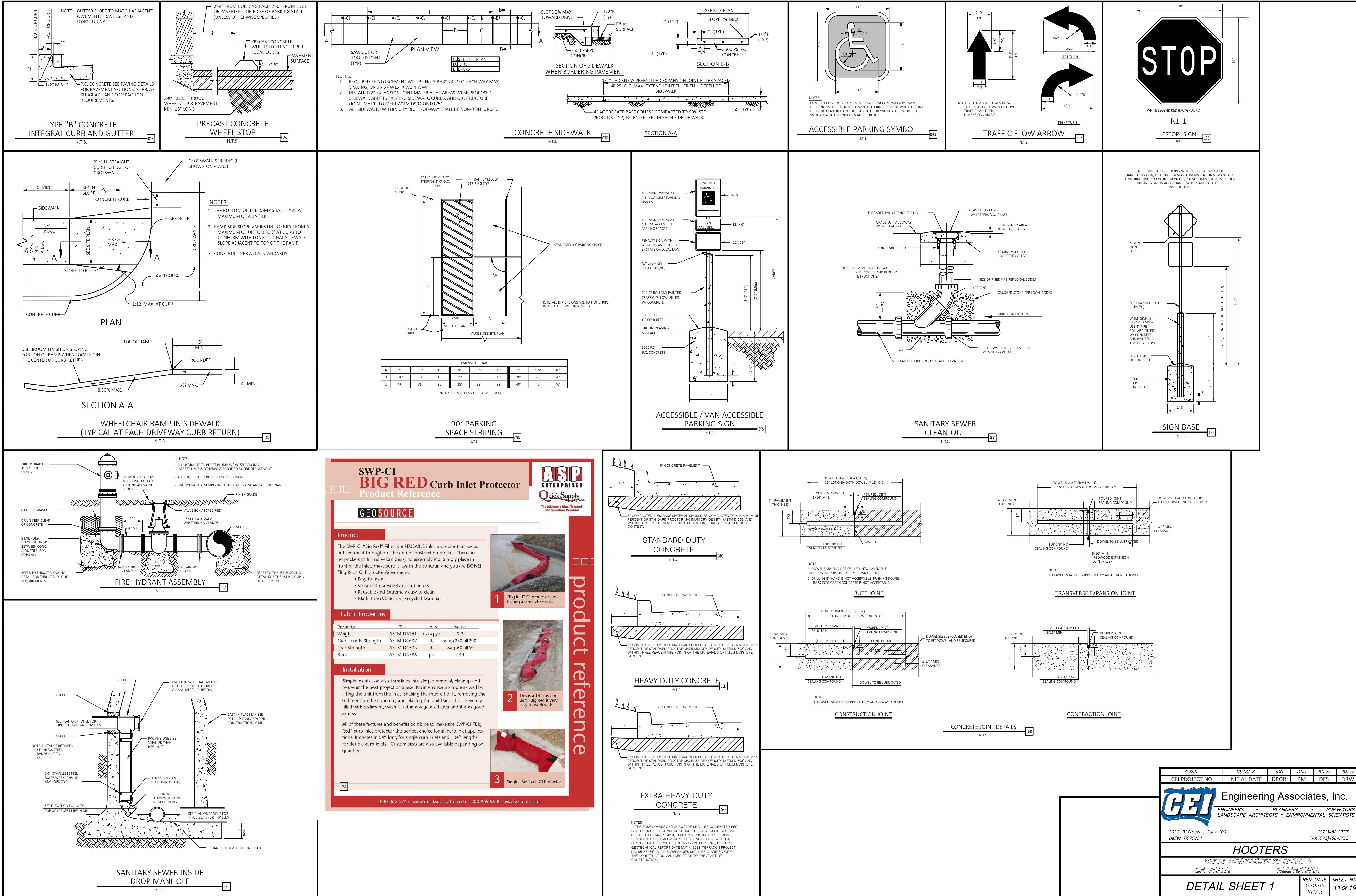


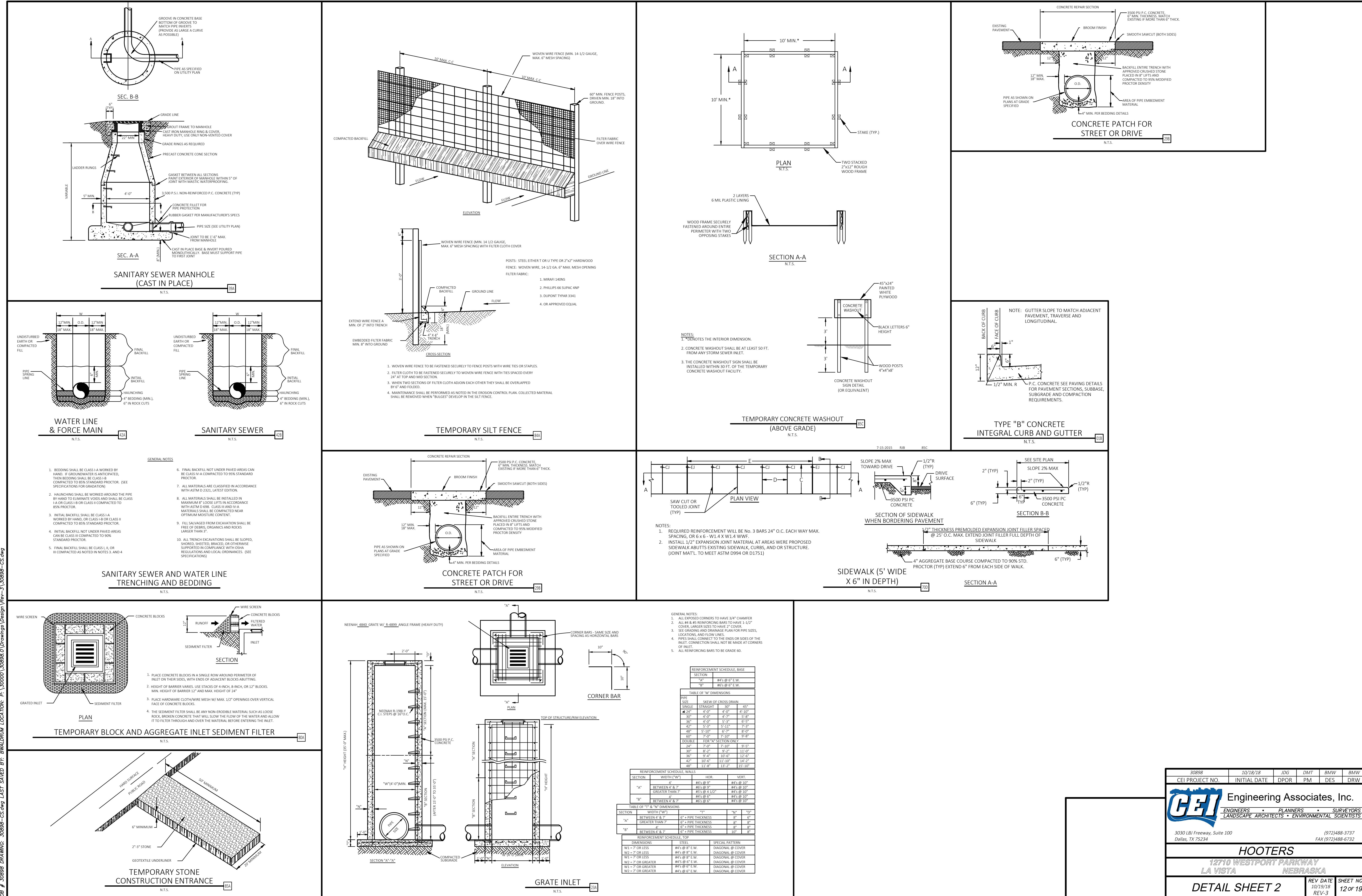
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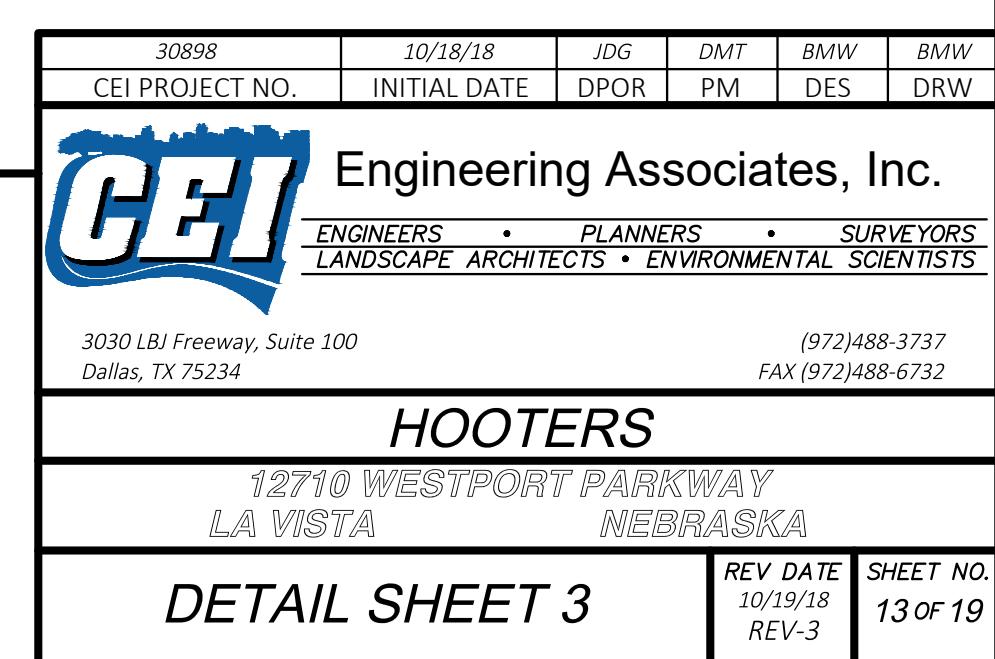
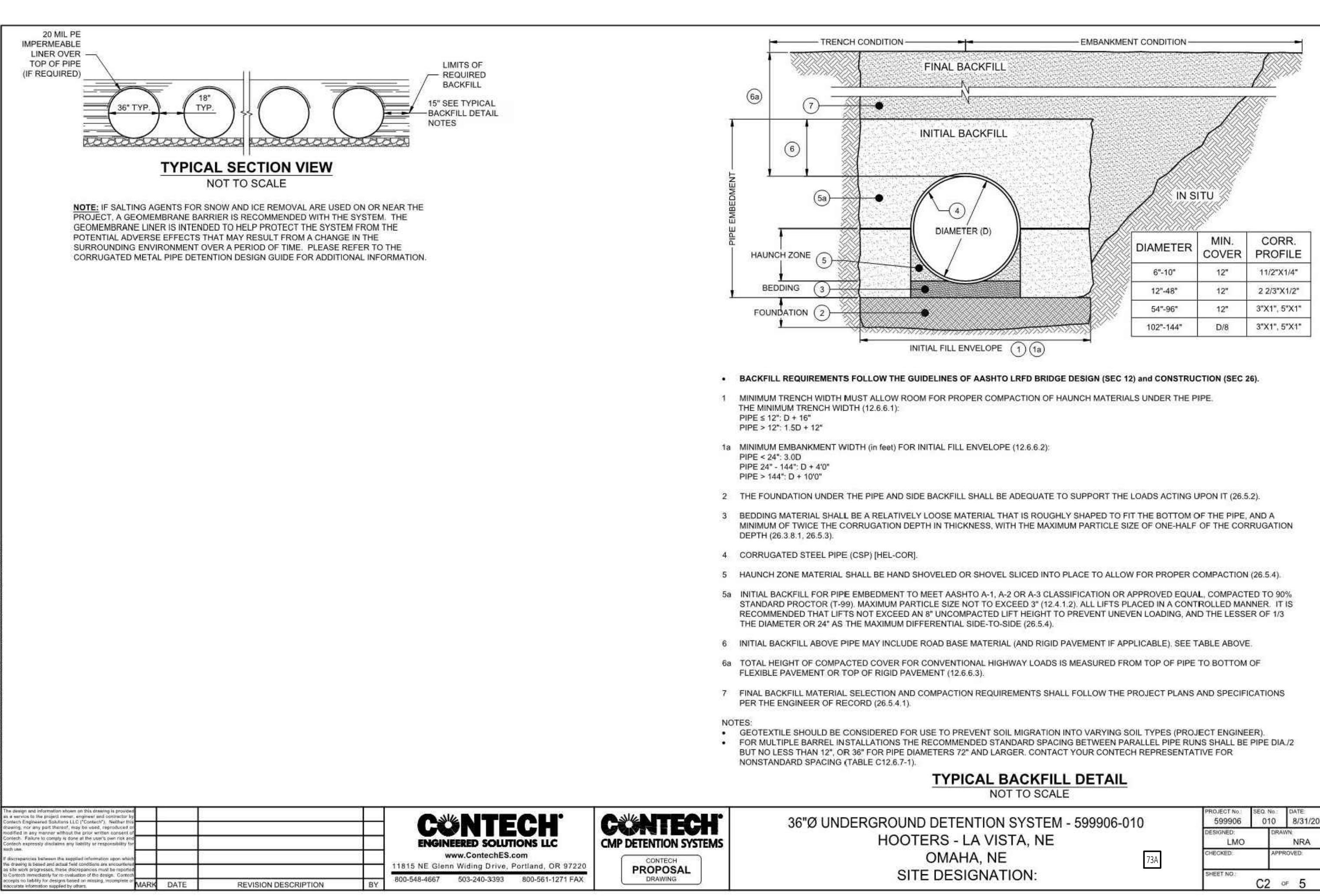
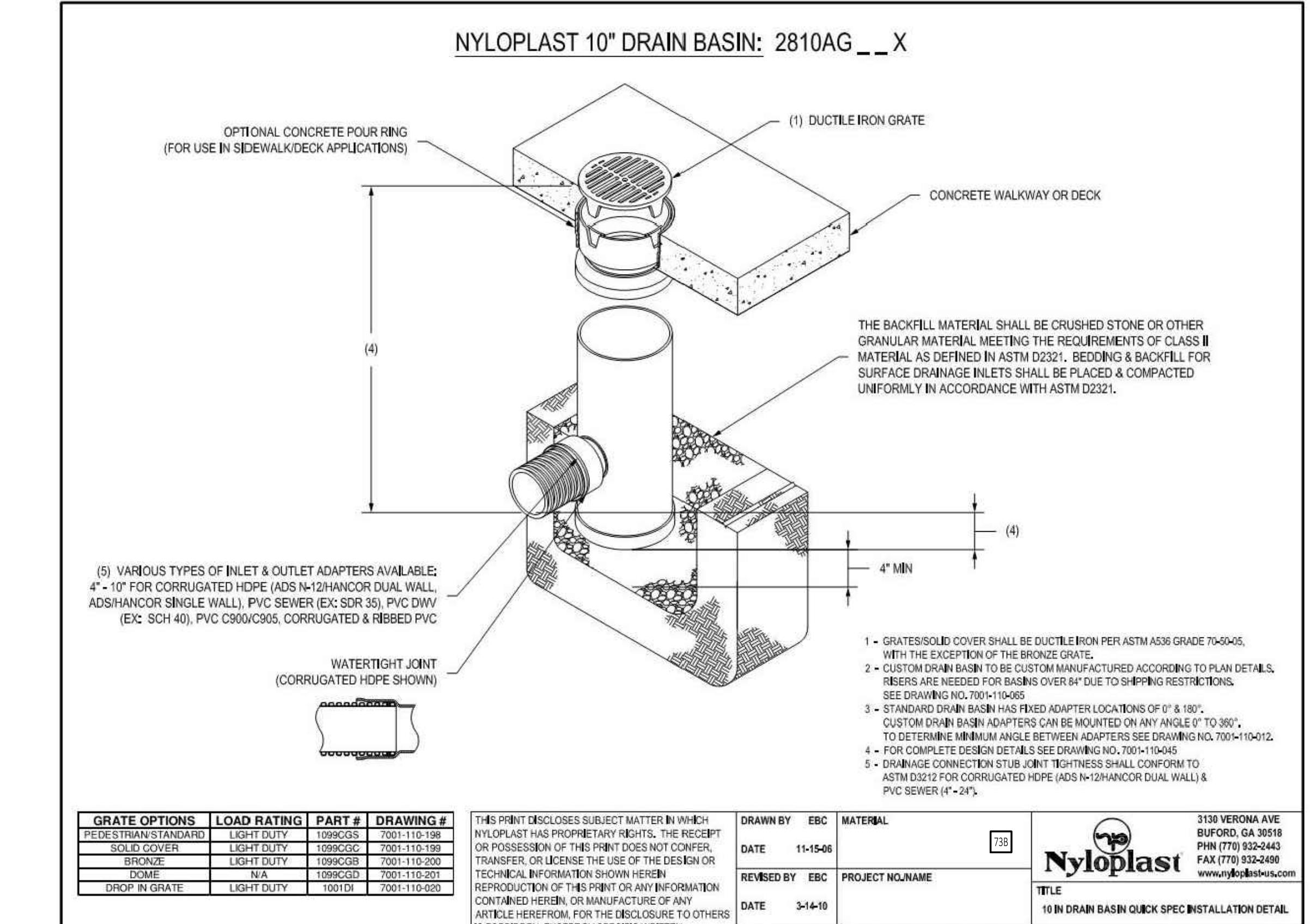
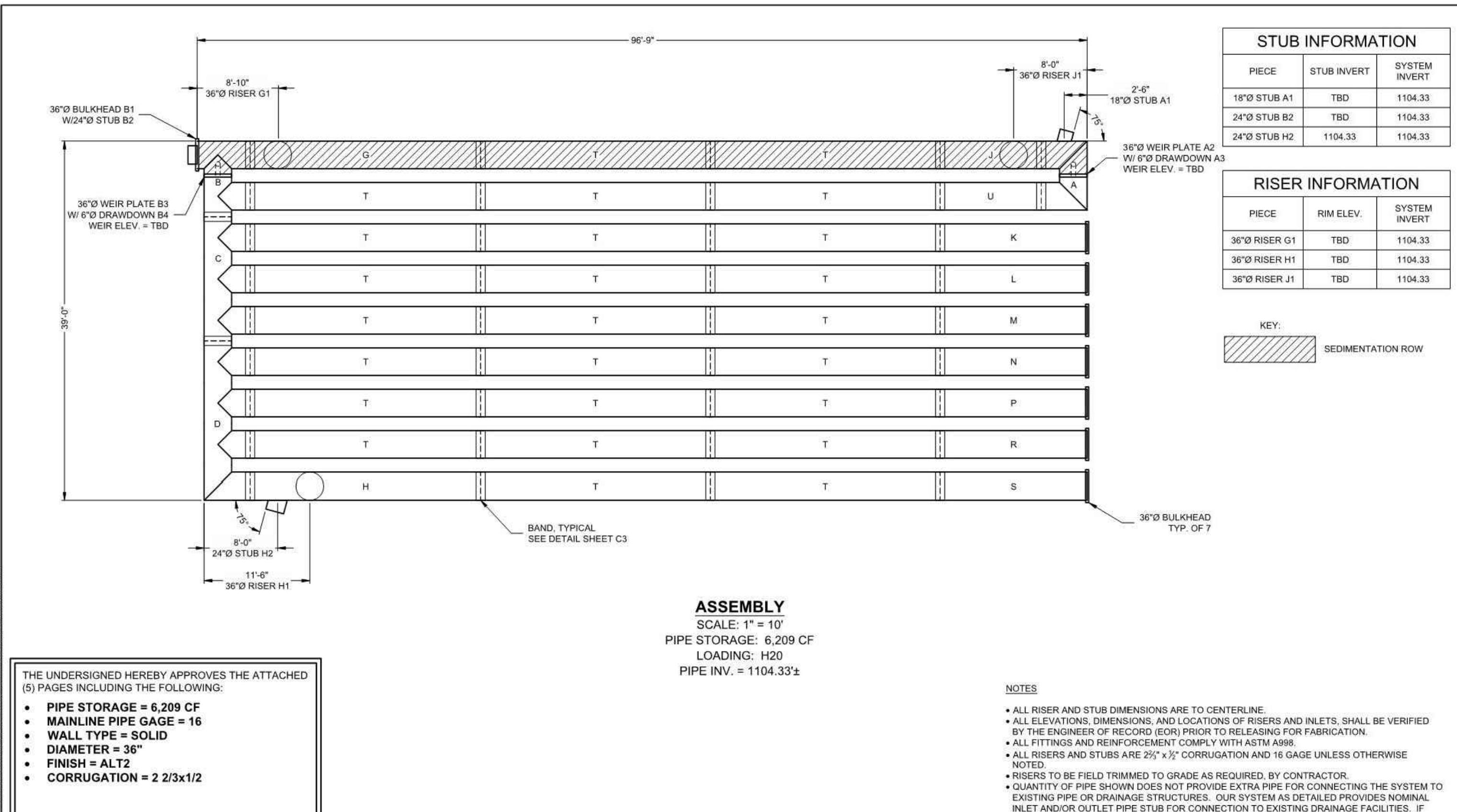
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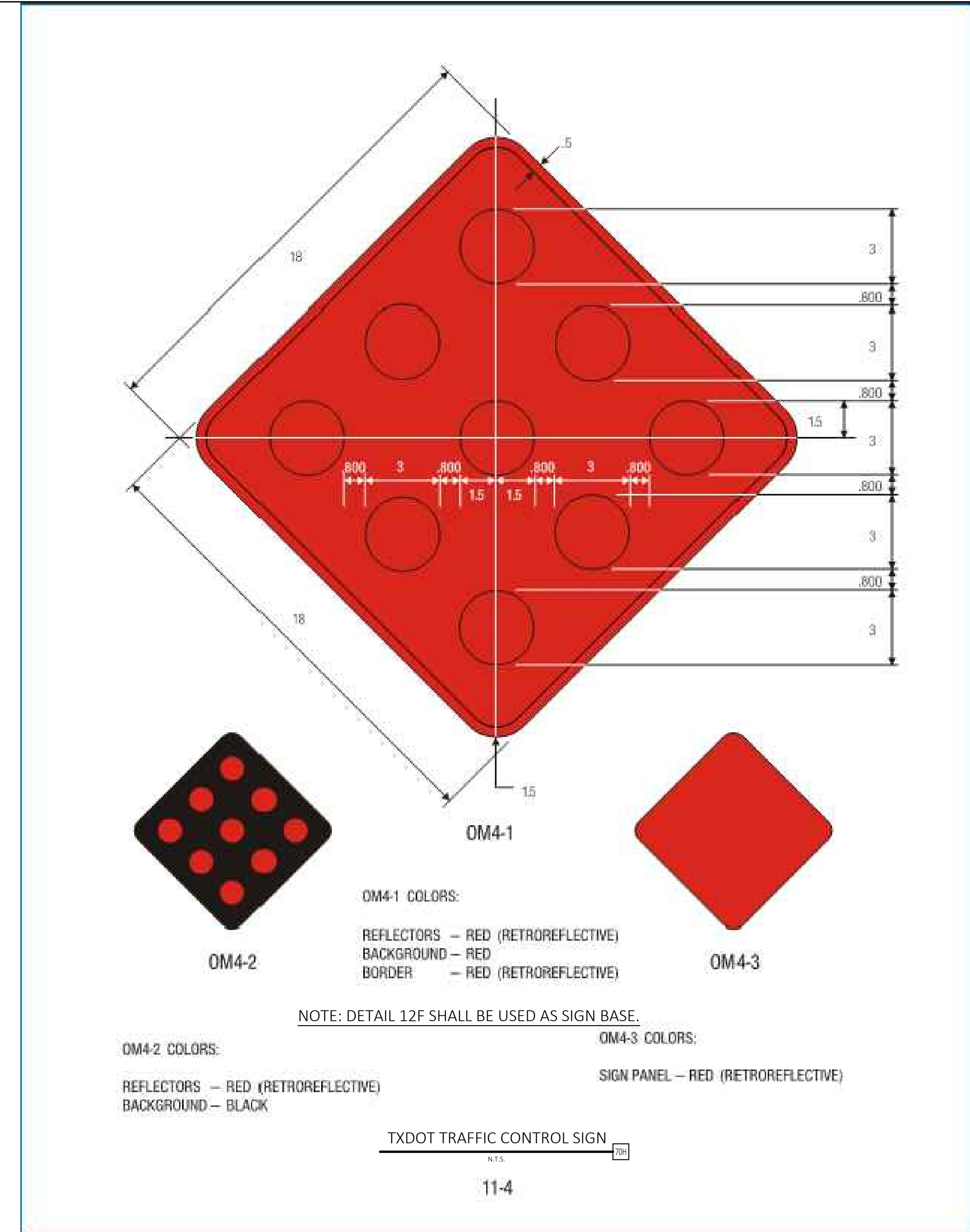
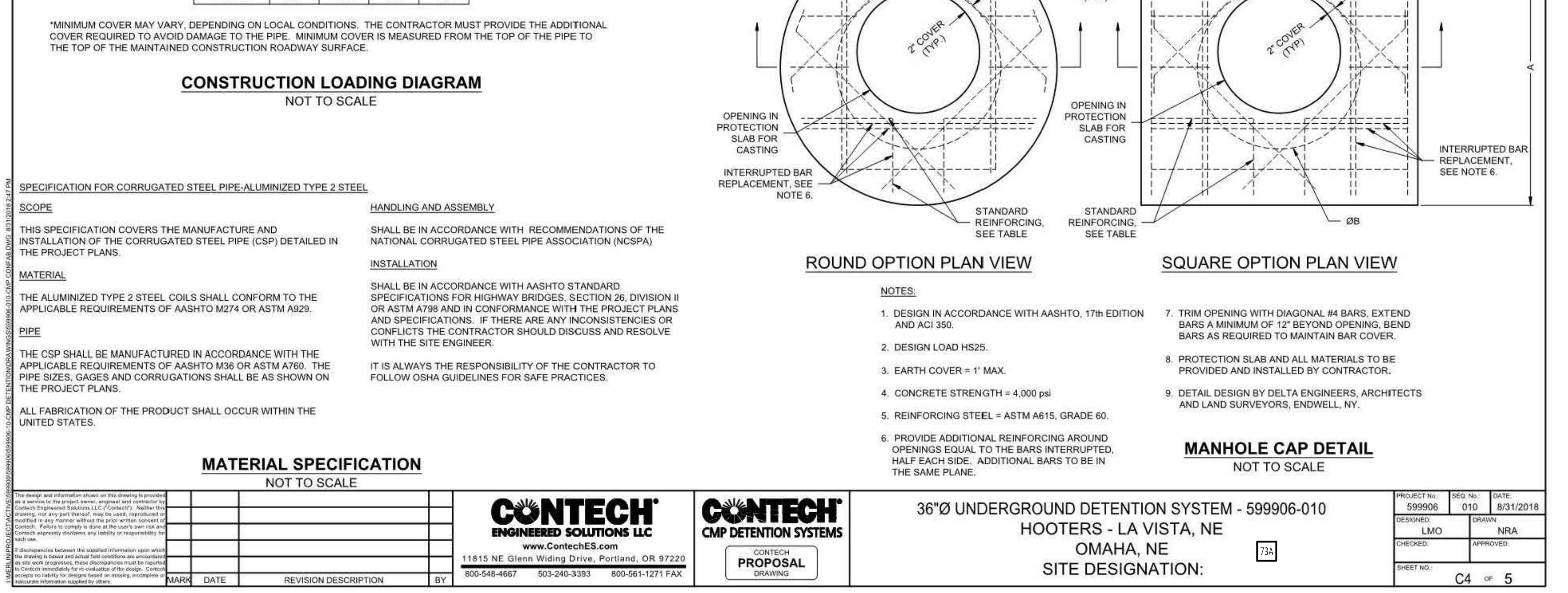
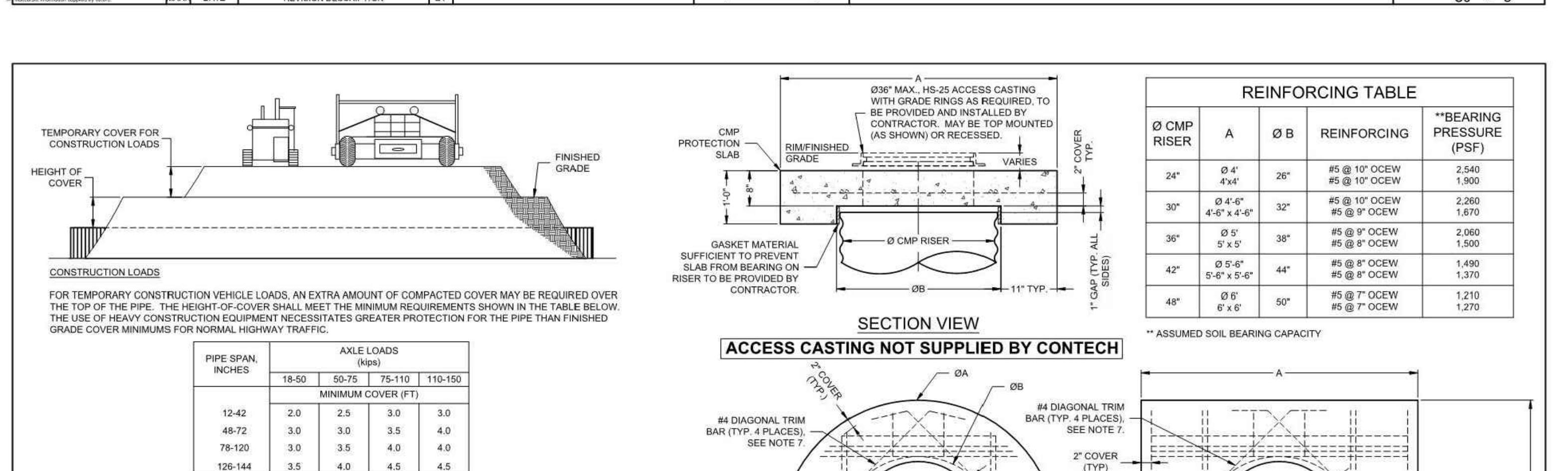
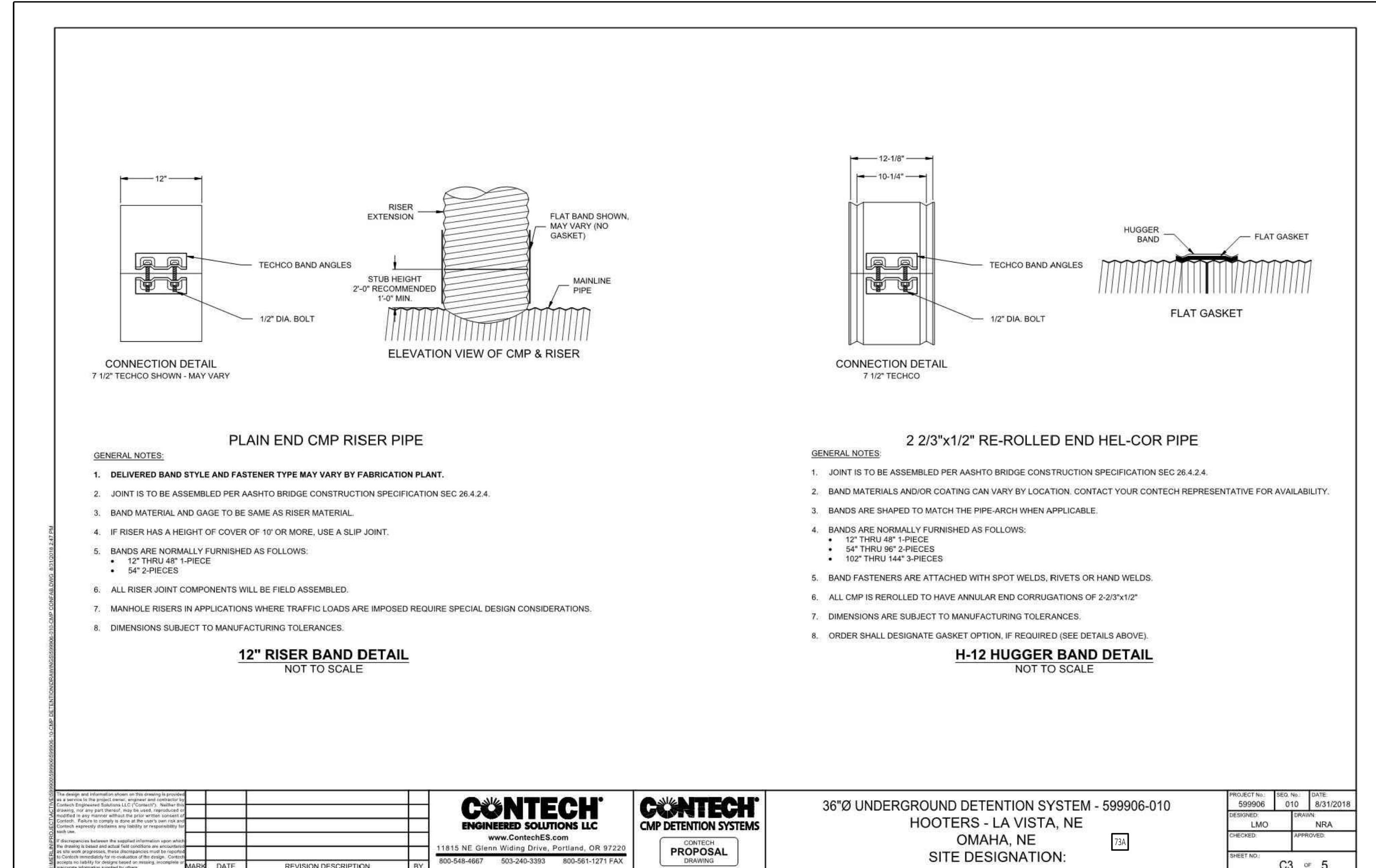
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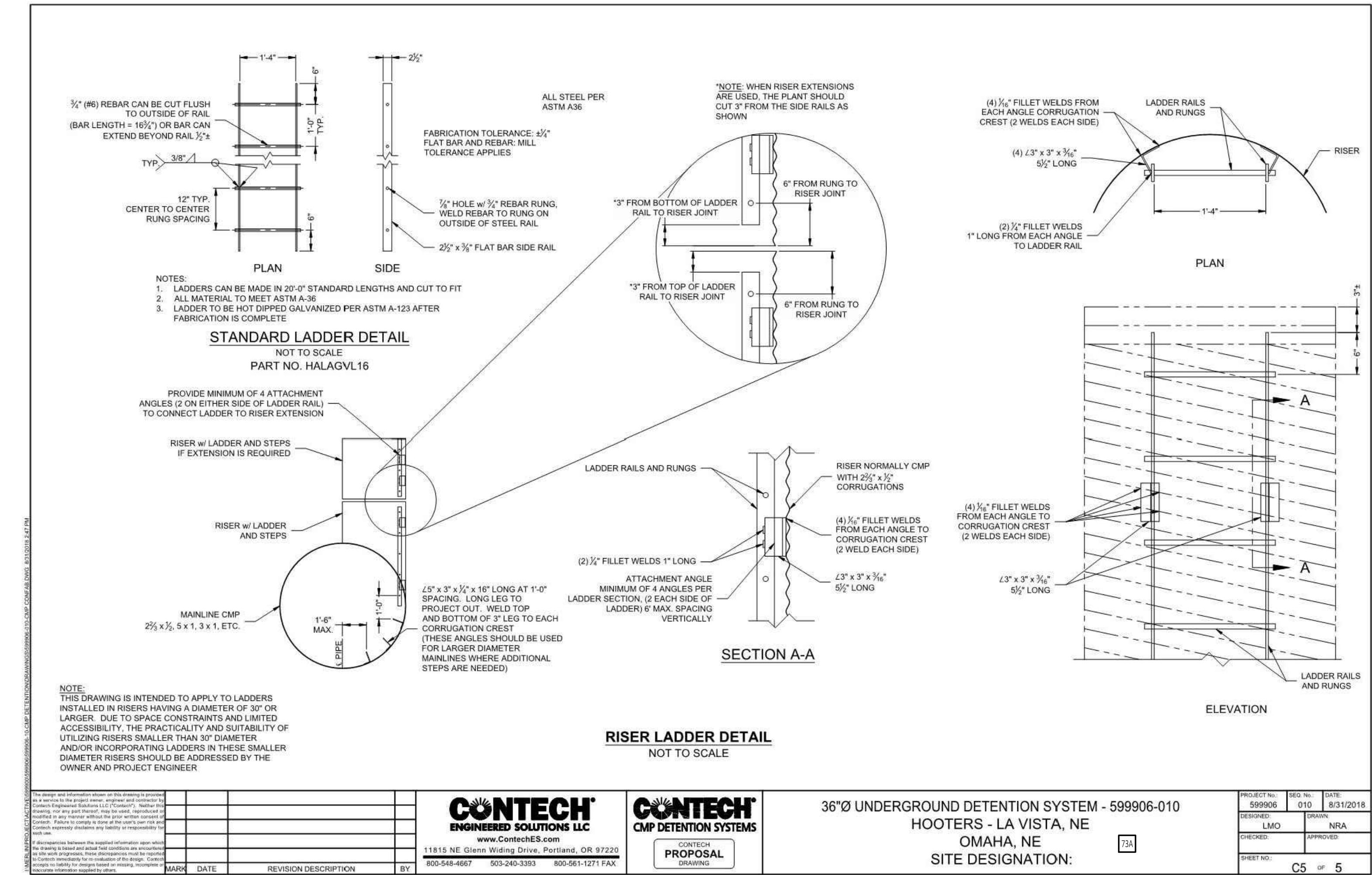
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<h1>HOOTERS</h1> <hr/> 12710 WESTPORT PARKWAY LA VISTA NEBRASKA					
EMERGENCY VEHICLE ACCESS PLAN			REV DATE 10/19/18 REV-3	SHEET NO. 10 OF 19	











Metal Backless Park Bench CAL-953B

CAL-953B is an elegant bench with curved edges for a softened appearance.

MATERIALS

DIMENSIONS

Length: 71.7" / 182cm
 Width: 21.7" / 55cm
 Height: 16.9" / 43cm
 Weight: 183lbs / 83kg

INSTALLATION

<https://canaanfurnishings.com/products/benches/metal-backless-park-bench-cal-953b/#2>

2/4

30898 10/18/18 JDG DMT BMW BMW
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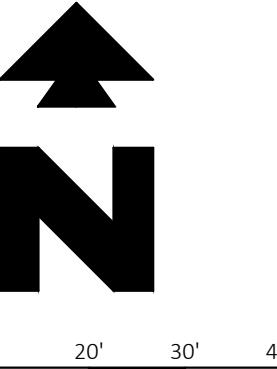
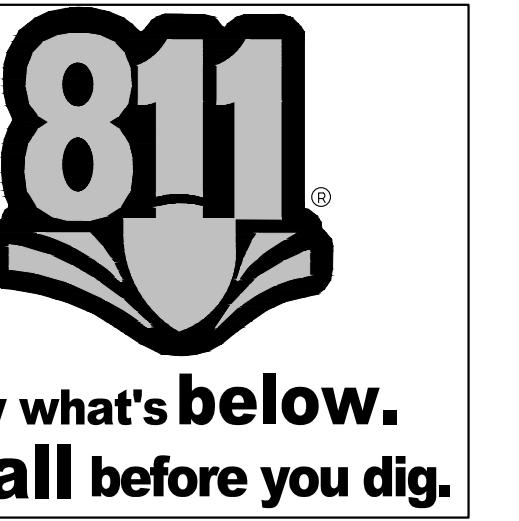
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HOOTERS

12710 WESTPORT PARKWAY
 LA VISTA NEBRASKA

DETAIL SHEET 5

REV DATE 10/19/18 SHEET NO. 15 OF 19
 REV-3



**Know what's below.
Call before you dig.**

A horizontal scale bar divided into four segments. The first segment is black and labeled '0'. The second segment is white and labeled '20''. The third segment is black and labeled '30''. The fourth segment is black and labeled '4'. Below the scale bar, the text 'SCALE IN FEET' is centered.

LEGEND

CITY OF LA VISTA LANDSCAPE REQUIREMENTS			
AREA	PROVISION	REQUIRED	PROVIDED
OPEN SPACE AND BUFFER AREA	THE MINIMUM REQUIRED OPEN SPACE IN THIS PARCEL SHALL BE EQUAL TO AT LEAST 25% OF THE GROSS LOT AREA	74,022 SF OF GROSS LOT AREA * 25% = 18,505 SF OF OPEN SPACE REQUIRED	19,160 SF (25.8%) OF OPEN SPACE PROVIDED
STREET FRONTAGE ALONG WESTPORT PARKWAY	A 15' WIDE LANDSCAPE AREA SHALL BE PROVIDED ALONG THE STREET FRONTAGE		PROVIDED
	A MINIMUM OF ONE TREE SHALL BE PLANTED FOR EVERY 40 LF OF STREET FRONTAGE	168 LF / 40 = 5 TREES REQUIRED	5 TREES PROVIDED
PARKING AREA INTERIOR	PARKING AREAS SHALL INCLUDE LANDSCAPE AREAS EQUAL TO AT LEAST 10% OF THE TOTAL PAVED AREA	43,613 SF OF TOTAL PAVED AREA x 10% = 4,361 SF OF LANDSCAPE AREA REQUIRED	4,574 SF (10.5%) OF INTERIOR LANDSCAPE PROVIDED
	NO PARKING SPACE SHALL BE MORE THAN 120 LF FROM A LANDSCAPED SPACE WITHIN THE SAME PARKING ROW		PROVIDED
SCREENING	ALL PARKING LOTS ABUTTING A PUBLIC RIGHT OF WAY SHALL BE SCREENED FROM VIEW BY A COMBINATION OF 2.5+ TALL BERMS AND LANDSCAPING		
LANDSCAPING	THE MINIMUM LANDSCAPING SHALL BE 2 (2.5" CAL) TREES AND 5 SHRUBS OR 10 CLUMPING GRASSES PER 1000 SF OF OPEN SPACE	18,934 SF OF OPEN SPACE / 1000 = 19 TREES AND 95 SHRUBS OR 190 GRASSES REQUIRED	19 TREES AND 95 SHRUBS PROVIDED

EXISTING

e	EAST OR ELECTRIC	— — —	OHT	— — —	OVERHEAD TELEPHONE
n	NORTH	— — —	OHTV	— — —	OVERHEAD TV
oh	OVERHEAD	— — —	X"SS	— — —	SANITARY SEWER
s	SOUTH OR SEWER	— — —	UGE	— — —	UNDERGROUND ELECTRIC
t	TELEPHONE	— — —	UGE&T	— — —	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	— — —	UGT	— — —	UNDERGROUND TELEPHONE
w	WEST OR WATER	— — —	UGTV	— — —	UNDERGROUND TV
— — — — —	PROPERTY LINE	— — —	X"W	— — —	WATER
— — — — —	RIGHT OF WAY LINE	— — —			
— — — — —	STORM DRAIN	— — —			
— — — — —	GAS	.5-10-11 50.5			
— — — — —	OVERHEAD ELECTRIC				
— — — — —	OVERHEAD ELECTRIC AND TELEPHONE				
					TREE INFO
					.5 = DIAMETER OF TRUNK IN FEET
					10 = HEIGHT OF TREE IN FEET
					11 = CANOPY DIAMETER IN FEET
					50.5 = ELEVATION AT BASE OF TREE

PROPOSED

BOUNDARY LINE

RIGHT OF WAY LINE

STORM DRAIN

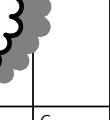
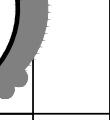
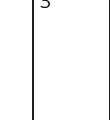
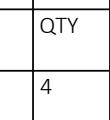
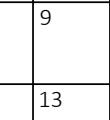
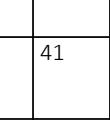
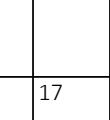
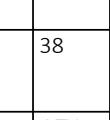
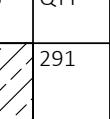
BERMUDA GRASS SOD

24" LANDSCAPE BOULDER

DETAILS (REFER TO SHEET L2)

- 50A TREE PLANTING
- 50B SHRUB PLANTING
- 50Q STEEL EDGING
- 70B BENCH WITH ARBOR

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	DETAIL	
	8	Acer rubrum 'Autumn Blaze` / Autumn Blaze Red Maple	B & B	2"Cal	40` DIA	50A	
	6	Betula nigra / River Birch Multi-Trunk	B & B	2"Cal	30` DIA	50A	
	2	Quercus rubra / Red Oak	B & B	2"Cal	40` DIA	50A	
	3	Malus Prairie Fire / Prairie Fire Crabapple	B & B	2 1/2"	20' DIA	50A	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	DETAIL	FIELD3		
	4	Ilex x attenuata 'Fosteri` / Foster`s Holly	5 gal	50B			
	28	Myrica pusilla / Dwarf Southern Wax Myrtle	5 gal	50B			
	9	Rhaphiolepis indica 'Indian Princess' TM / Indian Princess Indian Hawthorne	5 gal	50B			
	13	Rhus aromatica 'Autumn Amber` / Autumn Amber Sumac	5 gal	50B			
	41	Taxus x media 'Densiformis` / Dense Yew	5 gal	50B			
		Juniperus horizontalis 'Plumosa' / Andorra Juniper	5 gal	50B			
	17	Spirea japonica 'Magic Carpet' / Magic Carpet Spirea	3 gal	50B			
	38	Hemerocallis 'Eenie Weenie' / Eenie Weenie Daylily	1 gal	50B			
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME					SPACIN
	291	Liriope muscari / Lily Turf	4"pot	50B			12" o.c.

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CEI Engineering Associates, Inc.
ENGINEERS PLANNERS SURVEYORS

2020 LP15 Suite 100 (678) 123-3730

3030 LBJ Freeway, Suite 100 (972)488-3731
Dallas, TX 75234 FAX (972)488-6731

HOOTERS

12710 WESTPORT PARKWAY
LA VISTA, NEBRAKA

LA VISTA NEBRASKA REV. DATE SHEET

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSTRUCTION

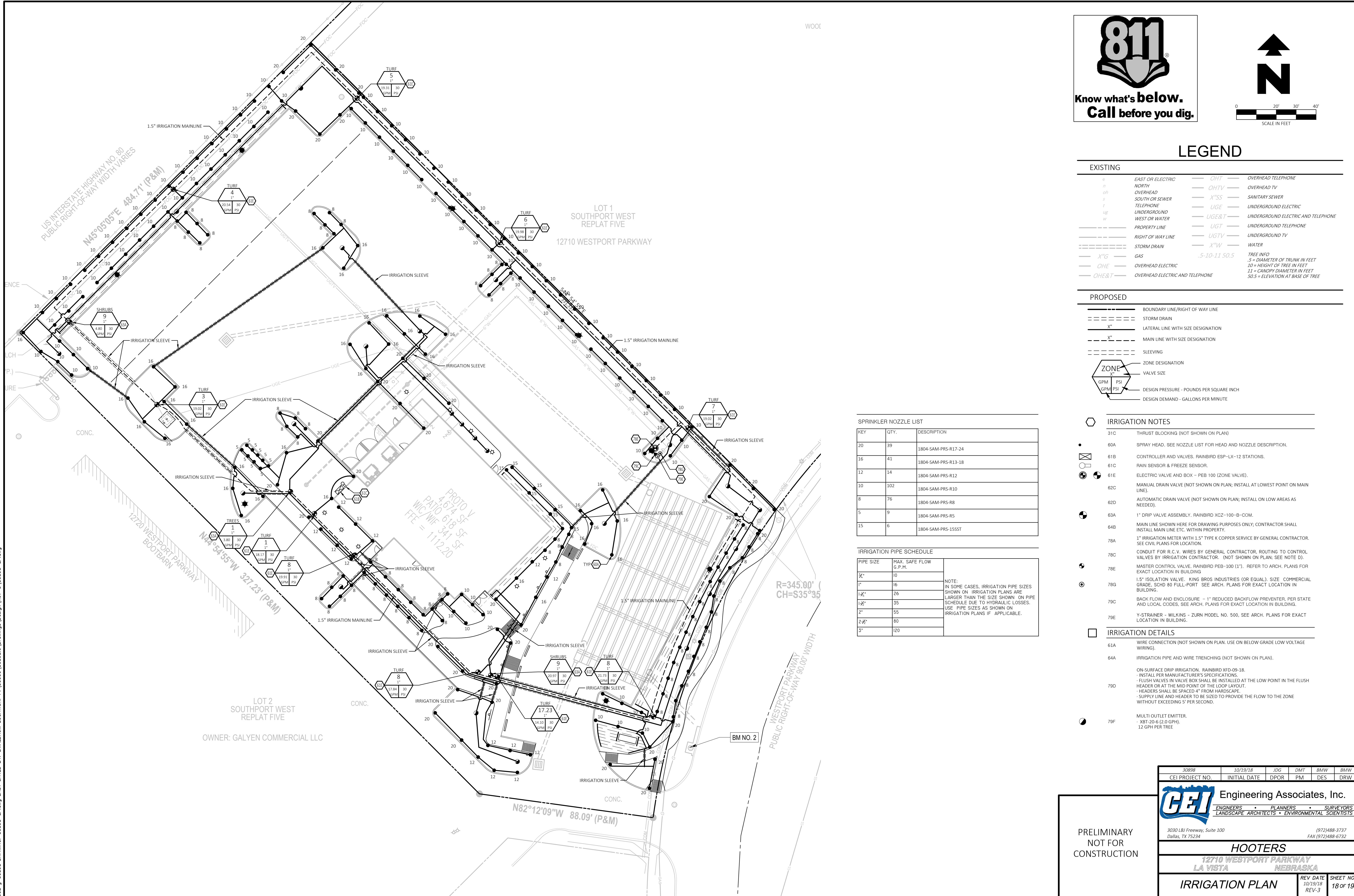
THE INFLUENCE OF THE CULTURE OF THE PARENTS ON THE CHILD'S LANGUAGE 11

LA VISTA NEBRASKA REV. DATE SHEET

LANDSCAPE PLAN

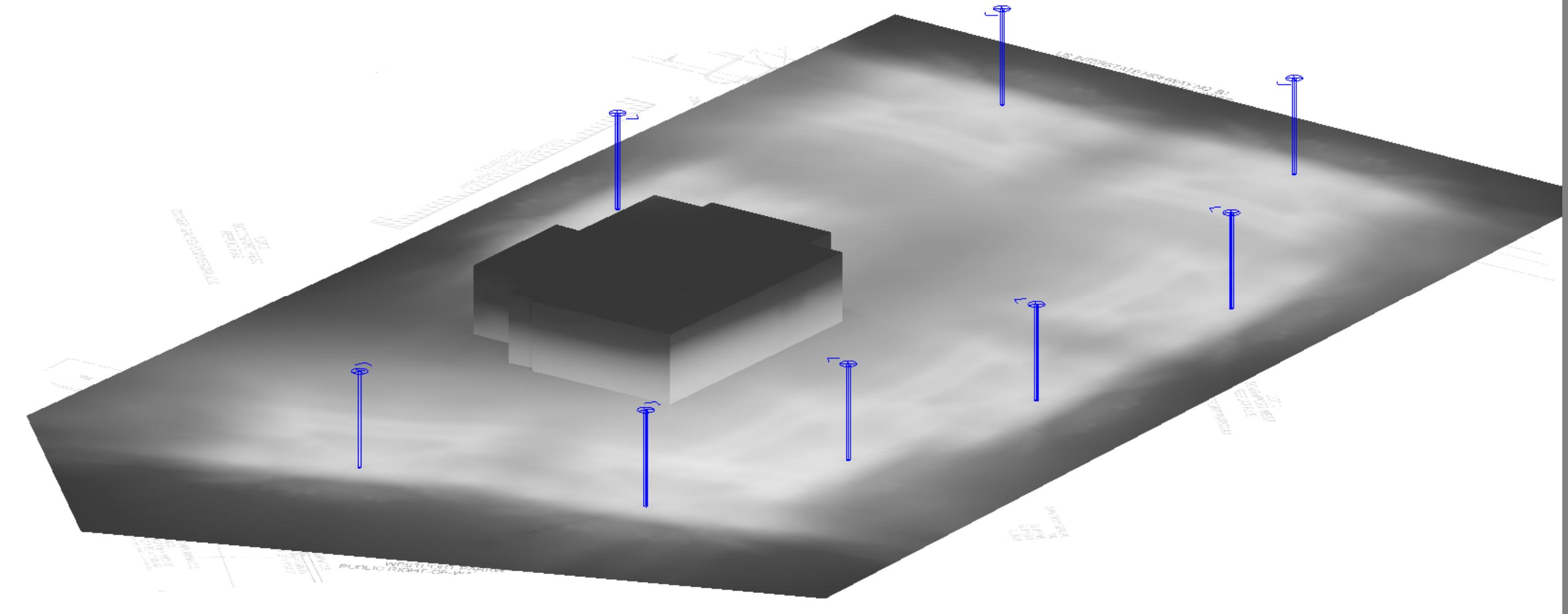
REV. DATE 10/19/18
REV. 3

CREATED 16 OCT 2018



Disclaimer

This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.



View #2

Note
 1. Readings shown are based on a total LLF as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
 2. Please refer to the "Plan View" for mounting heights.
 3. Product information can be obtained at www.Lithonia.com or through your local agency.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Parking Summary	◇	1.8 fc	4.4 fc	0.4 fc	11.0:1	4.5:1	
Spill Light Summary	+	0.9 fc	4.4 fc	0.0 fc	N/A	N/A	

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp
◇	A	8	Antique Street Lamps	EM25 400M MOG GCF SR4SC	EUROTIQUE ARCHITECTURAL LUMINAIRE WITH SR4SC REFLECTOR, CLEAR FLAT GLASS LENS.	ONE 400-WATT CLEAR ED28 METAL HALIDE, HORIZONTAL POS.	1	EM25_400M_M_OG_GCF_SR4SC_Cies	32000

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA**

Subject:	Type:	Submitted By:
APPLICATION FOR ZONING MAP AMENDMENT (REZONING) LOTS 6-11, CHALCO VALLEY BUSINESS PARK (SE OF 142 ND & CHALCO VALLEY PARKWAY)	◆ RESOLUTION ORDINANCE (1) RECEIVE/FILE	ANN BIRCH COMMUNITY DEVELOPMENT DIRECTOR

SYNOPSIS

A public hearing has been scheduled and an ordinance prepared to consider a rezoning for approximately 23.94 acres located southeast of 142nd Street and Chalco Valley Parkway.

FISCAL IMPACT

None.

RECOMMENDATION

Approval.

BACKGROUND

A public hearing has been scheduled to consider a Zoning Map amendment (rezoning) application by NEBCO Inc., on approximately 23.94 acres currently described as Lots 6-11, Chalco Valley Business Park. The property is generally located southeast of 142nd Street and Chalco Valley Parkway.

The purpose of the request is to allow for the lots to be rezoned from I-1 Light Industrial to I-2 Heavy Industrial. A detailed staff report is attached.

The Planning Commission held a public hearing on November 15, 2018, and unanimously recommended approval of the rezoning as the request is consistent with the Comprehensive Plan and Zoning Ordinance.

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF LA VISTA, SARPY COUNTY, NEBRASKA; AND TO PROVIDE FOR THE EFFECTIVE DATE HEREOF.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, SARPY COUNTY, NEBRASKA:

Section 1. Approval of Rezoning. On November 15, 2018, the La Vista Planning Commission conducted a public hearing on the matter of rezoning the tract of land set forth in Section 2 of this ordinance and reported to the City Council that it recommended approval of the zoning of said tract be changed from "I-1", Light Industrial and FF/FW Floodplain Districts (Overlay District) to "I-2" Heavy Industrial and FF/FW Floodplain Districts (Overlay District). On December 18, 2018, the City Council held a public hearing on said proposed change in zoning and found and determined that said proposed changes in zoning are advisable and in the best interests of the City. The City Council further found and determined that public hearings were duly held and notices, including published notice, written notice to adjacent property owners and notice posted at the properties, were duly given pursuant to Section 9.01 of the Zoning Ordinance. The City Council hereby approves said proposed changes in zoning as set forth in Section 2 of this ordinance.

Section 2. Amendment of the Official Zoning Map. Pursuant to Article 3 of the Zoning Ordinance, the following described tract of land is hereby rezoned from "I-1" Light Industrial and FF/FW Floodplain Districts (Overlay District) to "I-2" Heavy Industrial and FF/FW Floodplain Districts (Overlay District), and the Official Zoning Map of the City of La Vista is hereby amended to reflect the changes in zoning of the following described tracts of land from "I-1" Light Industrial and FF/FW Floodplain Districts (Overlay District) to "I-2" Heavy Industrial and FF/FW Floodplain Districts (Overlay District):

Lots 6-11 Chalco Valley Business Park, located in Section 13, Township 14 North, Range 11 East of the 6th P.M., Sarpy County, Nebraska.

The amended version of the official zoning map of the City of La Vista is hereby adopted and shall be signed by the Mayor, attested to by the City Clerk and shall bear the seal of the City under the following words:

"This is to certify that this is the official zoning map referred to in Article 3
Section 3.02 of Ordinance No. 848 of the City of La Vista, Nebraska"

and shall show the date of the adoption of that ordinance and this amendment.

Section 3. Effective Date. This ordinance shall be in full force and effect upon the date of passage, approval and publication as provided by law.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



CITY OF LA VISTA
PLANNING DIVISION

RECOMMENDATION REPORT

CASE NUMBER: PRZ-18-0002

For Hearing of: December 18, 2018
Report Prepared on: December 11, 2018

I. GENERAL INFORMATION

A. APPLICANT:

NEBCO Inc.
1815 Y Street
Lincoln, NE 68501

B. PROPERTY OWNER:

NEBCO Inc.
1815 Y Street
Lincoln, NE 68501

C. LOCATION: South of Chalco Valley Parkway

D. LEGAL DESCRIPTION: Lots 6-11, Chalco Valley Business Park

E. REQUESTED ACTION(S):

Zoning Map Amendment (Rezoning) from I-1 Light Industrial and a FF/FW Floodplain Districts (Overlay District) to I-2 Light Industrial with a FF/FW Floodplain Districts (Overlay District).

F. EXISTING ZONING AND LAND USE:

I-1 Light Industrial and a FF/FW Floodplain Districts (Overlay District);

The Future Land Use Map designates this area as industrial. Midwest Industrial Tools (Business Services) operates on Lot 9 and Midwest Turf and Irrigation (Facilities for Building Construction Contractors) operates on Lot 11. Lots 6-8 and 10 are vacant.

G. PURPOSE OF REQUEST: Zoning Map Amendment to allow for the rezoning of Lots 6-11, Chalco Valley Business Park to I-2, Heavy Industrial District and FF/FW Floodplain Districts (Overlay District), for the purpose of industrial development.

H. SIZE OF SITE: 23.94 Acres

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** Two lots are developed with industrial uses and three lots are vacant. The land is relatively flat with a gradual slope to the southeast.
- B. GENERAL NEIGHBORHOOD/AREA ZONING AND LAND USES:**
 - 1. North:** I-1 Light Industrial District; Miscellaneous Industrial Uses
 - 2. East:** I-1 Light Industrial District and FF/FW Floodplain Districts (Overlay District); Miscellaneous Industrial Uses
 - 3. South:** I-2 Heavy Industrial District and FF/FW Floodplain Districts (Overlay District); Miscellaneous Industrial Uses
 - 4. West:** Lot 12 Chalco Valley Business Park; I-1 Light Industrial District and FF/FW Floodplain Districts (Overlay District); Vacant
- C. RELEVANT CASE HISTORY:**
 - 1. N/A
- D. APPLICABLE REGULATIONS:**
 - 1. Chapter 4 of the La Vista Comprehensive Plan 2007 – Future Land Use Plan
 - 2. Section 5.14 of the Zoning Regulations – I-2 Heavy Industrial District
 - 3. Section 5.18 of the Zoning Regulations – Flood Plain Districts (Overlay District)

III. ANALYSIS

- A. COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan currently shows industrial land uses.
- B. OTHER PLANS:** Not applicable.
- C. TRAFFIC AND ACCESS:**
 - 1. Access to the lots are provided through frontage along Chalco Valley Parkway, which connects to 144th Street through Chandler Road.
 - 2. The primary differences between the I-1 Light Industrial District and the I-2 Industrial District involves the uses listed at items 5.14.02.12 through 5.14.02.22 of the La Vista Zoning Ordinance. Of these uses, the one that would have most potential to create significant traffic impacts would be the “trucking and courier services” use. The largest undeveloped area in the subject area is lots 6, 7, and 8, which combined represent approximately 10 acres. While the applicant has not indicated any intent to place trucking

operations on this property, the rezoning, if approved, would make such use possible. There are presently two trucking operations in I-2 zoning in La Vista on parcels between nine and 13 acres in size. These operations have not demonstrated significant traffic impacts.

However, future developments will be reviewed against Omaha's Guidelines and Regulations for Driveway Location, Design and Construction, particularly the Appendix, to determine if there is a need for traffic impact studies infrastructure improvements that might be recommended in such studies

D. UTILITIES:

1. The properties have access to sewer, water, gas, power and communication utilities.

IV. REVIEW COMMENTS:

1. Developments on lots 6 and 7 may require a flood plain development permit as required for any property within the "X" or "AE" zones for the FEMA Floodplain Map. Potential projects will need to submit plans to the Papio Missouri River Natural Resources District before permits for development can be issued.
2. Applicant has been notified that the proposed zoning, I-2 Heavy Industrial, does not allow for outdoor storage of materials without the issuance of a Conditional Use Permit (CUP).
3. Developments on these properties will require an adequate fire flow for increased fire loads that would be possible with outdoor storage. The applicant has confirmed ability of the existing water system to meet these needs with MUD and Steve Thornburg of the Papillion Fire Department.

V. STAFF RECOMMENDATION – Amendment to the Comprehensive Plan Amendment (Future Land Use Map):

Staff recommends approval of the amendment to the Zoning Map (Rezoning) from I-1 Light Industrial with a FF/FW Floodplain Districts (Overlay District), to I-2 Heavy Industrial with a FF/FW Floodplain Districts (Overlay District), as depicted in the Zoning Map Amendment Exhibit, as the request is consistent with the Zoning Ordinance and the Comprehensive Plan.

VI. PLANNING COMMISSION RECOMMENDATION – Amendment to the Comprehensive Plan Amendment (Future Land Use Map):

The Planning Commission held a meeting on November 15, 2018 and unanimously voted to recommend approval of the amendment to the Zoning Map (Rezoning) from I-1 Light Industrial with a FF/FW Floodplain Districts (Overlay District), to I-2 Heavy Industrial with a FF/FW Floodplain Districts (Overlay District), as the request is consistent with the Comprehensive Plan.

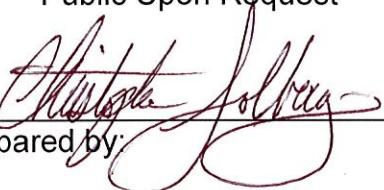
IX. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review Letters
3. Zoning Map Amendment Exhibit

X. COPIES OF REPORT SENT TO:

1. Doug Whitehead, NEBCO Inc.
2. Joseph Flaxbeard, PE, Lamp Rynearson
3. Public Upon Request

Prepared by:



12/12/18

Community Development Director

Date

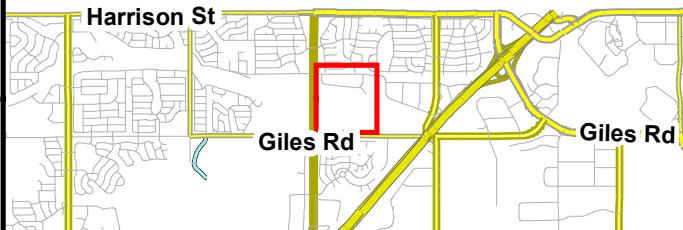


Project Vicinity Map

Lots 6-11, Chalco Valley Business Park: Zoning Map Amendment

11/7/18

CRB





October 24, 2018

Doug Whitehead
NEBCO Inc.
1815 Y Street
Lincoln, NE 68501

RE: Rezoning Request I-1 to I-2
Lots 6-11 Chalco Valley Business Park

Mr. Whitehead,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Comprehensive Plan and the Zoning Ordinance the City has the following comments:

1. Developments on these properties will require an adequate fire flow for increased fire loads that would be possible with outdoor storage. Please confirm ability to meet these needs with MUD and Steve Thornburg of the Papillion Fire Department.
2. Developments on lots 6 and 7 may require a flood plain development permit as required for any property within the "X" or "AE" zones for the FEMA Floodplain Map. Potential projects will need to submit plans to the Papio Missouri River Natural Resources District before permits for development can be issued.
3. Applicant should be reminded that the proposed zoning, I-2 Heavy Industrial, does not allow for outdoor storage of materials without the issuance of a Conditional Use Permit (CUP).
4. The current Future Land Use Map in the Comprehensive Plan depicts properties in the subject area to be industrial. As such the proposed rezoning from I-1 Light Industrial to I-2 Heavy Industrial will not warrant an amendment to the Future Land Use Map of the Comprehensive Plan
5. The primary differences between the I-1 Light Industrial District and the I-2 Industrial District involves the uses listed at items 5.14.02.12 through 5.14.02.22 of the La Vista Zoning Ordinance. Of these uses, the one that would have most potential to create significant traffic impacts would be the "trucking and courier services" use. The largest undeveloped area in the subject area is lots 6, 7, and 8, which combined represent approximately 10 acres. While the applicant has not indicated any intent to place trucking operations on this property, the rezoning, if approved, would make such use possible. There are presently two trucking operations in I-2 zoning in La Vista on parcels between nine and 13

City Hall
8116 Park View Blvd.
La Vista, NE 68128-2198
p: 402-331-4343
f: 402-331-4375

Community Development
8116 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
p: 402-331-8927
f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

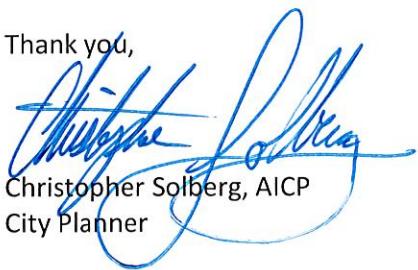
acres in size. These operations have note demonstrated significant traffic impacts.

However, future developments will be reviewed against Omaha's Guidelines and Regulations for Driveway Location, Design and Construction, particularly the Appendix, to determine if there is a need for traffic impact studies infrastructure improvements that might be recommended in such studies.

In order for the Zoning Map Amendment to be considered for review at the November 15, 2018 Planning Commission meeting, additional information regarding issue #1 above needs to be provided. Please submit documentation by November 2, 2018 to ensure that the application stays on track for the review by Planning Commission.

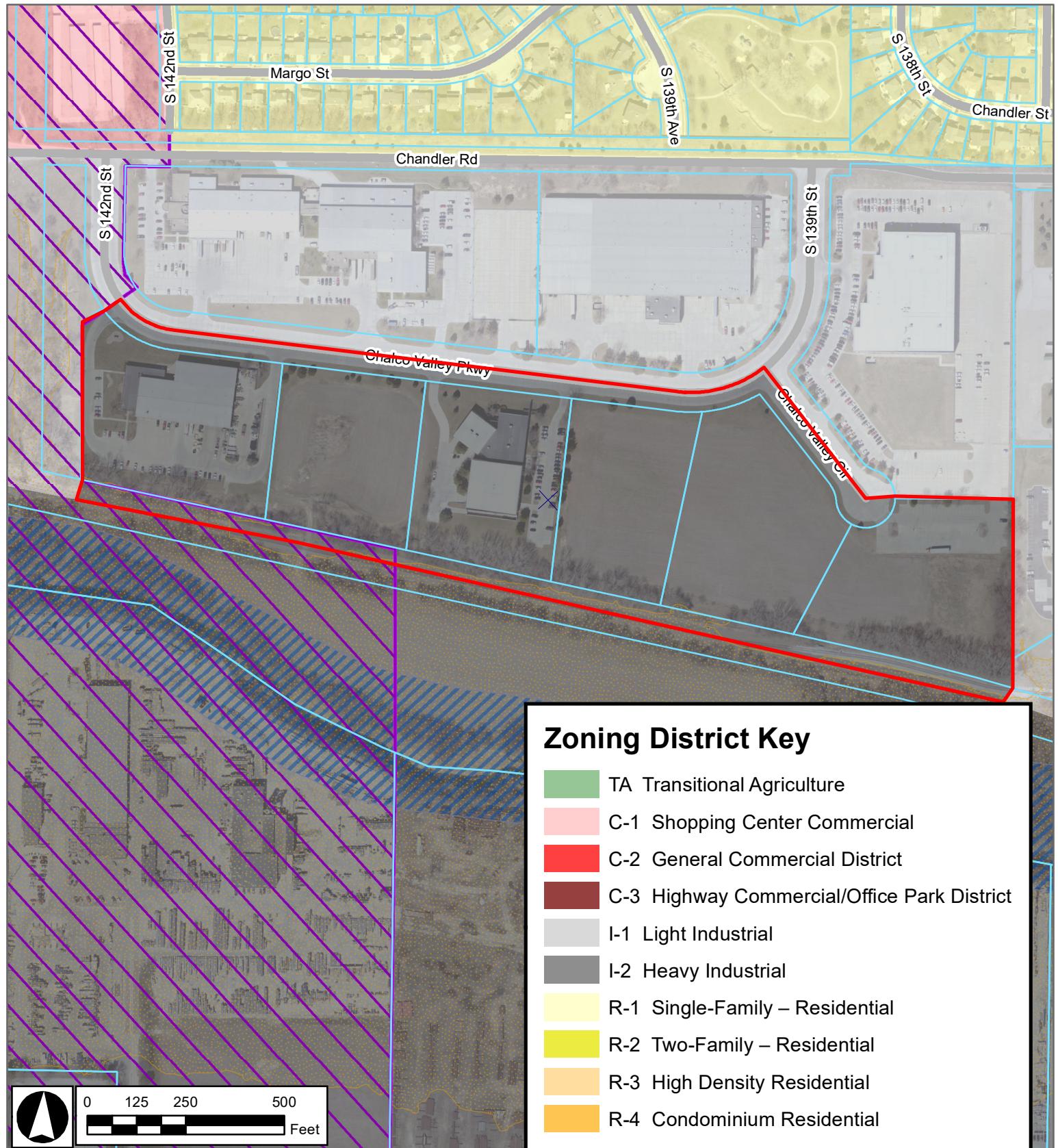
If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,

A handwritten signature in blue ink, appearing to read "Christopher Solberg".

Christopher Solberg, AICP
City Planner

cc: Joseph T. Flaxbeard, Lamp Rynearson
Ann Birch, Community Development Director
John Kottmann, City Engineer

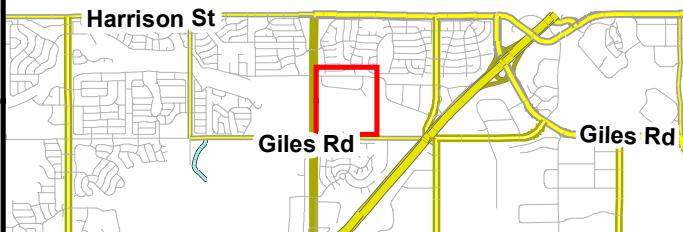


Zoning Map Amendment Exhibit

Lots 6-11, Chalco Valley Business Park: Zoning Map Amendment

11/7/18

CRB





LAMP RYNEARSON
& ASSOCIATES

14710 West Dodge Road, Suite 100 402.496.2498 | P
Omaha, Nebraska 68154-2027 402.496.2730 | F
www.LRA-Inc.com

DRAWN BY
JTF

DESIGNED BY
JTF

REVIEWED BY
JTF

PROJECT - TASK NUMBER

DATE
10/01/2018

BOOK AND PAGE

REVISIONS

CHALCO VALLEY BUSINESS PARK
LOTS 6-11 REZONING
PARCEL MAP AND LEGAL DESCRIPTION

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
AMEND MUNICIPAL RETIREMENT PLANS	RESOLUTION ◆ ORDINANCE(S) RECEIVE/FILE	PAM BUETHE CITY CLERK

SYNOPSIS

Ordinances have been prepared to amend the retirement plans for firefighters and police due to recent statutory changes.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval.

BACKGROUND

The IRS issued Notice 2016-80 requiring employers to amend plan documents; specifically, to incorporate recent amendments to 26 U.S. Code § 436(d) regarding limitations on accelerated benefit distributions (Highway and Transportation Funding Act of 2014, P.L. 113-159, §2003). The revisions are redlined in the Amendments attached to these ordinances.

In addition, LB415 was passed by the Nebraska Legislature and signed by the Governor on May 23, 2017. The amendments to the plan reflect additional duties and/or responsibilities of the retirement committee. The revisions are redlined in the Amendments attached to these ordinances.

Staff is working to terminate the firefighters retirement plan in early 2019, however in order to comply with IRS requirements we must make these amendments to the plan prior to December 31, 2018.

ORDINANCE NO. _____

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA TO AMEND THE CITY OF LA VISTA FIREFIGHTERS' RETIREMENT PLAN AND TRUST; TO AUTHORIZE FURTHER ACTIONS; AND TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES, SEVERABILITY AND THE EFFECTIVE DATE HEREOF.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, SARPY COUNTY, NEBRASKA:

SECTION 1. Pursuant to Nebraska Statutes, Sections 16-1020 through and including 16-1042, the City of La Vista maintains the City of La Vista Firefighters' Retirement Plan and Trust embodied in plan documents including an adoption agreement and basic plan document constituting an integral part thereof, as well as various amendments required by applicable law ("Plan").

SECTION 2. The Mayor and City Council are authorized and desire to amend the Plan; specifically, to incorporate recent statutory changes, which amendment is presented with this Ordinance ("Amendment No. 2").

SECTION 3. The Mayor and City Council do hereby approve and adopt said Amendment No. 2, effective on the date(s) set forth therein.

SECTION 4. The Mayor is authorized to execute Amendment No. 2 on behalf of the City, and the City Administrator is authorized and directed to provide the same to the Trustee (for its written acceptance, if determined necessary or appropriate), and if directed in this Ordinance or otherwise determined necessary or advisable, to cause said Amendment No. 2 to be submitted, together with such supporting data as may be necessary or advisable and applicable application fee, to the Internal Revenue Service for ruling as to whether the same complies with the pertinent provisions of the Internal Revenue Code of the United States and, in particular, Sections 401(a) and 501(a) thereof, with authority to make any changes in or to Amendment No. 2 and other Plan documents and take such further actions as the City Administrator determines necessary or appropriate to obtain a favorable ruling or maintain the qualified status of the Plan.

SECTION 5. All ordinances and parts of ordinances as previously enacted to the extent in conflict with this Ordinance or any part hereof are hereby repealed.

SECTION 6. If any section, subsection, sentence, clause or phrase of this Ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this Ordinance. The Mayor and City Council hereby declare that it would have passed this Ordinance and each section, subsection, sentence, clause or phrase thereof, irrespective of the fact

that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

SECTION 7. This Ordinance shall be in force and take effect from and after passage, approval and publication as provided by law.

PASSED AND APPROVED THIS ____ DAY OF _____, 2018.

CITY OF LA VISTA, NEBRASKA

_____, Mayor

ATTEST:

City Clerk

**CITY OF LA VISTA, NEBRASKA
FIREFIGHTERS' RETIREMENT PLAN AND TRUST**

Amendment No. 2

The City of La Vista, Nebraska Firefighters' Retirement Plan and Trust is hereby amended as follows:

I. Section 3.7.2 (Part I) (Section 3) of the Basic Plan Document is hereby deleted and replaced in its entirety with the following (effective as of January 1, 2016):

“Section 3. Limitations Applicable If the Plan Sponsor Is In Bankruptcy. Notwithstanding any other provisions of the Plan, a Member or beneficiary is not permitted to elect, and the Plan shall not pay, a single sum payment or other optional form of benefit that includes a prohibited payment with an annuity starting date that occurs during any period in which the Plan sponsor is a debtor in a case under title 11, United States Code, or similar Federal or State law, except for payments made within a Plan Year with an annuity starting date that occurs on or after the date on which the Plan's enrolled actuary certifies that the ~~Plan's~~-adjusted funding target attainment percentage for that of such-Plan (determined by not taking into account any adjustment of segment rates under Internal Revenue Code section 430(h)(2)(C)(iv))~~Year~~ is not less than 100 percent. In addition, during such period in which the Plan sponsor is a debtor, the Plan shall not make any payment for the purchase of an irrevocable commitment from an insurer to pay benefits or any other payment or transfer that is a prohibited payment, except for payments that occur on a date within a Plan Year that is on or after the date on which the Plan's enrolled actuary certifies that the ~~Plan's~~-adjusted funding target attainment percentage for that of suchPlan (determined by not taking into account any adjustment of segment rates under Internal Revenue Code section 430(h)(2)(C)(iv))~~Year~~ is not less than 100 percent. The limitation set forth in this Section 3 does not apply to any payment of a benefit which under § 411(a)(11) of the Internal Revenue Code may be immediately distributed without the consent of the Member.”

II. Section 12.13(b) of the Basic Plan Document is hereby deleted and replaced in its entirety with the following:

(b) Police, Fire and Neb. Rev. Stat. Section 19-3501 Municipal Plans-
Annual Report

(1) Annual Report~~Pre-2018 Requirements. Beginning December 31, 1998 through December 31, 2017:~~

(a) In addition to immediately preceding provisions of this Section 12.13, ~~commencing in 1999~~, an annual report shall be filed as required for each Police Plan, Fire Plan or other municipal Plan established pursuant to Neb. Rev. Stat. Section 19-3501. The

report shall be filed with the Public Employees Retirement Board and the Auditor of Public Accounts and include:

- (i) The number of persons participating in the retirement Plan;
- (ii) The contribution rates of Participants in the Plan;
- (iii) Plan assets and liabilities;
- (iv) The names and positions of persons administering the Plan;
- (v) The names and positions of persons investing Plan assets;
- (vi) The form and nature of investments;
- (vii) A full description of investment policies and options available to Plan participants;
- (viii) For the defined benefit component of the Plan, if any, the levels of benefits of Participants, the number of Participants eligible for benefits and the total present value of such Participants' benefits, as well as the funding source to pay for such benefits; and-

(b) Quadrennial Report. In addition to immediately preceding provisions of this Section 12.13, an annual report shall be prepared with respect to the defined benefit component of the Plan, if any, if said component was open to new members on January 1, 2004. Said report, if applicable, shall be filed with the Public Employees Retirement Board and the Nebraska Retirement Systems Committee of the Legislature, with a copy submitted to the Auditor of Public Accounts, in accordance with applicable Nebraska statutes. Such report shall consist of a full actuarial analysis of the Plan. The analysis shall be prepared by an independent private organization or public entity employing actuaries who are members in good standing of the American Academy of Actuaries, and which organization or entity has demonstrated expertise to perform this type of analysis and is unrelated to any organization offering investment advice or which provides investment management services to the Plan. The report to the Nebraska Retirement Systems Committee shall be submitted electronically.

(2) Beginning 2018. Beginning December 31, 2018, and each December 31 thereafter, an annual report with respect to the defined benefit component of the Plan, if any, shall be prepared and electronically filed with the Auditor of Public Accounts and the Nebraska

Retirement Systems Committee of the Legislature. If said component was open to new members on January 1, 2004, the report shall be in addition to the reports required by Neb. Rev. Stat. § 13-2402. The report shall be on a form prescribed by the Auditor of Public Accounts and shall include:

- (i.) The levels of benefits of Participants in the Plan, the number of Participants who are eligible for a benefit, the total present value of such Participants' benefits, and the funding sources which will pay for such benefits; and
- (ii.) A copy of a full actuarial analysis of the defined benefit component of such Plan. The analysis shall be prepared by an independent private organization or public entity employing actuaries who are members in good standing of the American Academy of Actuaries, and which organization or entity has demonstrated expertise to perform this type of analysis and is unrelated to any organization which offers investment advice or provides investment management services to the Plan.

- (3) The Auditor of Public Accounts may, but is not required to, prepare a review of the reports described in this Section 12.13 in accordance with Nebraska Statutes.

III. All provisions of the Plan shall be deemed revised to be consistent with the revisions made by this Amendment No. 2.

IV. This Amendment No. 2 supersedes any provisions of the Plan to the extent inconsistent with the provisions of this Amendment.

This amendment is hereby executed this _____ day of _____, 2018.

CITY OF LA VISTA, a Nebraska municipality

By: _____, Mayor

ORDINANCE NO. _____

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA TO AMEND THE CITY OF LA VISTA POLICE OFFICERS' RETIREMENT PLAN AND TRUST; TO AUTHORIZE FURTHER ACTIONS; AND TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES, SEVERABILITY AND THE EFFECTIVE DATE HEREOF.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, SARPY COUNTY, NEBRASKA:

SECTION 1. Pursuant to Nebraska Statutes, Sections 16-1001 through and including 16-1019, the City of La Vista maintains the City of La Vista Police Officers' Retirement Plan and Trust embodied in plan documents including an adoption agreement and basic plan document constituting an integral part thereof, as well as various amendments required by applicable law ("Plan").

SECTION 2. The Mayor and City Council are authorized and desire to amend the Plan; specifically, to incorporate recent statutory changes, which amendment is presented with this Ordinance ("Amendment No. 3").

SECTION 3. The Mayor and City Council do hereby approve and adopt said Amendment No. 3, effective on the date(s) set forth therein.

SECTION 4. The Mayor is authorized to execute Amendment No. 3 on behalf of the City, and the City Administrator is authorized and directed to provide the same to the Trustee (for its written acceptance, if determined necessary or appropriate), and if directed in this Ordinance or otherwise determined necessary or advisable, to cause said Amendment No. 3 to be submitted, together with such supporting data as may be necessary or advisable and applicable application fee, to the Internal Revenue Service for ruling as to whether the same complies with the pertinent provisions of the Internal Revenue Code of the United States and, in particular, Sections 401(a) and 501(a) thereof, with authority to make any changes in or to Amendment No. 3 and other Plan documents and take such further actions as the City Administrator determines necessary or appropriate to obtain a favorable ruling or maintain the qualified status of the Plan.

SECTION 5. All ordinances and parts of ordinances as previously enacted to the extent in conflict with this Ordinance or any part hereof are hereby repealed.

SECTION 6. If any section, subsection, sentence, clause or phrase of this Ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this Ordinance. The Mayor and City Council hereby declare that it would have passed this Ordinance and each section, subsection, sentence, clause or phrase thereof, irrespective of the fact

that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

SECTION 7. This Ordinance shall be in force and take effect from and after passage, approval and publication as provided by law.

PASSED AND APPROVED THIS ____ DAY OF _____, 2018.

CITY OF LA VISTA, NEBRASKA

_____, Mayor

ATTEST:

City Clerk

**CITY OF LA VISTA
POLICE OFFICERS' RETIREMENT PLAN AND TRUST**

Amendment No. 3

The City of La Vista, Nebraska Police Officers' Retirement Plan and Trust is hereby amended as follows:

I. Section 3.7.2 (Part I) (Section 3) of the Basic Plan Document is hereby deleted and replaced in its entirety with the following (effective as of January 1, 2016):

"Section 3. Limitations Applicable If the Plan Sponsor Is In Bankruptcy. Notwithstanding any other provisions of the Plan, a Member or beneficiary is not permitted to elect, and the Plan shall not pay, a single sum payment or other optional form of benefit that includes a prohibited payment with an annuity starting date that occurs during any period in which the Plan sponsor is a debtor in a case under title 11, United States Code, or similar Federal or State law, except for payments made within a Plan Year with an annuity starting date that occurs on or after the date on which the Plan's enrolled actuary certifies that the ~~Plan's~~-adjusted funding target attainment percentage for that of such-Plan (determined by not taking into account any adjustment of segment rates under Internal Revenue Code section 430(h)(2)(C)(iv))~~Year~~ is not less than 100 percent. In addition, during such period in which the Plan sponsor is a debtor, the Plan shall not make any payment for the purchase of an irrevocable commitment from an insurer to pay benefits or any other payment or transfer that is a prohibited payment, except for payments that occur on a date within a Plan Year that is on or after the date on which the Plan's enrolled actuary certifies that the ~~Plan's~~-adjusted funding target attainment percentage for that of suchPlan (determined by not taking into account any adjustment of segment rates under Internal Revenue Code section 430(h)(2)(C)(iv))~~Year~~ is not less than 100 percent. The limitation set forth in this Section 3 does not apply to any payment of a benefit which under § 411(a)(11) of the Internal Revenue Code may be immediately distributed without the consent of the Member."

II. Section 12.13(b) of the Basic Plan Document is hereby deleted and replaced in its entirety with the following:

(b) Police, Fire and Neb. Rev. Stat. Section 19-3501 Municipal Plans-
Annual Report

(1) Annual Report~~Pre-2018 Requirements. Beginning December 31, 1998 through December 31, 2017:~~

(a) In addition to immediately preceding provisions of this Section 12.13, ~~commencing in 1999~~, an annual report shall be filed as required for each Police Plan, Fire Plan or other municipal Plan established pursuant to Neb. Rev. Stat. Section 19-3501. The

report shall be filed with the Public Employees Retirement Board and the Auditor of Public Accounts and include:

- (i) The number of persons participating in the retirement Plan;
- (ii) The contribution rates of Participants in the Plan;
- (iii) Plan assets and liabilities;
- (iv) The names and positions of persons administering the Plan;
- (v) The names and positions of persons investing Plan assets;
- (vi) The form and nature of investments;
- (vii) A full description of investment policies and options available to Plan participants;
- (viii) For the defined benefit component of the Plan, if any, the levels of benefits of Participants, the number of Participants eligible for benefits and the total present value of such Participants' benefits, as well as the funding source to pay for such benefits; and-

(b) Quadrennial Report. In addition to immediately preceding provisions of this Section 12.13, an annual report shall be prepared with respect to the defined benefit component of the Plan, if any, if said component was open to new members on January 1, 2004. Said report, if applicable, shall be filed with the Public Employees Retirement Board and the Nebraska Retirement Systems Committee of the Legislature, with a copy submitted to the Auditor of Public Accounts, in accordance with applicable Nebraska statutes. Such report shall consist of a full actuarial analysis of the Plan. The analysis shall be prepared by an independent private organization or public entity employing actuaries who are members in good standing of the American Academy of Actuaries, and which organization or entity has demonstrated expertise to perform this type of analysis and is unrelated to any organization offering investment advice or which provides investment management services to the Plan. The report to the Nebraska Retirement Systems Committee shall be submitted electronically.

(2) Beginning 2018. Beginning December 31, 2018, and each December 31 thereafter, an annual report with respect to the defined benefit component of the Plan, if any, shall be prepared and electronically filed with the Auditor of Public Accounts and the Nebraska

Retirement Systems Committee of the Legislature. If said component was open to new members on January 1, 2004, the report shall be in addition to the reports required by Neb. Rev. Stat. § 13-2402. The report shall be on a form prescribed by the Auditor of Public Accounts and shall include:

- (i.) The levels of benefits of Participants in the Plan, the number of Participants who are eligible for a benefit, the total present value of such Participants' benefits, and the funding sources which will pay for such benefits; and
- (ii.) A copy of a full actuarial analysis of the defined benefit component of such Plan. The analysis shall be prepared by an independent private organization or public entity employing actuaries who are members in good standing of the American Academy of Actuaries, and which organization or entity has demonstrated expertise to perform this type of analysis and is unrelated to any organization which offers investment advice or provides investment management services to the Plan.

- (3) The Auditor of Public Accounts may, but is not required to, prepare a review of the reports described in this Section 12.13 in accordance with Nebraska Statutes.

III. All provisions of the Plan shall be deemed revised to be consistent with the revisions made by this Amendment No. 3.

IV. This Amendment No. 3 supersedes any provisions of the Plan to the extent inconsistent with the provisions of this Amendment.

This amendment is hereby executed this _____ day of _____, 2018.

CITY OF LA VISTA, a Nebraska municipality

By: _____, Mayor

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
CHANGE ORDER No. 4 PUBLIC IMPROVEMENT REDEV. PROJECT CITY CENTRE INFRASTRUCTURE- PAVEMENT & SEWERS	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JOHN KOTTMANN CITY ENGINEER

SYNOPSIS

A resolution has been prepared to approve a change order to the contract with Graham Construction, Inc. of Omaha, NE to provide for additions of work to the contract. These include decorative street sign posts and construction access road materials. The contract price increases from \$4,495,410.48 to \$4,534,611.91.

FISCAL IMPACT

The FY19/20 Biennial Budget provides funding for this project.

RECOMMENDATION

Approval

BACKGROUND

The initial contract was awarded to Graham Construction on November 21, 2017 in the amount of \$4,298,611.80. Change Orders to date have changed the contract amount to \$4,495,410.48. Additional work has become necessary that was not part of the initial construction documents. Primary items include the addition of decorative street sign posts and provision of surfacing materials for construction access roads to be used by multiple contractors on the project. The change order also addresses liquidated damages for late completion of Phases 1 and 2 of the work beyond November 9, 2018. Change Order No. 4 results in an increase of \$39,201.43.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING CHANGE ORDER NO. 4 TO THE CONTRACT WITH GRAHAM CONSTRUCTION, INC., OMAHA, NEBRASKA, TO PROVIDE FOR ADDITIONS OF WORK, FOR AN ADDITIONAL AMOUNT NOT TO EXCEED \$39,201.43.

WHEREAS, the City has determined it is necessary to make additions of the work; and

WHEREAS, the FY19/20 Biennial Budget provides funding for this project. The contract price increases from \$4,495,410.48 to \$4,534,611.91.

NOW THEREFORE, BE IT RESOLVED, by the Mayor and City Council of the City of La Vista, Nebraska, that the Mayor is authorized to execute the necessary documents for Change Order No. 4 to the contract with Graham Construction, Inc., Omaha Nebraska, to provide for additions of work, for an additional amount not to exceed \$39,201.43.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



CHANGE ORDER

No. 4

Date of Issuance: November 26, 2018

Effective Date: November 26, 2018

Project: La Vista City Centre Infrastructure Pavement and Sewers.	Owner: City of La Vista	Owner's Contract No.: CD-17-008
Contract: City Centre Infrastructure Pavement and Sewers		Date of Contract: 11/21/17
Contractor: Graham Construction		Engineer's Project No.: B16-0546

The Contract Documents are modified as follows upon execution of this Change Order:

See 'Work Change Directive 11, and scale tickets for 3" rock added to Lot 17 access road. Also included is Phase 1 & 2 Liquidated Damages.

Attachments: (List documents supporting change): Attachment #1, See 'Work Change Directive 11, scale tickets for 3" rock added to Lot 17 access road.

CHANGE IN CONTRACT PRICE:

Original Contract Price:

\$4,298,611.80

Original Contract Times:

204 Calendar days, Substantial Completion

229 Calendar days, Final Completion

Increase from previously approved Change Orders
No. 1 to No. 3:

\$196,798.68

Contract Times from previously approved Change Orders
No. 0 to No. 3:

Substantial completion (days or date): October 22, 2018

Ready for final payment (days or date): November 16, 2018

Contract Price prior to this Change Order:

\$4,495,410.48

Contract Times prior to this Change Order:

October 22, 2018 – Substantial

November 16, 2018 – Final Completion

Increase of this Change Order:

\$39,201.43

Contract Time changes of this Change Order:

Substantial completion (days or date): No Change

Ready for final payment (days or date): No Change

Contract Price incorporating this Change Order:

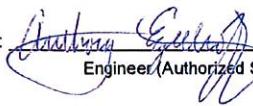
\$4,534,611.91

Contract Times with all approved Change Orders:

November 9, 2018 – Substantial Completion

– Final Completion - June 5, 2019

RECOMMENDED:

By: 
Engineering
Engineer (Authorized Signature)

Date: 12/04/18

ACCEPTED:

By: _____
Contractor (Authorized Signature)

Date: _____

ACCEPTED:

By: _____
Owner (Authorized Signature)

Date: _____

Approved by Funding Agency (if applicable): _____

Date: _____


City Centre Infrastructure Pavement & Sewers
Change Order No. 4 Attachment #1
OA Project # 016-0546 Prepared By: Stacy Zablocki/Matt Markham

Owner: City of La Vista
Contractor: Graham Construction
December 4, 2018

B	C	D	E	G	H	I	
Item No.	Description	Pay Unit	Contract Qty(S) Prior to this Change Order	Qty(s) Adjustment Per This Change Order	Contract Qty(S) Per this Change Order	CONSTR Unit Price	Change Order No. 3 Costs (G*H)
BID SECTION:							
1	MOBILIZATION	LS	0.89		0.89	\$400,000.00	\$ -
2	REMOVE PAVEMENT	SY	4,373.00		4,373.00	\$10.30	\$ -
3	REMOVE SIDEWALK	SF	582.00		582.00	\$6.90	\$ -
4	REMOVE MEDIAN SURFACING	SF	1,136.00		1,136.00	\$10.30	\$ -
5	REMOVE 12" OR SMALLER SEWER PIPE	LF	526.00		526.00	\$14.70	\$ -
6	REMOVE 15" TO 18" SEWER PIPE	LF	311.00		311.00	\$14.70	\$ -
7	REMOVE 48" SEWER PIPE	LF	418.00		418.00	\$16.70	\$ -
8	REMOVE 54" SEWER PIPE	LF	53.00		53.00	\$24.50	\$ -
9	REMOVE MANHOLE	EA	3.00		3.00	\$685.00	\$ -
10	REMOVE FLARED END SECTION OVER 36" TO 48"	EA	1.00		1.00	\$294.00	\$ -
11	REMOVE FLARED END SECTION OVER 48" TO 60"	EA	1.00		1.00	\$294.00	\$ -
12	REMOVE LIGHT POLE	EA	2.00		2.00	\$975.00	\$ -
13	REMOVE AREA INLET	EA	1.00		1.00	\$735.00	\$ -
14	REMOVE CURB INLET	EA	3.00		3.00	\$490.00	\$ -
15	REMOVE SIGN	EA	2.00		2.00	\$98.00	\$ -
16	REMOVE FENCE	LF	856.00		856.00	\$3.90	\$ -
17	REMOVE SEGMENTAL RETAINING WALL	SF	2,883.00		2,883.00	\$3.90	\$ -
18	SAW CUT - FULL DEPTH	LF	317.00		317.00	\$4.50	\$ -
19	EXCAVATION - ON SITE	CY	19,263.00		19,263.00	\$6.75	\$ -
20	UNSUITABLE MATERIAL	CY	500.00		500.00	\$30.00	\$ -
21	SECURITY FENCE	LF	1,300.00		1,300.00	\$13.00	\$ -
22	TEMPORARY CONTRACTOR ACCESS ROAD	SY	2,914.00		2,914.00	\$9.00	\$ -
23	TEMPORARY 8-INCH SURFACING	SY	912.00		912.00	\$50.00	\$ -
24	RECONSTRUCT MANHOLE TO GRADE	VF	15.90		15.90	\$590.00	\$ -
25	ADJUST MANHOLE TO GRADE	EA	-		-	\$490.00	\$ -
26	ADJUST INLET TO GRADE	EA	-		-	\$735.00	\$ -
27	CONSTRUCT 6-INCH CONCRETE PAVEMENT (TYPE L65)	SY	4,782.00		4,782.00	\$64.00	\$ -
28	CONSTRUCT 8-INCH CONCRETE PAVEMENT (TYPE L65)	SY	9,279.00		9,279.00	\$57.00	\$ -
29	CONSTRUCT 8-INCH COMBINATION CURB AND GUTTER	LF	286.00		286.00	\$14.75	\$ -
30	CONSTRUCT 8-INCH IMPRINTED CONCRETE SURFACING	SF	3,249.00		3,249.00	\$17.75	\$ -
31	CONSTRUCT 4-INCH PCC SIDEWALK	SF	4,225.00		4,225.00	\$4.00	\$ -
32	CONSTRUCT 6-INCH CONCRETE MEDIAN SURFACING	SF	317.00		317.00	\$5.00	\$ -
33	CONSTRUCT CONCRETE CURB RAMP	SF	255.00		255.00	\$10.75	\$ -
34	ARMOR-TILE DETECTABLE WARNING PANELS	SF	53.00		53.00	\$31.50	\$ -
35	CONSTRUCT GRAVITY BLOCK RETAINING WALL	SF	996.00		996.00	\$70.00	\$ -
36	Alternative #1 - Construct Gravity Block Retaining Wall	SF	3,530.00		3,530.00	\$75.00	\$ -
37	CONSTRUCT SMALL BLOCK RETAINING WALL	SF	382.00		382.00	\$24.00	\$ -
38	CONSTRUCT PIPE RAILING	LF	539.00		539.00	\$50.00	\$ -
38A	CONSTRUCT 48" BLACK VINYL CHAIN LINK FENCE	LF	418.00		418.00	\$20.00	\$ -
39	CONSTRUCT CURB WALL	SF	503.00		503.00	\$40.00	\$ -
40	AGGREGATE BEDDING FOR 10" STORM SEWER PIPE	LF	49.00		49.00	\$6.00	\$ -
41	AGGREGATE BEDDING FOR 12" STORM SEWER PIPE	LF	38.00		38.00	\$6.25	\$ -
42	AGGREGATE BEDDING FOR 15" STORM SEWER PIPE	LF	382.00		382.00	\$7.00	\$ -
43	AGGREGATE BEDDING FOR 18" STORM SEWER PIPE	LF	473.00		473.00	\$8.00	\$ -
44	AGRREGATE BEDDING FOR 24" STORM SEWER PIPE	LF	848.00		848.00	\$9.50	\$ -
45	AGRREGATE BEDDING FOR 30" STORM SEWER PIPE	LF	1,518.00		1,518.00	\$14.75	\$ -
46	AGRREGATE BEDDING FOR 36" STORM SEWER PIPE	LF	956.00		956.00	\$17.50	\$ -
47	AGRREGATE BEDDING FOR 42" STORM SEWER PIPE	LF	913.00		913.00	\$20.00	\$ -
48	AGRREGATE BEDDING FOR 54" STORM SEWER PIPE	LF	484.00		484.00	\$25.20	\$ -
49	CONSTRUCT 8" HDPE STORM SEWER PIPE	LF	24.00		24.00	\$49.00	\$ -
50	CONSTRUCT 10" HDPE STORM SEWER PIPE	LF	46.00		46.00	\$42.00	\$ -
51	CONSTRUCT 12" HDPE STORM SEWER PIPE	LF	38.00		38.00	\$49.00	\$ -
52	CONSTRUCT 15" HDPE STORM SEWER PIPE	LF	60.00		60.00	\$54.50	\$ -
53	CONSTRUCT 18" HDPE STORM SEWER PIPE	LF	25.00		25.00	\$64.00	\$ -
54	CONSTRUCT 24" HDPE STORM SEWER PIPE	LF	38.00		38.00	\$67.00	\$ -
55	CONSTRUCT 15" RCP, CLASS III	LF	322.00		322.00	\$50.00	\$ -
56	CONSTRUCT 18" RCP, CLASS III	LF	448.00		448.00	\$60.00	\$ -
57	CONSTRUCT 24" RCP, CLASS III	LF	810.00		810.00	\$62.00	\$ -
58	CONSTRUCT 30" RCP, CLASS III	LF	1,518.00		1,518.00	\$74.00	\$ -
59	CONSTRUCT 36" RCP, D(0.01) = 1350	LF	956.00		956.00	\$105.00	\$ -
60	CONSTRUCT 36" RCP, D(0.01) = 1350 (OR HDPE)	LF	157.00		157.00	\$105.00	\$ -
61	CONSTRUCT 42" RCP, D(0.01) = 1350	LF	913.00		913.00	\$130.00	\$ -
62	CONSTRUCT 54" RCP, D(0.01) = 1350 (OR HDPE)	LF	484.00		484.00	\$165.00	\$ -
63	CONSTRUCT 36" CONCRETE COLLAR	EA	1.00		1.00	\$2,050.00	\$ -
64	CONSTRUCT 54" I.D. STORM MANHOLE	VF	24.30		24.30	\$750.00	\$ -
65	CONSTRUCT 60" I.D. STORM MANHOLE	VF	44.50		44.50	\$770.00	\$ -



City Centre Infrastructure Pavement & Sewers
Change Order No. 4 Attachment #1

OA Project # 016-0546 Prepared By: Stacy Zablocki/Matt Markham

Owner: City of La Vista

Contractor: Graham Construction

December 4, 2018

B	C	D	E	G	H	I	
Item No.	Description	Pay Unit	Contract Qty(S) Prior to this Change Order	Qty(s) Adjustment Per This Change Order	Contract Qty(S) Per this Change Order	CONSTR Unit Price	Change Order No. 3 Costs (G*H)
66	CONSTRUCT 72" I.D. STORM MANHOLE	VF	32.00		32.00	\$800.00	\$ -
67	CONSTRUCT 84" I.D. STORM MANHOLE	VF	87.00		87.00	\$1,105.00	\$ -
68	CONSTRUCT 96" I.D. STORM MANHOLE	VF	145.90		145.90	\$1,185.00	\$ -
69	CONSTRUCT TYPE "C" MANHOLE - NDOR STANDARD PLAN 435-R1	EA	1.00		1.00	\$20,450.00	\$ -
70	PREPARATION OF STRUCTURE	LS	1.00		1.00	\$10,000.00	\$ -
71	CONSTRUCT 30" RC FLARED END SECTION	EA	-		-	\$2,400.00	\$ -
72	CONSTRUCT 36" RC FLARED END SECTION	EA	1.00		1.00	\$2,700.00	\$ -
73	CONSTRUCT 42" RC FLARED END SECTION	EA	1.00		1.00	\$3,000.00	\$ -
74	CONSTRUCT REINFORCED CURB INLET - TYPE III	EA	2.00		2.00	\$5,650.00	\$ -
75	CONSTRUCT CURB INLET - TYPE I	EA	3.00		3.00	\$2,900.00	\$ -
76	CONSTRUCT CURB INLET - TYPE III	EA	2.00		2.00	\$3,750.00	\$ -
77	CONSTRUCT CURB INLET - TYPE IV	EA	4.00		4.00	\$2,825.00	\$ -
78	CONSTRUCT GRATED INLET - TYPE "SADDLE CREEK" INLET	EA	11.00		11.00	\$6,500.00	\$ -
79	INSTALL FILTERRA INLET	EA	-		-	\$20,100.00	\$ -
80	AGGREGATE BEDDING FOR 6" SANITARY SEWER PIPE	LF	644.00		644.00	\$7.00	\$ -
81	AGGREGATE BEDDING FOR 8" SANITARY SEWER PIPE	LF	1,531.00		1,531.00	\$7.00	\$ -
82	AGGREGATE BEDDING FOR 10" SANITARY SEWER PIPE	LF	533.00		533.00	\$8.50	\$ -
83	CONSTRUCT 6" PVC SANITARY SEWER PIPE	LF	644.00		644.00	\$33.00	\$ -
84	CONSTRUCT 8" PVC SANITRAY SEWER PIPE	LF	1,531.00		1,531.00	\$33.00	\$ -
85	CONSTRUCT 10" PVC SANITARY SEWER PIPE	LF	234.00		234.00	\$35.00	\$ -
86	CONSTRUCT 8" DIP SANITARY SEWER PIPE	LF	495.00		495.00	\$150.00	\$ -
87	CONSTRUCT 6"x8" WYE	EA	1.00		1.00	\$350.00	\$ -
88	CONSTRUCT 6" CLEANOUT	EA	1.00		1.00	\$625.00	\$ -
89	INSTALL EXTERNAL FRAME SEAL	EA	50.00		50.00	\$350.00	\$ -
90	CONNECT SANITARY SEWER MANHOLE TAP	EA	1.00		1.00	\$12,000.00	\$ -
91	CONNECT SANITARY SEWER MANHOLE TAP - EXTRA DEEP	EA	1.00		1.00	\$40,000.00	\$ -
92	CONSTRUCT 54" I.D. SANITARY MANHOLE	VF	178.60		178.60	\$510.00	\$ -
93	CONSTRUCT RIPRAP - TYPE "B"	TONS	165.00		165.00	\$62.00	\$ -
94	1" DIA. SCH 40 PVC IN TRENCH	LF	12,380.00		12,380.00	\$3.00	\$ -
95	#8 AWG STRANDED COPPER WIRE W/ THWN INSUL.	LF	18,590.00		18,590.00	\$0.65	\$ -
	LED GLOBE POST-TOP LUMINARE W/ TAPERED STEEL POLE AND CONC.						
96	BASE	EA	66.00		66.00	\$5,310.00	\$ -
97	ELECTRICAL HANDHOLE/PULLBOX	EA	14.00		14.00	\$480.00	\$ -
98	LIGHTING SERVICE CABINET	EA	1.00		1.00	\$18,782.00	\$ -
99	PERMANENT PAINT MARKING - 4" WHITE	LF	4,677.00		4,677.00	\$2.25	\$ -
100	PERMANENT PAINT MARKING - 5" YELLOW	LF	325.00		325.00	\$3.50	\$ -
101	PERMANENT PREFORMED TAPE MARKING - TYPE 4, 5" WHITE, GROOVED	LF	972.00		972.00	\$5.50	\$ -
102	PERMANENT PREFORMED TAPE MARKING - TYPE 3, 12" WHITE, GROOVED	LF	80.00		80.00	\$22.00	\$ -
103	PERMANENT PREFORMED TAPE MARKING - TYPE 3, 24" WHITE, GROOVED	LF	310.00		310.00	\$22.00	\$ -
104	DIRECTIONAL LEFT ARROW, GROOVED	EA	4.00		4.00	\$475.00	\$ -
105	DIRECTIONAL RIGHT ARROW, GROOVED	EA	3.00		3.00	\$550.00	\$ -
106	ADA STALL PAVEMENT MARKING SYMBOL	EA	7.00		7.00	\$175.00	\$ -
107	REMOVE MARKING LINES - 5" WHITE	LF	62.00		62.00	\$17.00	\$ -
108	REMOVE MARKING LINES - 12" WHITE	LF	40.00		40.00	\$29.00	\$ -
109	REMOVE MARKING LINES - 24" WHITE	LF	120.00		120.00	\$33.00	\$ -
110	REMOVE MARKING SYMBOL - DIRECTIONAL ARROW	EA	2.00		2.00	\$425.00	\$ -
111	INSTALL TRAFFIC POSTS AND SIGNS, CONTRACTOR PROVIDED	LS	1.00		1.00	\$22,000.00	\$ -
112	PROVIDE TEMPORARY TRAFFIC CONTROL	LS	1.00		1.00	\$15,000.00	\$ -
113	INSTALL SEEDING (COVER CROP)	AC	1.37		1.37	\$835.00	\$ -
114	INSTALL SEEDING (NATIVE MIX)	AC	0.52		0.52	\$3,050.00	\$ -
115	INSTALL SEEDING TURF (EROSION CONTROL TYPE 2)	AC	6.06		6.06	\$8,500.00	\$ -
116	INSTALL INLET PROTECTION	EA	20.00		20.00	\$215.00	\$ -
117	INSTALL EROSION CHECK (WATTLE)	LF	3,023.00		3,023.00	\$3.00	\$ -
118	INSTALL SODDING	SY	185.00		185.00	\$55.00	\$ -



**City Centre Infrastructure Pavement & Sewers
Change Order No. 4 Attachment #1**

OA Project # 016-0546 Prepared By: Stacy Zablocki/Matt Markham

Owner: City of La Vista

Contractor: Graham Construction

December 4, 2018

B	C	D	E	G	H	I	
Item No.	Description	Pay Unit	Contract Qty(S) Prior to this Change Order	Qty(s) Adjustment Per This Change Order	Contract Qty(S) Per this Change Order	CONSTR Unit Price	Change Order No. 3 Costs (G*H)
119	INSTALL SILT FENCE	LF	460.00		460.00	\$3.00	\$ -
120	INSTALL FLEXAMAT	SY	174.00		174.00	\$97.00	\$ -
121	INSTALL TURF REINFORCEMENT MAT (TYPE A)	SY	491.00		491.00	\$6.25	\$ -
122	INSTALL SAFL BAFFLE	EA	3.00		3.00	\$6,900.00	\$ -
123	INSTALL SNOUT	EA	1.00		1.00	\$7,100.00	\$ -
124	INSTALL 18" I.D. PRESERVER	EA	1.00		1.00	\$4,200.00	\$ -
125	INSTALL 24" I.D. PRESERVER	EA	1.00		1.00	\$5,300.00	\$ -
126	INSTALL 30" I.D. PRESERVER	EA	1.00		1.00	\$6,900.00	\$ -
127	INSTALL 36" I.D. SKIMMER	EA	1.00		1.00	\$5,300.00	\$ -
128	CONSTRUCT WATER QUALITY STRUCTURE	LS	1.00		1.00	\$18,000.00	\$ -
129	INSTALL CONSTRUCTION ENTRANCE	EA	1.00		1.00	\$1,500.00	\$ -
130	RENTAL OF LOADER, FULLY OPERATED	HR	20.00		20.00	\$120.00	\$ -
131	RENTAL OF BACKHOE, FULLY OPERATED	HR	20.00		20.00	\$105.00	\$ -
132	RENTAL OF DUMP TRUCK, FULLY OPERATED	HR	20.00		20.00	\$95.00	\$ -
133	RENTAL OF SKID LOADER, FULLY OPERATED	HR	20.00		20.00	\$100.00	\$ -
134	RENTAL OF CRAWLER MOUNTED HYDRAULIC EXCAVATOR, FULLY OPERATED	HR	20.00		20.00	\$175.00	\$ -
135	RENTAL OF VACUUM TRUCK, FULLY OPERATED	HR	20.00		20.00	\$340.00	\$ -
						TOTAL	\$ -

CHANGE ORDER #1

B1	Right-of-Way Grading	CY	2,100.00	-	2,100.00	\$6.60	\$ -
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CHANGE ORDER #2

WCD#1	Removal of Tree per Work Change Directive #1	LS	1.00		1.00	\$705.85	\$ -
WCD#2	Abandonment of 50' of 36" Storm Sewer per Work Change Directive #2	LS	1.00		1.00	\$10,861.78	\$ -
WCD#3	Construction of a 10-inch stubout from Sanitary Manhole GS2	LS	1.00		1.00	\$232.50	\$ -
WCD#4	Remove existing wood panel fence, and replace with white vinyl privacy fence, per Work Change Directive #4	LS	1.00		1.00	\$51,139.20	\$ -
WCD#6	Construction of a 2" ACC Overlay as per Work Change Directive #6	LS	1.00		1.00	\$8,300.00	\$ -
87A (Rev 1)	Construct 6"X10" WYE	EA	1.00		1.00	\$350.00	\$ -
B1	ROW Grading (See attached map, the road surface against the verification topo we shot, giving 2,176 CY of cut)	CY	2,176.00		2,176.00	\$6.60	\$ -
CO#2	Tree Removal in the Fence Line	EA	1.00		1.00	\$1,575.00	\$ -
	Note: Remove Mulberry - Two (2) trees on the City's side of the fence at the SW Corner of Marisu Lane						
	Note: Remove Evergreen - Tree in back yard of 7827 Marisu Lane						
	Note: Remove Maple - Tree on the City's side of the fence at the SW corner of 7809 Marisu Lane						
	Note: Stump Grinding not performed at the request of The City of La Vista						
WCD #7	Retaining Wall Cap Salvage	LS	1.00		1.00	\$5,118.75	\$ -

CHANGE ORDER #3

WCD #8	Installation of five 42" energy dissipator baffles in the pipe run between MH-G7 and MH-G8	LS	1.00		1.00	\$5,076.50	\$ -
WCD #9	Addition of receptacles to the light poles throughout the project.	LS	1.00		1.00	\$91,825.13	\$ -
WCD #10	Outlet C, Lot 4,5,6 Grading Work	LS	1.00		1.00	\$109,698.60	\$ -
CO #3	Add to contract for Storm Sewer Filling	LS	1.00		1.00	\$2,630.00	\$ -
CO #3	Add to contract for Storm Sewer CCTV	EA	1.00		1.00	\$6,675.79	\$ -
CO #3	3" Rock for Lot 17 Access Road	TN	134.32		134.32	\$28.50	\$ -
CO #3	Tree Removal at the south end of the right-of-way	EA	1.00		1.00	\$1,800.00	\$ -
CO #3	Bolt Ring and Grate in Detention Basin	EA	1.00		1.00	\$376.56	\$ -

CHANGE ORDER #4

WCD #11	Installation of decorative street signs	LS	1.00	1.00	\$42,630.00	\$ 42,630.00
CO#4	3" Rock added to Lot 17 access road	TN	80.05	80.05	\$28.50	\$ 2,281.43
CO#4	Phase 1 & 2 Liquidated Damages	LS		1.00	(\$5,710.00)	\$ (5,710.00)

TOTAL \$ 39,201.43

Original Contract Cost	\$ 4,298,611.80
Original Bid Quantity Changes	\$ (173,138.10)
Change Order No. 1	\$ 13,860.00
Change Order No. 2	\$ 115,225.88
Change Order No. 3	\$ 240,850.90
Change Order No. 4	\$ 39,201.43
Total Contract Costs	\$ 4,534,611.91

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
CHANGE ORDER NO 8 84 TH STREET REDEVELOPMENT AREA PUBLIC IMPROVEMENT REDEV. PROJECT OFFSTREET PKG. DIST. NO. 2- STRUCTURE NO. 1	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JOHN KOTTMANN CITY ENGINEER

SYNOPSIS

A resolution has been prepared to approve Change Order No. 8 to the contract with Hawkins Construction Co. of Omaha, Nebraska for additions of work, which will result in an increase in the contract price of \$5,569.00.

FISCAL IMPACT

The FY19/20 Biennial Budget includes funding for this project.

RECOMMENDATION

Approval

BACKGROUND

The initial contract for this project was awarded to Hawkins Construction Co. in the amount of \$3,863,000.00 on November 21, 2017. Previous Change Orders through No. 7 increased the contract price to \$4,015,477.91. Change Order No.8 increases the contract amount by \$5,569.00 to \$4,021,046.91. This change order includes modifications to the sealing of the joint between the parking structure wall and the Lot 15 Building wall located on top of the shared foundation between the City and City Ventures. The costs will be shared between the City and City Ventures according to the terms of the Party Wall Agreement. The City will pay the contractor initially and the developer will reimburse the City for their share of the costs.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING CHANGE ORDER NUMBER 8 TO THE CONTRACT WITH HAWKINS CONSTRUCTION CO., OMAHA, NEBRASKA, TO PROVIDE FOR ADDITIONS OF WORK TO THE CONTRACT WHICH WILL RESULT IN AN INCREASE IN THE CONTRACT PRICE OF \$5,569.00.

WHEREAS, the City has determined it is necessary to make changes and additions of work to the contract; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the project; and

WHEREAS, the contract price will increase with change order number 8 by \$5,569.00.

NOW THEREFORE, BE IT RESOLVED, by the Mayor and City Council of the City of La Vista, Nebraska, that the Mayor is authorized to execute the necessary documents for change order number 8 to the contract with Hawkins Construction Co., Omaha, Nebraska, to provide for additions of work to the contract which will result in an increase in the contract price of \$5,569.00.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk


AIA® Document G701™ – 2017
Change Order

PROJECT: (Name and address)	CONTRACT INFORMATION:	CHANGE ORDER INFORMATION:
10-17105-00 La Vista City Centre Parking Facilities	Contract For: General Construction	Change Order Number: 008
	Date: January 2, 2018	Date: November 26, 2018
OWNER: (Name and address)	ARCHITECT: (Name and address)	CONTRACTOR: (Name and address)
City of La Vista 8116 Park View Blvd La Vista, NE 68128	DLR Group inc. (a Nebraska corporation) 6457 Frances Street, Suite 200 Omaha, NE 68106	Hawkins Construction Co. 2516 Deer Park Blvd Omaha, NE 68105

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

1. Meier Masonry work per PR-004R	\$6,790.00
2. McGill Brothers - Install Metal Flashing per PR-004R	\$3,360.00
3. McGill Brothers - Eliminate preformed joint sealant below metal flashing per PR-004R	- \$4,900.00

Subcontractor TOTAL	\$5,250.00
5% O & P on Subcontractor Work	\$263.00
1.01% Bond	\$56.00
TOTAL	\$5,569.00

The original Contract Sum was	\$ 3,863,000.00
The net change by previously authorized Change Orders	\$ 152,477.91
The Contract Sum prior to this Change Order was	\$ 4,015,477.91
The Contract Sum will be increased by this Change Order in the amount of	\$ 5,569.00
The new Contract Sum including this Change Order will be	\$ 4,021,046.91

The Contract Time will be increased by Zero (0) days.
The new date of Substantial Completion will be

KPV

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

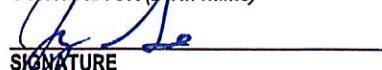
NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

DLR Group inc. (a Nebraska corporation)
ARCHITECT (Firm name)


SIGNATURE

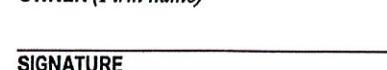
Matthew Gulsvig, Project Manager

Hawkins Construction Co.
CONTRACTOR (Firm name)


SIGNATURE

Jerry Seier, Construction Manager

City of La Vista
OWNER (Firm name)


SIGNATURE

Douglas Kindig, Mayor

PRINTED NAME AND TITLE
November 26, 2018
DATE

PRINTED NAME AND TITLE
11/27/2018
DATE

PRINTED NAME AND TITLE
DATE

Change Proposal Request



Project Name: La Vista Parking Garage

Hawkins Proposal No: 8 R1 Date: 26-Nov-18

Change Proposal Request No:

Description of Change: PR004R

Hawkins Costs:

Miscellaneous:

Burden	45.00% of Labor	\$0.00
Small Tools	3.50% of Labor	\$0.00
Expendables	3.00% of Labor	\$0.00
Sales Tax	0.00% of Material	\$0.00
	Miscellaneous Subtotal:	\$0.00
	Hawkins Total:	\$0.00

Subcontracts:

1) Meier Masonry	\$6,790
2) McGill Brothers-Install metal flashing	\$3,360
3) McGill Brothers-Eliminate preformed joint sealant below metal flashing	(\$4,900)
4)	\$0
5)	\$0
6)	\$0
7)	\$0
8)	\$0
9)	\$0
10)	\$0
SUBCONTRACT TOTAL :	
	\$5,250.00

Mark-ups:

Cost of Work Subtotal	\$5,250.00
10% O & P on Hawkins Work	\$0.00
5% O & P on Subcontract Work	<u>\$263.00</u>
Subtotal:	\$5,513.00
1.01% Bond	<u>\$56.00</u>
	\$5,569.00

MEIER MASONRY, INC.

1808 No. 138th St.
OMAHA, NE 68154

Estimate

DATE
11/2/2018

NAME / ADDRESS PH #

84th St. REDEVELOPMENT
AREA PUBLIC IMPROVEMENT REDEVELOPMENT
PROJECT
OFF STREET PARKING DISTRICT 2
LA VISTA, NE.

MEIER MASONRY, INC
GENE MEIER OFF. (402) 493-3345
FAX (402) 493-3345

SIGNATURE

~~\$7,430.00~~

Phone #	Fax #



MCGILL BROTHERS, INC.

1402 South 50th Street

Omaha, NE 68106

Phone 402-556-0915 Fax 402-556-0916

Date: 2/19/18

Cust/General: Hawkins

Job Name: La Vista Parking Garage

Job Address: 84th Harrison

DIV/SOW: Add flashing per PR#4R

Please accept this proposal for the work described below.

PR#4R pricing

Scope Item/breakdown	Quantity (lnft)	Unit Cost	Equip needed	Notes/Man hours	total bid price
To install the new flashing per detail 33 on 7.2	140	\$24.00		40	\$3,360.00



1402 South 50th Street
Omaha, NE 68106
Phone 402-556-0915 Fax 402-556-0916

Cust/General: Hawkins	Date: 11/2/18				
Job Name:La Vista Parking Garage					
Job Address: 84th Harrison	DIV/SOW: Remove the precompressed foam in horizontal orientation below new metal flashing				
Please accept this proposal for the work described below.					
PR#4R pricing					
Scope Item/breakdown	Quantity (lnft)	Unit Cost	Equip needed	Notes/Man hours	total bid price
deduct for removing the precompressed foam seal	140	\$35.00		40	\$4,900.00

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
PURCHASE OF LAW ENFORCEMENT VOICE RECOGNITION SYSTEM	◆ RESOLUTION ORDINANCE RECEIVE/FILE	BOB LAUSTEN POLICE CHIEF

SYNOPSIS

A resolution has been prepared to approve the purchase of a Voice Recognition System and accessories from Nuance, Burlington, MA, in an amount not to exceed \$24,000.

FISCAL IMPACT

The FY19/20 Biennial Budget provides funding for the proposed purchase.

RECOMMENDATION

Approval

BACKGROUND

Currently Police officers dictate their reports into a file that must be transcribed by Records Clerks. This process is both time consuming and inefficient.

At the 2017 IACP conference staff was introduced to the Dragon voice recognition software, which the Department subsequently demoed. A group of line level police officers have been using the system to complete police reports for the past six months and have found the process to be much more efficient than the current process.

The new county-wide Records Management System will enable officers to complete reports in the field which will increase their visibility in the community and the ability to be more productive in their patrol cars. Viewing content on the screen as they dictate will enable the officers to produce more thorough and accurate reports as they are able to review, edit and fill in missing details as they go. Officer safety will also be improved as the officer will be able to conduct license plate look ups without ever touching a keyboard or taking their eyes off the road.

RESOLUTION NO. ____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA APPROVING THE PURCHASE OF A VOICE RECOGNITION SYSTEM FROM NUANCE, BURLINGTON, MA, IN AN AMOUNT NOT TO EXCEED \$24,000.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of a voice recognition system and accessories is necessary, and

WHEREAS, the FY19/20 Biennial Budget includes funds for the purchase of Nuance "Dragon for Law Enforcement" and accessories, and

WHEREAS, Subsection (c) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any purchase over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby approve the purchase of a Voice Recognition System and accessories from Nuance, Burlington, MA, in an amount not to exceed \$24,000.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

**CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA**

Subject:	Type:	Submitted By:
PURCHASE OF VENTRAC CAB AND SEEDER	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JEFF CALENTINE DEPUTY DIRECTOR OF PUBLIC WORKS

SYNOPSIS

A resolution has been prepared authorizing the purchase of a 2018 Ventrac cab and seeder attachments from Turfwerks, 13705 B St. Omaha, NE 68144 for an amount not to exceed \$15,415.40

FISCAL IMPACT

The FY 19/20 Biennial Budget provides funding for the proposed purchase.

RECOMMENDATION

Approval

BACKGROUND

Funding was approved in the FY 17/18 Biennial Budget for the Parks Division to purchase a Ventrac Tractor that could serve as a multi-functional machine with multiple attachment options. This purchase would equip that machine to perform snow removal operations during the winter and overseeding operations during the summer.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF 2018 VENTRAC CAB AND SEEDER ATTACHMENTS FROM TERFWERKS, OMAHA, NEBRASKA IN AN AMOUNT NOT TO EXCEED \$15,415.40

WHEREAS, the City Council of the City of La Vista has determined that the purchase of cab and seeder attachments is necessary; and

WHEREAS, the FY 19/20 Biennial Budget provides funding for this purchase; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal code requires that the City Administrator secure council approval prior to authorizing any purchases over \$5,000;

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska authorizing the purchase of 2018 Ventrac Cab and Spreader attachments from Terfwerks, Omaha, Nebraska in an amount not to exceed \$11,780.00.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



PARTNERS IN GROWTH

Eagan, MN - Johnston, IA - Sioux Falls, SD - Omaha, NE

Equipment Order Request

Customer Name	City of LaVista	Date	5-Dec-18
Account Number		Ship Address	
Contact Person	Jeff Calentine	City	LaVista
Phone Number	402.630.0872	State	NE
Mobile Number		Zip Code	
Fax Number		Email Address	jcalentine@cityoflavista.org

PO Number **Salesman Number** 18

Deliver Date **Special Terms**

MODEL #	QTY	PRODUCT DESCRIPTION	Unit NJPA	Extended NJPA
70.2014	1	KW452 4500 All weather cab	\$5,737.50	\$ 5,737.50
70.8148	1	Windshield washer kit	\$169.15	\$ 169.15
70.8161	1	Stobe beacon, kit	\$250.75	\$ 250.75
70.8162	1	Hazazrd flashers, kit	\$344.25	\$ 344.25
70.2006-4	1	Exterior mirrors	\$106.25	\$ 106.25
70.2006-6	1	Defrost fan	\$170.00	\$ 170.00
70.8137	1	Heater install, kit	\$259.25	\$ 259.25
			\$	-
	1	Freight and setup (would include us picking up and installing)	\$800.00	\$ 800.00
39.5546	1	EA600 AERA-vator	\$4,806.75	\$ 4,806.75
70.8014	1	Roller kit	\$225.25	\$ 225.25
70.8015	1	Seeder kit	\$2,146.25	\$ 2,146.25
	1	Freight and setup	\$400.00	\$ 400.00
		Purchase order must contain the following to be valid:		
		"This purchase order is issued under NJPA contract #062117-VPI"		

Notes

Subtotal	\$ 15,415.40
Sales Tax	\$ -
TOTAL	\$ 15,415.40

JACOBSEN
A Textron Company

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 18, 2018 AGENDA

Subject:	Type:	Submitted By:
AUTHORIZATION TO PURCHASE COMPUTER EQUIPMENT – WESTERN STATES CONTRACTING ALLIANCE AND DELL	◆ RESOLUTION ORDINANCE RECEIVE/FILE	KEVIN POKORNY DIRECTOR OF ADMINISTRATIVE SERVICES

SYNOPSIS

A resolution has been prepared authorizing the purchase of technology related items from Western States Contracting Alliance (WSCA) and Dell in an amount not to exceed \$30,438.43

- Twenty-three (23) computers with software

FISCAL IMPACT

The FY19/20 Biennial Budget provides funding for the proposed purchases.

RECOMMENDATION

Approval.

BACKGROUND

The IT Committee annually reviews the City's computer inventory. Decision to replace computers is based on functionality, warranty replacement, and growth. In functionality, the committee is reviewing the usage of a computer versus the need for a new computer. There are times when moving outgoing computers to a low usage computer location is more practical than purchasing a new computer. Secondly, the committee looks at the warranty on a computer. As the computer's warranty expires, those computers are placed on a scheduled replacement. Finally, as there are additional computer needs for various positions, the decision is made by the committee whether to add additional computers to the city's inventory.

Based on those factors, departments receiving computer are: City Hall (1); Public Works (3); Police (6); Recreation (1); Library (10) and spares (2).

WSCA bid for computer services designates Dell as the lowest responsible bidder for computer hardware.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF TECHNOLOGY RELATED ITEMS FROM WESTERN STATES CONTRACTING ALLIANCE (WSCA) AND DELL IN AN AMOUNT NOT TO EXCEED \$30,438.43.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of technology related items is necessary; and

WHEREAS, the FY19/20 Biennial Budget provides funding for the proposed Information Technology purchases; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the city administrator secure Council approval prior to authorizing any purchase over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the purchase of technology related items, from Western States Contracting Alliance (WSCA) and Dell in an amount not to exceed \$30,438.43.

PASSED AND APPROVED THIS 18TH DAY OF DECEMBER, 2018.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

From: [Dell \(please do not reply\)](#) on behalf of [Dell Inc.](#)
To: [Rusty Ethridge](#)
Subject: Dell Computer - Saved Quote Information -1025715698748
Date: Wednesday, December 12, 2018 11:10:35 AM



You have saved an eQuote 1025715698748

An eQuote is now saved in your Dell Online Store.
This will be held for 60 days and will expire on 02/10/2019

Your eQuote has been sent to:

Emailed to: Rusty@sarpy.com
Rusty@sarpy.com

To retrieve this eQuote

Login to [Premier](#)

Sign in to Sarpy County - City of La Vista, Nebraska

Click on "Quotes" in the top menu bar and search for eQuote number 1025715698748

eQuote Name	9 - AIO
Saved By	Rusty@sarpy.com
eQuote Description	
Authorized Buyer	
Notes/Comments	
Account Name	Sarpy County - City of La Vista, Nebraska
Contract Code	WN20AGW

Shipping Info

RUSTY ETHRIDGE
1210 GOLDEN GATE DR STE 1130
PAPILLION, NE 68046-2842
(402) 593-1569

Billing Info

KEVIN POKORNY
8116 PARK VIEW BLVD
LA VISTA, NE 68128-2132

eQuote Summary

Description	Quantity	Unit Price	Subtotal
OptiPlex 7460 AIO	9	\$1,367.67	\$12,309.03

eQuote Subtotal	\$12,309.03
Shipping*	\$0.00
Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total*

\$12,309.03

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

eQuote Details

Description	Quantity	Price
xctoo7460aior OptiPlex 7460 AIO	9	\$19,853.28
Premier Discount		\$7,544.25
(Unit Price after discount: \$1,367.67 ea.)		\$12,309.03

Module	Description	Product Code	Sku	ID	
OptiPlex 7460 AIO	OptiPlex 7460 AIO XCTO	G2FXSPH	[210-APOL]	1	
Windows AutoPilot	No AutoPilot	GYEO2AP	[340-CKSZ]	291	
Processor	Intel Core™ i7-8700 (6 Cores/12MB/12T/up to 4.6GHz/65W); supports Windows 10/Linux	GH95U8E	[338-BOCM]	146	
Operating System	Windows 10 Pro 64-bit English	GCTDL8P	[619-AHCR]	11	
Microsoft Office	No Productivity Software	GEKH8UQ	[630-AAPK]	1002	
Dell Data Security	Dell Encryption Personal, 1 Year	PDPE1Y	[421-9984] [954-3455]	593	
Memory	16GB 1X16GB DDR4 2666MHz Non-ECC	GG0HYMC	[370-ADZP]	3	
Hard Drive	2.5 inch 500GB 5400rpm SATA Solid State Hybrid Drive w/ 8GB Flash	GPEZ7JQ	[400-AWFN]	8	
Additional Hard Drive	No Additional Hard Drive	GNTOSJ7	[401-AADF]	637	
Video Card	Intel® Integrated Graphics	GZQDA24	[490-BBFG]	6	
Wireless	No Wireless	GVHB6TP	[555-BBFO]	19	
Wireless Driver	No Wireless Driver	GQMKF4C	[340-AFMQ]	7	
Chassis Options	7460 AIO 23.8" FHD 1920x1080 IPS Non-Touch Anti-Glare, IR Camera, Integrated Graphics, Platinum PSU	GCZRF7A	[329-BDQN]	116	
Keyboard	Black Dell KM636 Wireless Keyboard & Mouse	QX9AR1	[580-AEYY]	4	
Mouse	Mouse included with Keyboard	GU54MYP	[570-AADI]	12	
Cable Covers	No Cable Cover	GDT2C7Z	[325-BCZQ]	376	
Cables and Dongles	No Additional Cable	GIX0L8M	[379-BBCY]	592	
All-in-One Stands and Optical Drive	OptiPlex All-in-One DVD+/-RW enclosed in Height Adjustable Stand, 7460 All-in-One	GET3Y91	[575-BBRE]	558	
Non-Microsoft Application Software	Windows 10 Non-Embedded with IR Camera	G3HGM58	[525-BBCL] [640-BBLW] [658-BBMR] [658-BBRB] [658-BCUV] [658-BDWK] [658-BDWL]	1003	
Operating System Recovery Options	OS-Windows Media Not Included	GLA90Q1	[620-AALW]	200013	
Energy Efficiency Options	Energy Star	G6J34SM	[387-BBLW]	122	

Raid Connectivity	NO RAID	GX5Q06T	[817-BBBN]	1009
LCD	OptiPlex All-in-One Non-Touch Panel	GP3NLIA	[391-BBDM]	760
FGA Module	No FGA	NOFGA	[817-BBBB]	572
External Optical Device	No External ODD	GVTOW4N	[429-ABGY]	317
Systems Management	No Out-of-Band Systems Management	GD2P317	[631-ABRY]	49
Placemat	Documentation, English, French, Spanish, Dell OptiPlex 7460	G42RH5I	[340-CEIS]	60
Optical Software	PowerDVD Software not included	GI5LS2C	[632-BBBJ]	597
Documentation/Disks	Safety/Environment and Regulatory Guide (English/French Multi-language)	G7RB0GY	[340-AGIK]	21
RDVD	No Resource DVD	G4GKHX0	[340-ABJI]	50
Canada Ship Options	US No Canada Ship Charge	G3IA0L8	[332-1286]	111
UPC Label	No UPC Label	G8WGTYN	[389-BCGW]	292
TPM Security	Trusted Platform Module (Discrete TPM Enabled)	GJMDKT6	[329-BBJL]	297
Intel Responsiveness Technologies	No Intel Rapid Start or Smart Connect	GOC5TYG	[409-BBCF]	707
Transportation from ODM to region	Standard shipment	GQT8IGC	[800-BBIO]	200080
Power Cord	System Power Cord (US)	GA5894N	[450-AAOJ]	20
Processor label	Intel(R) Core(TM) i7 Processor Label	GS3FTVL	[389-CGBC]	749
Protect Your New PC	No Security Software	NOSS	[650-AAAM]	1014
Packaging	Ship Material for OptiPlex All-in-One DVD+/-RW enclosed in Height Adjustable Stand, 7460 All-in-One	GY3FVB9	[340-CHGD] [389-BBUU]	465
Regulatory Label	Regulatory Label 7460 AIO	G6R3PEL	[389-CXJI]	676
CompuTrace Offerings + Stoptrack Label	No Computrace	GO1F2XY	[461-AABF]	697
Hardware Support Services	3 Years Hardware Service with Onsite/In-Home Service After Remote Diagnosis	G5LJ3M0	[997-6870] [997-6872]	29

eQuote Subtotal	\$12,309.03
Shipping*	\$0.00
Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* **\$12,309.03**

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From: [Dell \(please do not reply\)](#) on behalf of [Dell Inc.](#)
To: [Rusty Ethridge](#)
Subject: Dell Computer - Saved Quote Information -1024414804905
Date: Wednesday, December 12, 2018 2:55:46 PM



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eQuote Name	LV - Laptops w/dock
Saved By	Rusty@sarpy.com
eQuote Description	
Authorized Buyer	
Notes/Comments	
Account Name	Sarpy County - City of La Vista, Nebraska
Contract Code	WN20AGW

Shipping Info

RUSTY ETHRIDGE
1210 GOLDEN GATE DR STE 1130
PAPILLION, NE 68046-2842
(402) 593-1569

Billing Info

KEVIN POKORNY
8116 PARK VIEW BLVD
LA VISTA, NE 68128-2132

eQuote Summary

Description	Quantity	Unit Price	Subtotal
Dell Latitude 3590	4	\$1,286.23	\$5,144.92
Dell Business Dock - WD15 with 130W adapter	4	\$162.79	\$651.16

eQuote Subtotal	\$5,796.08
Shipping*	\$0.00

Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* **\$5,796.08**

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

eQuote Details

Description	Quantity	Price
xctol359015usr Dell Latitude 3590	4	\$8,298.28
Premier Discount		\$3,153.36
(Unit Price after discount: \$1,286.23 ea.)		\$5,144.92

Module	Description	Product Code	Sku	ID
Dell Latitude 3590	Dell Latitude 3590 XCTO	X3590T	[210-ANYM]	1
Processor	Intel Core i7-8550U Processor (Quad Core, 8MB Cache, 1.8GHz, 15W)	GU00LWB	[379-BCZZ]	146
Operating System	Windows 10 Pro 64bit English, French, Spanish	10P64M	[619-AHKN]	11
Windows AutoPilot	No AutoPilot	GYEO2AP	[340-CKSZ]	291
Microsoft Office	No Productivity Software	NOPSW	[630-AAPK]	1002
Graphics	AMD Radeon™ 530 Graphics	KRD17T	[338-BNQI]	149
Memory	16GB, 1x16GB, 2400Mhz DDR4 Memory	16GB1D	[370-ADHW]	3
Hard Drive	2.5" 500GB SATA 5400RPM Hybrid Hard Drive	G4OYIF5	[400-AUNY]	8
Additional Hard Drive	No Additional Hard Drive	NOAHD	[340-ADBJ]	637
LCD	15.6" HD (1366x768) Embedded Touch, IR Camera & Microphone, WLAN Capable	THDIRL	[320-BCLU] [391-BDNQ]	760
Keyboard	Single Pointing Keyboard, English	ENGKBD	[580-AGUB]	4
Mouse	No Mouse Selected	NOMSE	[570-AADK]	12
Driver	Qualcomm QCA61x4A 802.11ac Dual Band (2x2) Wireless Adapter+ Bluetooth 4.1 Driver	1820	[555-BDXS]	7
Wireless	Qualcomm QCA61x4A 802.11ac Dual Band (2x2) Wireless Adapter+ Bluetooth 4.1	1820	[555-BCMW]	19
Mobile Broadband	No Wireless WAN Card	NOWW	[362-BBBB]	114
Primary Battery	3 Cell 42Whr ExpressCharge™ Capable Battery	42W3C	[451-BCEW]	112
Power Supply	65W AC Adapter, 4.5mm Barrel	65WAA	[450-ADTR]	1015
PalmRest	No Fingerprint and No Smart Card	NFPR	[346-BCQP]	55
FGA Module	No FGA	NOFGA	[817-BBBB]	572
Placemat	Win 10 Quick Reference Guide, English/French	PLMTEF	[340-BZFZ]	60
Canada Ship Options	US No Canada Ship Charge	USNONE	[332-1286]	111
Diagnostic CD / Diskette	No Resource DVD	NRDVD	[430-XXYG]	50

Non-Microsoft Application Software	Windows System Software	WIN10	[525-0131] [525-BBCL] [640-BBLW] [658-BBMR] [658-BBRB] [658-BCUV] [658-BDTB]	1003
Packaging	Mixed Model Shipping Material	SHPMX	[340-BSDH] [340-BZFT]	465
Cable	US Power Cord	US125V	[537-BBBL]	20
Documentation/Disks	Safety/Environment and Regulatory Guide (English/French Multi-language)	EFDOC	[340-AGIK]	21
Processor Branding	Intel® Core™ i7 Processor Label	KRCI7SM	[389-CGBC]	749
Label	Regulatory Label Included	REG	[389-BEYY]	676
Carrying Cases	No Carrying Case	NONE	[460-BBEX]	118
E-Star	No Energy Star	G8R9P53	[387-BBCE]	122
Transportation from ODM to Region	BTO Standard Shipment	BTOSTS	[800-BBGS]	200080
Docking Solutions	Not Included	NONE	[452-BBSE]	271
UPC Label	No UPC Label	NOUPC	[389-BCGW]	292
TAA	No TAA	NOTAA	[340-ACQQ]	97
Hard Drive Software	No Additional Hard Drive Selected	GU89CVR	[610-BBXQ]	707
Operating System Recovery Options	No Media	NOMEDIA	[620-AAOH]	200013
Protect your new PC	No Security Software	NOSS	[650-AAAM]	1014
Hardware Support Services	3 Years Hardware Service with Onsite/In-Home Service After Remote Diagnosis	G5UZ0S8	[975-3461] [997-6727] [997-6735] [997-6737]	29
Accidental Damage	3 Years Accidental Damage Service	G5UZJWM	[973-9184]	33

Dell Business Dock - WD15 with 130W adapter \$879.96
Sku [452-BDDV] 4

Premier Discount \$228.80

(Unit Price after discount: \$162.79 ea.) \$651.16

eQuote Subtotal	\$5,796.08
Shipping*	\$0.00
Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* \$5,796.08

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Date: Thursday, December 13, 2018 10:54:48 AM



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eQuote Name	LV Library - 9 AIO
Saved By	Rusty@sarpy.com
eQuote Description	
Authorized Buyer	
Notes/Comments	
Account Name	Sarpy County - City of La Vista, Nebraska
Contract Code	WN20AGW

Shipping Info

RUSTY ETHRIDGE
1210 GOLDEN GATE DR STE 1130
PAPILLION, NE 68046-2842
(402) 593-1569

Billing Info

KEVIN POKORNY
8116 PARK VIEW BLVD
LA VISTA, NE 68128-2132

eQuote Summary

Description	Quantity	Unit Price	Subtotal
OptiPlex 7460 AIO	9	\$1,054.84	\$9,493.56

eQuote Subtotal	\$9,493.56
Shipping*	\$0.00
Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total*

\$9,493.56

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

eQuote Details

Description	Quantity	Price
xctoo7460aior OptiPlex 7460 AIO	9	\$15,312.15
Premier Discount		\$5,818.59
(Unit Price after discount: \$1,054.84 ea.)		\$9,493.56

Module	Description	Product Code	Sku	ID
OptiPlex 7460 AIO	OptiPlex 7460 AIO XCTO	G2FXSPH	[210-APOL]	1
Windows AutoPilot	No AutoPilot	GYEO2AP	[340-CKSZ]	291
Processor	Intel Core™ i5-8500 (6 Cores/9MB/6T/up to 4.1GHz/65W); supports Windows 10/Linux	GQ9264U	[338-BOCK]	146
Operating System	Windows 10 Pro 64-bit English	GCTDL8P	[619-AHCR]	11
Microsoft Office	No Productivity Software	GEKH8UQ	[630-AAPK]	1002
Memory	8GB 1X8GB DDR4 2666MHz Non-ECC	GFH3TEZ	[370-ADZL]	3
Hard Drive	2.5" 500GB 7200RPM SATA Hard Disk Drive	G516WE8	[400-AEFT]	8
Additional Hard Drive	No Additional Hard Drive	GNOTOSJ7	[401-AADF]	637
Video Card	Intel® Integrated Graphics	GZQDA24	[490-BBFG]	6
Wireless	No Wireless	GVHB6TP	[555-BBFO]	19
Wireless Driver	No Wireless Driver	GQMKF4C	[340-AFMQ]	7
Chassis Options	7460 AIO 23.8" FHD 1920x1080 IPS Non-Touch Anti-Glare, Camera, Integrated Graphics, Bronze PSU	GE2DUBF	[329-BDQU]	116
Keyboard	Black Dell KB216 Wired Keyboard	GZDPBC1	[580-ADJC]	4
Mouse	Dell MS116 Wired Mouse	GWJIAF2	[275-BBBW]	12
Cable Covers	No Cable Cover	GDT2C7Z	[325-BCZQ]	376
Cables and Dongles	No Additional Cable	GIXOL8M	[379-BBCY]	592
All-in-One Stands and Optical Drive	OptiPlex All-in-One DVD+/-RW enclosed in Height Adjustable Stand, 7460 All-in-One	GET3Y91	[575-BBRE]	558
Non-Microsoft Application Software	Windows 10 NonEmbedded without IR Camera	GX713TL	[525-BBCL] [640-BBLW] [658-BBMR] [658-BBRB] [658-BCUV] [658-BDWK]	1003
Operating System Recovery Options	OS-Windows Media Not Included	GLA90Q1	[620-AALW]	200013
Energy Efficiency Options	Energy Star	G6J34SM	[387-BBLW]	122
Raid Connectivity	NO RAID	GX5Q06T	[817-BBBN]	1009
LCD	OptiPlex All-in-One Non-Touch Panel	GP3NLIA	[391-BBDM]	760
FGA Module	No FGA	NOFGA	[817-BBBB]	572
External Optical				

Device	No External ODD	GVTOW4N	[429-ABGY]	317
Systems Management	No Out-of-Band Systems Management	GD2P317	[631-ABRY]	49
Placemat	Documentation, English, French, Spanish, Dell OptiPlex 7460	G42RH5I	[340-CEIS]	60
Optical Software	PowerDVD Software not included	GI5LS2C	[632-BBBJ]	597
Documentation/Disks	Safety/Environment and Regulatory Guide (English/French Multi-language)	G7RB0GY	[340-AGIK]	21
RDVD	No Resource DVD	G4GKHX0	[340-ABJI]	50
Canada Ship Options	US No Canada Ship Charge	G3IA0L8	[332-1286]	111
UPC Label	No UPC Label	G8WGTYN	[389-BCGW]	292
TPM Security	Trusted Platform Module (Discrete TPM Enabled)	GJMDKT6	[329-BBJL]	297
Intel Responsiveness Technologies	No Intel Rapid Start or Smart Connect	GOC5TYG	[409-BBCF]	707
Transportation from ODM to region	Standard shipment	GQT8IGC	[800-BBIO]	200080
Power Cord	System Power Cord (US)	GA5894N	[450-AAOJ]	20
Processor label	Intel(R) Core(TM) i5 Processor Label	GS8CVPI	[389-CGBB]	749
Protect Your New PC	No Security Software	NOSS	[650-AAAM]	1014
Packaging	Ship Material for OptiPlex All-in-One DVD+/-RW enclosed in Height Adjustable Stand, 7460 All-in-One	GY3FVB9	[340-CHGD] [389-BBUU]	465
Regulatory Label	Regulatory Label 7460 AIO	G6R3PEL	[389-CXJI]	676
CompuTrace Offerings + Stoptrack Label	No Computrace	G01F2XY	[461-AABF]	697
Hardware Support Services	3 Years Hardware Service with Onsite/In-Home Service After Remote Diagnosis	G5LJ3M0	[997-6870] [997-6872]	29

eQuote Subtotal	\$9,493.56
Shipping*	\$0.00
Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* **\$9,493.56**

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eQuote Name	MB-LV2
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eQuote Description	
Authorized Buyer	
Notes/Comments	
Account Name	Sarpy County - City of La Vista, Nebraska
Contract Code	WN20AGW

Shipping Info

RUSTY ETHRIDGE
1210 GOLDEN GATE DR STE 1130
PAPILLION, NE 68046-2842
(402) 593-1569

Billing Info

KEVIN POKORNY
8116 PARK VIEW BLVD
LA VISTA, NE 68128-2132

eQuote Summary

Description	Quantity	Unit Price	Subtotal
Precision 5820 Tower	1	\$2,590.88	\$2,590.88
Dell 24 Monitor P2418HZm	1	\$248.88	\$248.88

eQuote Subtotal	\$2,839.76
Shipping*	\$0.00
Shipping Discount*	\$0.00

Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* **\$2,839.76**

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

eQuote Details

Description	Quantity	Price
xctopt5820corexusr Precision 5820 Tower	1	\$3,985.96
Premier Discount		\$1,395.08
		\$2,590.88

Module	Description	Product Code	Sku	ID
Precision 5820 Tower	Precision 5820 Tower XCTO Base	T5820X	[210-ANJK]	1
Processor	Intel® Core™ i7-7800X 3.5GHz, 4GHz Turbo, 6C 8.25MB Cache, HT, (140W) DDR4-2400 Non-ECC	G0CV48F	[338-BPUM] [389-CGEU] [400-BBBH] [412-AALF]	146
Operating System	Windows 10 Pro 64bit English, French, Spanish	GF48XA1	[619-AHKN]	11
Windows AutoPilot	No AutoPilot	GYEO2AP	[340-CKSZ]	291
Microsoft Office	No Productivity Software	NOPSW	[817-BBBC]	1002
Chassis Options	Precision 5820 Tower Core X 950W Chassis	GY0GI2A	[321-BDTY]	116
Video Card	Radeon Pro WX 2100, 2GB, DP, 2 mDP (5820T)	WX2100	[490-BECC]	6
Memory	32GB 2x16GB DDR4 2666MHz UDIMM Non-ECC	GFZUSM4	[370-AEFW]	3
Systems Management	No Out-of-Band Systems Management	NOVPRO	[631-ABML]	49
Operating System (Boot) Drive	SATA/SAS Hard Drive/Solid State Drive	BOOTHDD	[449-BBLT]	276
Hard Drive Controllers	Integrated Intel AHCI SATA chipset controller (8x 6.0Gb/s), SW RAID 0,1,5,10	CNTRL	[403-BBRL]	9
Hard Drive	2.5" 1TB SATA Class 20 Solid State Drive	GKL9BXN	[400-AYQE]	8
2nd Hard Drive	No Hard Drive	NOHDD	[400-AKZR]	637
3rd Hard Drive	No Hard Drive	NOHDD	[400-AKZR]	54
4th Hard Drive	No Hard Drive	NOHDD	[400-AKZR]	51
Slimline Bay Options	8X DVD+/-RW Slimline	8XDVDRW	[325-BCUD] [429-ABDW]	104
5.25" FlexBay	No Optical	NOODD	[429-ABER]	16
5th Hard Drive	No Hard Drive	NOHDD	[400-AKZR]	52
6th Hard Drive	No Hard Drive	NOHDD	[400-AKZR]	53
RAID for HDD/SSD & Front M.2 NVMe SSDs	No RAID	NORAIID	[780-BBCJ]	1009
Keyboard	Dell KM636 Wireless Keyboard & Mouse Black	KM636BE	[580-AEYY]	4
Mouse	No Mouse	NMSE	[570-AADK]	12

Teradici Remote

Workstation Access Host Card	No Remote Access Host Card	NHSTCRD	[340-ADBJ]	959
Network Cards	No Add-In Network Card (Integrated NIC only)	NONIC	[555-BBJO]	13
PCIe I/O Cards	Not Selected in this Configuration	NOTHB	[817-BBBC]	666
Power Cords	US 125V Power Cord	USPWR	[470-AAKG]	20
Placemat	Placemat 5820 Tower MUI DAO	DOCMUI	[340-BYNM]	60
Resource DVD	Resource DVD not Included	NORDVD	[430-XXYU]	50
Operating System Recovery Options	OS-Windows Media Not Included	NOMEDIA	[620-AALW]	200013
E-Star	No Energy Star	NOESTAR	[387-BBBE]	122
Optimizer	Dell Precision Optimizer	OPTMZR	[640-BBRC]	372
Optical Software	CMS Essentials DVD no Media	CW8DN	[658-BBTW]	597
Label	T5820 950W Regulatory Label (DAO)	DAO950W	[389-CGKH]	676
Documentation/Disks	Safety/Environment and Regulatory Guide (English/French Multi-language)	EFDOC	[340-AGIK]	21
Mounts and Monitor Stands	No Stand	NOSTND	[575-BBCH]	558
Storage Volume	Boot drive or boot volume is greater than 2 TB (select when 3TB/4TB HDD is ordered)	GPT3TB	[411-XXYB]	387
Cables and Dongles	No Accessories	NOACCES	[461-AABV]	592
TPM Security	TPM	TPM	[329-BBJL]	297
Packaging	Ship Material Tower 5820,7820	SHPMTL	[328-BCRU] [340-AEYP]	465
Hardware Support Services	3 Years Hardware Warranty with Onsite/In-Home Service after Remote Diagnosis	NBD3	[997-7163] [997-7165]	29
Canada Ship Options	Non-Canada orders only	USNONE	[332-1286]	111
Non-Microsoft Application Software	Windows 10	WIN10	[370-AAIP] [444-BBBC] [444-BBBS] [525-BBCL] [640-BBLW] [658-BBMQ] [658-BCUV]	1003

p2418hzmsap | Dell 24 Monitor P2418HZm 1 \$329.99

Premier Discount \$81.11

\$248.88

Module	Description	Product Code	Sku	ID
Dell 24 Monitor - P2418HZ	Dell 24 Monitor - P2418HZ	P2418HM	[210-ANME]	1
Hardware Support Services	3 Years Advanced Exchange Service	AE3	[814-5380] [814-5381]	29

eQuote Subtotal \$2,839.76
Shipping* \$0.00

Shipping Discount*	\$0.00
Tax*	\$0.00
Environmental Disposal Fee*	\$0.00

eQuote Total* **\$2,839.76**

*The eQuote total, including applicable taxes and additional fees, may be viewable online.

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