

LA VISTA CITY COUNCIL MEETING AGENDA

December 19, 2017

7:00 P.M.

Harold "Andy" Anderson Council Chamber
La Vista City Hall
8116 Park View Blvd.

- Call to Order
- Pledge of Allegiance
- Announcement of Location of Posted Open Meetings Act
- Swear in Police Officers – Brian Straw; Tanner Reiss

All matters listed under item A, Consent Agenda, are considered to be routine by the city council and will be enacted by one motion in the form listed below. There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. CONSENT AGENDA

1. Approval of the Agenda as Presented
2. Approval of the Minutes of the December 5, 2017 City Council Meeting
3. Approval of the Minutes of the November 16, 2017 Planning Commission Meeting
4. Monthly Financial Report – October 2017
5. Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – 72nd Street and Thompson Creek Culvert Rehabilitation - \$218.42
6. Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – La Vista Phase 1 Golf Course Transformation – Proposed Lake Improvements - \$14,462.47
7. Request for Payment – Thompson, Dreessen & Dorner, Inc. – Professional Services – Big Papio Creek Siphon Repair - \$1,690.17
8. Request for Payment – Upstream Weeds – Professional Services – Storm Water Outreach - \$825.00
9. Request for Payment - Thompson, Dreessen & Dorner, Inc. – Professional Services – Thompson Creek Phase 1 - \$9,221.05
10. Request for Payment - Thompson, Dreessen & Dorner, Inc. – Professional Services – Thompson Creek Phase 1 - \$226.10
11. Request for Payment – KSI Construction – Construction Services – 84th Street Redevelopment Project - \$166,884.00
12. Request for Payment – HDR Engineering Inc. – Professional Services – Public Improvements and other works - \$15,760.17
13. Approval of Claims

- Reports from City Administrator and Department Heads

B. Application to Amend PUD Site Plan – Lots 14-A and 15-A, Southport East Replat Eight and Lots 1-4, Southport East Replat Nine (Southport Pkwy & Eastport Pkwy)

1. Public Hearing
2. Resolution

C. Resolution – Approve Amendment – Design & Construction Engineering Agreement – City Parking District Drainage Improvements

D. Resolution – Authorize Surveying Services - Golf Course Transformation Phase 1 Grading

E. Resolution – Authorize Agreement – Storm Sewer Repair Work – 108th & Chandler Road

F. Executive Session – Contract Negotiations; Land Acquisition

- Comments from the Floor

- Comments from Mayor and Council

- Adjournment

The public is welcome and encouraged to attend all meetings. If special accommodations are required please contact the City Clerk prior to the meeting at 402-331-4343. A copy of the Open Meeting Act is posted in the Council Chamber and available in the public copies of the Council packet. Citizens may address the Mayor and Council under "Comments from the Floor." Comments should be limited to five minutes. We ask for your cooperation in order to provide for an organized meeting.

MINUTE RECORD

A-2

No. 729 - REEDFIELD & COMPANY, INC. OMAHA E1310556LD

LA VISTA CITY COUNCIL MEETING December 5, 2017

A meeting of the City Council of the City of La Vista, Nebraska was convened in open and public session at 7:00 p.m. on December 5, 2017. Present were Councilmembers: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Also in attendance were City Attorney McKeon, City Administrator Gunn, Assistant City Administrator Ramirez, City Clerk Buethe, Police Chief Lausten, Director of Public Works Soucie, City Engineer Kottmann, Director of Administrative Services Pokorny, Community Development Director Birch, Finance Director Miserez, and Recreation Director Stopak.

A notice of the meeting was given in advance thereof by publication in the Times on November 29, 2017. Notice was simultaneously given to the Mayor and all members of the City Council and a copy of the acknowledgment of the receipt of notice attached to the minutes. Availability of the agenda was communicated to the Mayor and City Council in the advance notice of the meeting. All proceedings shown were taken while the convened meeting was open to the attendance of the public. Further, all subjects included in said proceedings were contained in the agenda for said meeting which is kept continuously current and available for public inspection at City Hall during normal business hours.

Mayor Kindig called the meeting to order, led the audience in the Pledge of Allegiance, and made the announcements.

A. CONSENT AGENDA

1. APPROVAL OF THE AGENDA AS PRESENTED
2. APPROVAL OF THE MINUTES OF THE NOVEMBER 21, 2017 CITY COUNCIL MEETING
3. REQUEST FOR PAYMENT - DESIGN WORKSHOP, INC. - PROFESSIONAL SERVICES - 84TH STREETSCAPE PLAN - \$54,718.81
4. REQUEST FOR PAYMENT - OLSSON ASSOCIATES - PROFESSIONAL SERVICES - LA VISTA CITY CENTRE PHASE 1 PUBLIC INFRASTRUCTURE - \$16,182.57
5. REQUEST FOR PAYMENT - OLSSON ASSOCIATES - PROFESSIONAL SERVICES - LA VISTA 96TH & BRENTWOOD TRAFFIC SIGNAL - \$12,682.69
6. REQUEST FOR PAYMENT - OLSSON ASSOCIATES - PROFESSIONAL SERVICES - LA VISTA 84TH STREET REDEVELOPMENT SITE PREPARATION - \$18,651.22
7. REQUEST FOR PAYMENT - BLADE MASTERS GROUNDS MNTC., INC. - CONSTRUCTION SERVICES - GOLF COURSE TRANSFORMATION PHASE 1 GRADING - \$110,912.31
8. APPROVAL OF CLAIMS

AA WHEEL & TRUCK SUPPY, maint.	\$126.43
ACTION BATTERIES, maint.	\$30.90
AMERICAN HERITAGE LIFE INS CO, services	\$1,498.13
ANDERSON BROTHERS ENGINEERING, bld&grnds	\$215.00
ASCAP, services	\$341.75
ATLAS COPCO COMPRESSORS LLC, services	\$217.35
BAXTER CHRYSLER DODGE JEEP, maint.	\$48.56
BAXTER FORD, maint.	\$17.88
BKD LLP, services	\$2,235.00
BLACK HILLS ENERGY, utilities	\$4,645.24
CENTER POINT PUBLISHING, books	\$318.18
CENTRAL PLAINS LIBRARY SYSTEM, supplies	\$12.65
CENTURY LINK BUSN SVCS, phones	\$31.34
CENTURY LINK, phones	\$151.79
CENTURY LINK, phones	\$132.78
CHRIS MADDEN, services	\$825.00
CHRYSTAN FERRELL LLC, maint.	\$2,200.00
CITY OF OMAHA, utilities	\$211,619.57
CONSOLIDATED MANAGEMENT, services	\$177.74

MINUTE RECORD

December 5, 2017

No. 729 — REDFIELD & COMPANY, INC., OMAHA E1310556LD

CONTINENTAL RESEARCH CORP, services	\$580.50
CORNHUSKER STATE INDUSTRIES, services	\$202.04
COX COMMUNICATIONS, services	\$145.91
CROSSBUCK GUN CABINETS, services	\$750.00
D & K PRODUCTS, services	\$13,528.95
DLR GROUP, services	\$49,595.87
DULTMEIER SALES, bld&grnds	\$139.80
EBSCO INFORMATION, media	\$4,036.06
EDGEWEAR SCREEN PRINTING, apparel	\$57.00
FELSBURG HOLT & ULLEVIG, services	\$1,235.70
FIRST WIRELESS INC, services	\$75.80
FOCUS PRINTING, services	\$3,043.19
FOCUS PRINTING, services	\$3,043.19
GALE, books	\$164.18
GENERAL FIRE & SAFETY EQUIP CO, services	\$245.00
GOVERNMENT FINANCE OFFICER'S, services	\$190.00
GRAINGER, bld&grnds	\$140.57
GRAYBAR ELECTRIC CO, supplies	\$485.21
HDR ENGINEERING INC, services	\$19,427.04
HEIMES CORP, services	\$56.72
HOBBY LOBBY, supplies	\$83.46
HOME DEPOT, bld&grnds	\$104.13
INGRAM LIBRARY SERVICES, books	\$2,652.31
KSI CONSTRUCTION, services	\$89,119.09
LAUSTEN JR ROBERT S, services	\$1,400.00
LERNER PUBLISHING GROUP, books	\$713.39
LOGAN CONTRACTORS SUPPLY, maint.	\$89.00
LOGO LOGIX, apparel	\$120.00
LV COMM FOUNDATION, refund/payroll	\$1,560.00
MARCO INC, services	\$571.90
MARK A KLINGER, services	\$200.00
MARY HAGERUP, travel	\$94.95
MAX I WALKER UNIFORM, services	\$573.20
MENARDS-RALSTON, services	\$334.39
MICHAEL D SCHAWANG, services	\$750.00
MIDWEST TAPE, media	\$272.87
MNJ TECHNOLOGIES, services	\$1,047.00
MUD, utilities	\$313.66
MUD, utilities	\$1,661.09
NE DEPT OF REVENUE, sales tax	\$674.47
NE SALT & GRAIN CO, services	\$1,625.00
NE WELDING LTD, maint.	\$103.50
NEWMAN TRAFFIC SIGNS, services	\$1,014.50
NOVA FITNESS EQUIPMENT CO, services	\$960.20
NUTS & BOLTS INC, maint.	\$18.00
NWEA-NE WATER ENVIRONMENT ASSN, services	\$580.00
OCLC INC, services	\$149.77
OFFICE DEPOT INC, supplies	\$165.33
OFFICE DEPOT INC, supplies	\$865.27
OPPD, utilities	\$2,250.02
ORIENTAL TRADING CO, supplies	\$574.27
PAPILLION SANITATION, services	\$260.76
PAYFLEX SYSTEMS, services	\$291.75
PAYLESS OFFICE PRODUCTS, supplies	\$147.42
PENWORTHY CO, books	\$768.05
PETTY CASH, supplies	\$332.65
PHAM, RACHEL THUY LINH, services	\$60.00
QUICK, T., travel	\$55.00
RAINBOW GLASS & SUPPLY, services	\$246.06
READ ALOUD NEBRASKA, services	\$40.00

MINUTE RECORD

December 5, 2017

No. 729 — REEDFIELD & COMPANY, INC. OMAHA E1310556LD

READY MIXED CONCRETE CO, maint.	\$1,073.48
RETRIEVEX, services	\$151.49
ROCKY HENKEL, payroll	\$73.71
ROURKE PUBLISHING CO, books	\$736.30
RUNZA RESTAURANT, services	\$1,237.00
SARPY COUNTY COURTHOUSE, services	\$4,100.03
SCHEMMER ASSOCIATES INC, services	\$1,650.70
SIRCHIE FINGER PRINT LABS, services	\$73.24
SOUTHERN UNIFORM, apparel	\$628.45
SUSPENSION SHOP INC, maint.	\$735.00
TED'S MOWER SALES, maint.	\$9.49
THERMO KING CHRISTENSEN, maint.	\$136.01
THOMPSON DREESSEN & DORNER, services	\$170.00
TOSHIBA FINANCIAL, services	\$127.40
TRACTOR SUPPLY, maint.	\$49.99
TRAVELERS, services	\$756.78
UNITED RENT-ALL, services	\$394.66
VERIZON WIRELESS, phones	\$129.09
WAL-MART, supplies	\$893.30
WICK'S STERLING TRUCKS, maint.	\$110.11

Councilmember Thomas made a motion to approve the consent agenda. Seconded by Councilmember Hale. Councilmember Thomas reviewed the bills and stated everything was in order. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

REPORTS FROM CITY ADMINISTRATOR AND DEPARTMENT HEADS

Police Chief Lausten thanked those who helped with the Fraternal Order of Police's annual Shop with a Cop. Lausten stated that two officers will be graduating from the academy on Friday, Brian Straw and Tanner Ries. They will start as full-time officers next week and begin field training. The DARE Graduation at Portal Elementary will be December 15th.

Director of Public Works Soucie stated the playground surface at Val Verde is completed and the Applewood Creek project is almost complete.

City Engineer Kottmann gave a comprehensive construction update.

B. ORDINANCE – AMEND MASTER FEE ORDINANCE

Councilmember Sell introduced Ordinance No. 1318 entitled: AN ORDINANCE TO AMEND ORDINANCE NO.1313, AN ORDINANCE TO ESTABLISH THE AMOUNT OF CERTAIN FEES AND TAXES CHARGED BY THE CITY OF LA VISTA FOR VARIOUS SERVICES INCLUDING BUT NOT LIMITED TO BUILDING AND USE, ZONING, OCCUPATION, PUBLIC RECORDS, ALARMS, EMERGENCY SERVICES, RECREATION, LIBRARY, AND PET LICENSING; SEWER AND DRAINAGE SYSTEMS AND FACILITIES OF THE CITY FOR RESIDENTIAL USERS AND COMMERCIAL USERS (INCLUDING INDUSTRIAL USERS) OF THE CITY OF LA VISTA AND TO GRANDFATHER EXISTING STRUCTURES AND TO PROVIDE FOR TRACT PRECONNECTION PAYMENTS AND CREDITS; REGULATING THE MUNICIPAL SEWER DEPARTMENT AND RATES OF SEWER SERVICE CHARGES; TO PROVIDE FOR SEVERABILITY; AND TO PROVIDE THE EFFECTIVE DATE HEREOF.

Councilmember Sheehan moved that the statutory rule requiring reading on three different days be suspended. Councilmember Crawford seconded the motion to suspend the rules and roll call vote on the motion. The following Councilmembers voted aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. The motion to suspend the rules was adopted and the statutory rule was declared suspended for consideration of said ordinance.

MINUTE RECORD

December 5, 2017

No. 729 — REEDIE & COMPANY, INC. OMAHA E13105561D

Said ordinance was then read by title and thereafter Councilmember Sheehan moved for final passage of the ordinance which motion was seconded by Councilmember Sell. The Mayor then stated the question, "Shall Ordinance No. 1318 be passed and adopted?" Upon roll call vote the following Councilmembers voted aye Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. The passage and adoption of said ordinance having been concurred on by a majority of all members of the Council, the Mayor declared the ordinance adopted and the Mayor, in the presence of the Council, signed and approved the ordinance and the City Clerk attested the passage/approval of the same and affixed her signature thereto.

C. RESOLUTION - AUTHORIZE AGREEMENT FOR CIVIC CENTER PARK – PHASE 2 DESIGN SERVICES

Councilmember Thomas introduced and moved for the adoption of Resolution No. 17-154 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT WITH RDG PLANNING & DESIGN FOR CIVIC CENTER PARK – PHASE 2 DESIGN SERVICES.

WHEREAS, the Mayor and City Council of the City of La Vista have determined that professional design services for Civic Center Park – Phase 2 are necessary; and

WHEREAS, the FY17/18 Biennial Budget contains funding for multiple potential public infrastructure improvements and associated services; and

WHEREAS, RDG Planning & Design was determined to meet the City's needs for this work; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secures Council approval prior to authorizing any purchase over \$5,000.00,

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska do hereby authorize an agreement with RDG Planning & Design for Civic Center Park – Phase 2 design services in the amount of \$84,400 plus reimbursable expenses.

Seconded by Councilmember Frederick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

D. RESOLUTION – STORM WATER CONSULTANT SERVICES AGREEMENT – 2017 PUBLIC EDUCATION & OUTREACH – AMENDMENT NO. 1

Councilmember Hale introduced and moved for the adoption of Resolution No. 17-155 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE EXECUTION OF AMENDMENT NUMBER 1 TO THE AGREEMENT WITH CHRIS MADDEN OF UPSTREAM WEEDS FOR STORM WATER CONSULTANT SERVICES, 2017 PUBLIC EDUCATION & OUTREACH FOR THE THOMPSON CREEK WATERSHED MANAGEMENT PROJECT IN AN ADDITIONAL AMOUNT NOT TO EXCEED \$1,650.00.

WHEREAS, the City Council of the City of La Vista has determined that said services are necessary; and

WHEREAS, the funding for these services will come from the NDEQ Annual Storm Water Management Plan Grant; and

NOW, THEREFORE BE IT RESOLVED, by the Mayor and City Council of La Vista, Nebraska, authorizing the execution of an amendment to the agreement with Chris Madden of Upstream Weeds for storm water consultant services, 2017 public education and outreach for the Thompson Creek Watershed Management Project in an additional amount not to exceed \$1,650.00.

MINUTE RECORD

December 5, 2017

No. 729 — REEDFIELD & COMPANY, INC., OMAHA E1910556LD

Seconded by Councilmember Quick. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

E. RESOLUTION – AWARD CONTRACT – STORM SEWER LINING – 72ND AND THOMPSON CREEK

Councilmember Hale introduced and moved for the adoption of Resolution No.17-156 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AWARDING A CONTRACT TO MUNICIPAL PIPE TOOL COMPANY, LLC OF HUDSON IOWA FOR CONSTRUCTION OF THE 72ND STREET AND THOMPSON CREEK STORM SEWER LINING IN AN AMOUNT NOT TO EXCEED \$9,600.00.

WHEREAS, the City Council of the City of La Vista has determined construction of a storm sewer lining at 72nd Street and Thompson Creek is necessary; and

WHEREAS, the FY17/18 Biennial budget includes funding for the proposed project; and

WHEREAS, Bids were received from four (4) contractors, and

WHEREAS, Municipal Pipe Tool Company, LLC, Hudson, Iowa has submitted the low, qualified bid, and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secures Council approval prior to authorizing any purchase over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska award a contract to Municipal Pipe Tool Company, LLC, Hudson, Iowa for construction of a storm sewer lining at 72nd Street and Thompson Creek in an amount not to exceed \$9,600.00.

Seconded by Councilmember Thomas. Councilmember Crawford commended Public Works for thinking outside the box on the cooperative effort with other agencies on this project. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

F. RESOLUTION – APPROVE PURCHASE – CELLEBRITE MOBILE FORENSIC EXTRICATION DEVICE

Councilmember Quick introduced and moved for the adoption of Resolution No.17-157 entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, AUTHORIZING THE PURCHASE OF A CELLEBRITE UFED MOBILE FORENSIC EXTRACTION DEVICE FROM CELLEBRITE INCORPORATED, PARSIPPANY, NEW JERSEY IN AN AMOUNT NOT TO EXCEED \$9,085.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of technology related items is necessary; and

WHEREAS, the Police Department received grant funding from the Nebraska State Patrol for the purchase of a mobile forensic device; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the city administrator secure Council approval prior to authorizing any purchase over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista, Nebraska, do hereby authorize the purchase of a Cellebrite UFED mobile forensic extraction device from Cellebrite Incorporated, Parsippany, NJ, in an amount not to exceed \$9,085.

Seconded by Councilmember Hale. Councilmember Quick asked if the police have seen this used. Police Chief Lausten stated they had. It is a portable device that can

MINUTE RECORD

December 5, 2017

No. 729 — REEDFIELD & COMPANY, INC., OMAHA E13105561D

get information at scene such as information from a cell phone. Two people are trained on this device. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

G. RESOLUTION – APPROVE PURCHASE – UTILITY TASK VEHICLE

Councilmember Sell introduced and moved for the adoption of Resolution No.17-158. entitled: A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING THE POLICE DEPARTMENT TO PURCHASE A KAWASAKI MULE 4010 4X4 UTILITY VEHICLE FROM DILLON BROTHERS MOTOSPORTS, OMAHA, NEBRASKA, IN AN AMOUNT NOT TO EXCEED \$9,984.00.

WHEREAS, the City Council of the City of La Vista has determined that the purchase of a specialized 4x4 utility vehicle for use by the police department is necessary, and

WHEREAS, the FY17/18 Biennial budget provides funding for the proposed purchase, and

WHEREAS, staff researched various models of law enforcement use utility vehicles and concluded a Kawasaki Mule 4010 4X4 best fits the police department's need, and

WHEREAS, Dillon Brothers MotorSports, Omaha, Nebraska will extend GSA pricing on the unit, and

WHEREAS, Subsection (c) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secure Council approval prior to authorizing any purchase over \$5,000.00.

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska, do hereby authorize the police department to purchase one (1) 2017 Kawasaki Mule 4010 4x4 from Dillon Brothers Motor Sports, Omaha, Nebraska, in an amount not to exceed \$9,984.00.

Seconded by Councilmember Thomas. Mayor Kindig asked how often we use the utility vehicle we have. Police Chief Lausten stated that the current vehicle is used quite often and provided examples of the use and the need for another. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

H. EXECUTIVE SESSION – CONTRACT NEGOTIATIONS; LAND ACQUISITION

There was no executive session held.

COMMENTS FROM THE FLOOR

Nicolas Crawford of 7008 Monterrey Drive addressed the Council regarding zoning regulations on having chickens within the city.

Mayor Kindig asked for direction from the Council. Councilmember Hale asked what the typical lifespan of a chicken is. Mr. Crawford stated eight to ten years. Councilmember Quick stated she would be interested in looking at the pros and cons. Councilmember Frederik stated it should be looked at. Councilmembers Sell, Ronan, Thomas, and Sheehan stated they would like to leave the zoning code as is. The Mayor directed staff to look into this and bring it back as a discussion item at a future meeting.

COMMENTS FROM MAYOR AND COUNCIL

Councilmember Sheehan stated that many were delighted with Santa and the soup supper.

MINUTE RECORD

December 5, 2017

No. 729 — REED & COMPANY, INC. OMAHA E1310558LD

At 7:36 p.m. Councilmember Sell made a motion to adjourn the meeting. Seconded by Councilmember Hale. Councilmembers voting aye: Frederick, Ronan, Sheehan, Thomas, Crawford, Quick, Hale and Sell. Nays: None. Abstain: None. Absent: None. Motion carried.

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER, 2017.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



CITY OF LA VISTA
8116 PARK VIEW BOULEVARD
LA VISTA, NE 68128
P: (402) 331-4343

COPY

PLANNING COMMISSION MINUTES
NOVEMBER 16, 2017-7:00 P.M.

The City of La Vista Planning Commission held a meeting on Thursday, November 16th, in the Harold "Andy" Anderson Council Chamber at La Vista City Hall, 8116 Park View Boulevard. Chairman Gayle Malmquist called the meeting to order at 7:00 p.m. with the following members present: Mike Krzywicki, Gayle Malmquist, Kevin Wetuski, Harold Sargus, Mike Circo, Jason Dale, and Jackie Hill. Members absent were: John Gahan, Tom Miller and Kathleen Alexander. Also in attendance were Chris Solberg, City Planner; Pam Buethe, City Clerk; and John Kottmann, City Engineer.

Legal notice of the public meeting and hearing were posted, distributed and published according to Nebraska law. Notice was simultaneously given to all members of the Planning Commission. All proceedings shown were taken while the convened meeting was open to the attendance of the public.

1. Call to Order

The meeting was called to order by Chairman Malmquist at 7:00 p.m. Copies of the agenda and staff reports were made available to the public.

2. Approval of Meeting Minutes – September 21, 2017

Krzywicki moved, seconded by Wetuski to approve the September 21, 2017 minutes with corrections. **Ayes: Krzywicki, Malmquist, Dale, Circo, Sargus, Hill, and Wetuski. Nays: None. Abstain: None. Absent: Gahan, Miller and Alexander. Motion Carried. (7-0)**

3. Old Business

None.

4. New Business

A. Public Hearing for an Amendment to the Planned Unit Development (PUD) Site Plan and Ordinance – Lot 14A and 15A Southport East Replat Eight and Lots 1-4 Southport East Replat Nine – The Lund Company

- i. **Staff Report – Chris Solberg:** Solberg stated that the Lund Company is requesting for a planned unit development site plan amendment to allow for expansion of the existing Securities America building and off-site parking for property northwest and southwest of the Southport Parkway and Eastport Parkway intersection. Staff recommends approval of the PUD Site Plan for an office development with off-site parking, contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance

as required by city staff prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and Zoning Ordinance.

ii. **Applicant Presentation:** Jerry Kelly, from the Lund Company came up and spoke on behalf of the applicant. He mentioned that he and his partners have ownership of Lots 14A and 15A in Southport East Replat Eight, and purchased Lot 3 of Southport East Replat Nine last spring. He said that about 10 years ago they did a build to suit for the Securities America, which was roughly around 82,000 square feet and at the time felt that the building would be large enough for them long term. Securities America has been growing substantially and about a year and a half ago approached him and his partners and said that were projecting long term planning and really needed space for 800-850 employees and would need roughly 144,000 square feet of office space. Kelly said that he and his partners were concerned because they didn't want to be left with a vacant 82,000 square foot building. They then met with city staff and expressed that they only way they would be able to keep them as tenants would be to expand the building on the same site. They purchased Lot 3 about a year and a half ago to be able to do the expansion and add the parking that would be needed. Mr. Kelly then showed renderings of the proposed plan for the expansion to the commission. He mentioned that they are looking at breaking ground in the spring.

iii. **Public Hearing: Malmquist opened the public hearing.**

Malmquist asked what Securities America does

Kelly said that they do financial investments and are financial advisers. He said that they have offices throughout the country and this location is the headquarters back of house.

Malmquist closed the Public Hearing.

Malmquist asked if most of the earlier issues had been addressed.

Solberg said that they have worked through most of the issues with the PUD Site Plan as well as the Design Review with the representatives from the Lund Company and HDR. He said that there are just a few remaining issues that need to be taken care of and that is why they are on the report. Solberg said that with the Planning Commission submittal, that was the latest version of it, they just haven't had time to review it since that latest version.

Hill brought up the easement agreement and that it was found that a satisfactory financial guaranty was needed to provide for a west driveway access and left turn bay on Southport Parkway and that there is a draft letter for credit, she asked if they had received the original on that yet and since there were multiple owners on the PUD if they had received that letter stating their approval of the application.

Solberg said that they have received sign-offs from both of the adjoining lot owners within the PUD earlier in the week, however, the Planning Commission packets had already been sent out. He then said that as far as the easement, they have the easement agreement in place and they do have a draft of the letter of credit, but they are not requiring for that to be in hand with the city until it's time for City Council approval.

- iv. **Recommendation – PUD Amendment:** Hill moved, seconded by Circo for approval of the office development with off-site parking, contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance as required by city staff prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and Zoning Ordinance. **Ayes: Krzywicki, Malmquist, Dale, Circo, Sargus, Hill, and Wetuski. Nays: None. Abstain: None. Absent: Gahan, Miller and Alexander. Motion Carried. (7-0)**

B. Public Hearing for an Amendment to the Planned Unit Development (PUD) Ordinance, Southport West – Brixmor Property Group Inc.

- i. **Staff Report – Chris Solberg:** Solberg mentioned that they should have a memo on their desks with a letter behind it detailing the applicant's desire to table the action. Staff is recommending that they open the public hearing for the action and continue the public hearing until the next meeting.
- ii. **Applicant Presentation:** Applicant was not present.
- iii. **Public Hearing:** Malmquist opened the public hearing.
- iv. **Recommendation – PUD Amendment:** Krzywicki moved, seconded by Circo to continue the public hearing to the December 14th meeting. **Ayes: Krzywicki, Malmquist, Dale, Circo, Sargus, Hill, and Wetuski. Nays: None. Abstain: None. Absent: Gahan, Miller and Alexander. Motion Carried. (7-0)**

5. Comments from the Floor

There were students from Creighton Business Law in the audience.

Malmquist explained to them the role of the Planning Commission.

6. Comments from the Planning Commission

Malmquist mentioned that commission member Hill has tendered her resignation and that this will be her last meeting. Hill has decided that she would like to do volunteer opportunities with disaster relief services.

Hill explained what she will be doing.

Members of the commission thanked her for her service.

Krzywicki asked what the status of the application for storage unit development from an earlier meeting was.

Solberg said that they have applied for a final plat, which is the next step of their process. City Council approved the preliminary plat and the conditional use permit. He said that they should see the final plat in either December or January's meeting. He said that once they get done with the final plat and subdivision agreement approvals then they will be able to move forward.

7. Comments from Staff

Solberg mentioned that they had their first public meeting on the streetscape plan and it was very well attended. He said that they had 200 people in the council chambers, doors had to be opened and they had chairs all the way out to the back wall. They got some really good input and the crowd was very happy. He mentioned that the consultants will be back December 5th and 6th and will have more of a concrete plan moving forward for the streetscape plan in 84th St. They will then present the plan to the steering committee, have one more public meeting in January, and will then start the approval process.

Circo mentioned seeing a lot of landscaping being done on Thompson Creek and asked if that was going to continue.

Kottmann said that that is probably phase 2 of 3 to get some planting work done. The city was able to get some grants and also matched funds to get this done. He said that they have another equal amount to do to get all the way down 72nd Street. He said that in about a year or so they should be pretty much under control and hope to get a trail built someday.

Krzywicki mentioned that his wife had taken some photos of some power boxes that are near the street on the Thompson Creek graded area between 75th and 72nd Streets that have been in disrepair for quite a while and said that she had mentioned it to someone at the city a few months ago and nothing has been done.

Kottmann said that he may have taken that call and he contacted the utility companies a couple of times about that. He said that their first time response was simply tape the thing together and they have not had very good success in getting them to be concerned about their facilities.

8. Adjournment

Malmquist adjourned at 7:33 p.m.

Reviewed by Planning Commission:

Planning Commission Secretary

Planning Commission Chairperson

Approval Date

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of budget</u> <u>Used</u>
<u>REVENUES</u>					
General Fund	\$ 16,914,117	\$ 957,267	\$ 957,267	\$ (15,956,850)	6%
Sewer Fund	4,243,469	265,718	265,718	(3,977,751)	6%
Debt Service Fund	5,496,931	273,755	273,755	(5,223,176)	5%
Lottery Fund	1,395,461	98,945	98,946	(1,296,515)	7%
Economic Development Fund	30,060	-	-	(30,060)	0%
Off Street Parking Fund	514	-	-	(514)	0%
Redevelopment Fund	2,531,484	209,508	209,508	(2,321,976)	8%
Police Academy	80,012	-	-	(80,012)	0%
Total Revenues	30,692,048	1,805,194	1,805,194	(28,886,854)	6%
<u>EXPENDITURES</u>					
General Fund	17,633,989	1,237,389	1,237,389	(16,396,600)	7%
Sewer Fund	3,644,947	120,246	120,246	(3,524,701)	3%
Debt Service Fund	4,481,471	215,628	215,628	(4,265,843)	5%
Lottery Fund	692,994	31,023	31,023	(661,971)	4%
Economic Development Fund	16,425,000	1,400,953	1,400,953	(15,024,047)	9%
Off Street Parking Fund	585,523	3,122	3,122	(582,401)	1%
Redevelopment Fund	1,025,825	57,349	57,349	(968,476)	6%
Police Academy	91,728	311	311	(91,417)	0%
Total Expenditures	44,581,477	3,066,019	3,066,019	(41,515,458)	7%
<u>REVENUES NET OF EXPENDITURES</u>					
General Fund	(719,872)	(280,121)	(280,121)	439,751	
Sewer Fund	598,522	145,473	145,473	(453,049)	
Debt Service Fund	1,015,460	58,127	58,127	(957,333)	
Lottery Fund	702,467	67,923	67,923	(634,544)	
Economic Development Fund	(16,394,940)	(1,400,953)	(1,400,953)	14,993,987	
Off Street Parking Fund	(585,009)	(3,122)	(3,122)	581,887	
Redevelopment Fund	1,505,659	152,159	152,159	(1,353,500)	
Police Academy	(11,716)	(311)	(311)	11,405	
Revenues Net of Expenditures	(13,889,429)	(1,260,826)	(1,260,826)	12,628,603	-
<u>Capital Improvement Program Fund</u>					
REVENUES	117	-	-	(117)	0%
EXPENDITURES	28,044,751	214,805	214,805	(27,829,946)	1%
REVENUES NET OF EXPENDITURES	(28,044,634)	(214,805)	(214,805)	27,829,829	
TRANSFERS IN & BOND PROCEEDS	28,044,751	-	-	(28,044,751)	0%
Net Activity	117	(214,805)	(214,805)	(214,922)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of budget</u> <u>Used</u>
TRANSFERS IN & BOND PROCEEDS					
General Fund	93,625	34,742	34,742	(58,883)	37%
Sewer Fund	-	3,143	3,143	3,143	0%
Debt Service Fund	-	-	-	-	-
Capital Improvement Program Fund	28,044,751	-	-	(28,044,751)	0%
Lottery Fund	-	-	-	-	-
Economic Development Fund	600,000	-	-	(600,000)	0%
Off Street Parking Fund	590,000	-	-	(590,000)	0%
Redevelopment Fund	19,857,507	-	-	(19,857,507)	0%
Police Academy	20,000	-	-	(20,000)	0%
Transfers In	49,205,883	37,885	37,885	(49,167,998)	0%
TRANSFERS OUT					
General Fund	(1,210,000)	-	-	1,210,000	0%
Sewer Fund	(380,000)	-	-	380,000	0%
Debt Service Fund	(5,528,600)	-	-	5,528,600	0%
Capital Improvement Program Fund	-	-	-	-	-
Lottery Fund	(372,269)	(37,885)	(37,885)	334,384	10%
Economic Development Fund	-	-	-	-	-
Off Street Parking Fund	-	-	-	-	-
Redevelopment Fund	(21,857,507)	-	-	21,857,507	0%
Police Academy	-	-	-	-	-
Transfers Out	(29,348,376)	(37,885)	(37,885)	29,310,491	0%
NET TRANSFERS & BOND PROCEEDS					
General Fund	(1,116,375)	34,742	34,742	1,151,117	
Sewer Fund	(380,000)	3,143	3,143	383,143	
Debt Service Fund	(5,528,600)	-	-	5,528,600	0%
Capital Improvement Program Fund	28,044,751	-	-	(28,044,751)	0%
Lottery Fund	(372,269)	(37,885)	(37,885)	334,384	10%
Economic Development Fund	600,000	-	-	(600,000)	0%
Off Street Parking Fund	590,000	-	-	(590,000)	0%
Redevelopment Fund	(2,000,000)	-	-	2,000,000	0%
Police Academy	20,000	-	-	(20,000)	0%
Bond Proceeds	19,857,507	(0)	(0)	(19,857,507)	0%
NET FUND ACTIVITY					
General Fund	(1,836,247)	(245,380)	(245,380)	1,590,867	
Sewer Fund	218,522	148,616	148,616	(69,906)	
Debt Service Fund	(4,513,140)	58,127	58,127	4,571,267	
Capital Improvement Program Fund	117	(214,805)	(214,805)	(214,922)	
Lottery Fund	330,198	30,038	30,038	(300,160)	
Economic Development Fund	(15,794,940)	(1,400,953)	(1,400,953)	14,393,987	
Off Street Parking Fund	4,991	(3,122)	(3,122)	(8,113)	
Redevelopment Fund	(494,341)	152,159	152,159	646,500	
Police Academy	8,284	(311)	(311)	(8,595)	
Net Activity	\$ (22,076,556)	\$ (1,475,631)	\$ (1,475,631)	\$ 20,600,925	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

Preliminary	General Fund					% of budget Used
	Budget (12 month)	MTD Actual	YTD Actual	Over(under) Budget		
REVENUES						
Property Taxes	\$ 6,593,220	\$ 97,095	\$ 97,095	\$ (6,496,126)		1%
Sales and use taxes	5,028,839	413,758	413,758	(4,615,081)		8%
Payments in Lieu of taxes	275,000	-	-	(275,000)		0%
State revenue	1,720,423	165,104	165,104	(1,555,319)		10%
Occupation and franchise taxes	1,070,492	71,249	71,249	(999,243)		7%
Hotel Occupation Tax	997,500	79,657	79,657	(917,843)		8%
Licenses and permits	537,536	97,578	97,578	(439,958)		18%
Interest income	20,568	1,565	1,565	(19,003)		8%
Recreation fees	153,455	16,367	16,367	(137,088)		11%
Special Services	23,889	931	931	(22,958)		4%
Grant Income	256,759	5,993	5,993	(250,767)		2%
Other	236,436	7,971	7,971	(228,465)		3%
Total Revenues	16,914,117	957,267	957,267	(15,956,850)		6%
EXPENDITURES						
Current:						
Administrative Services	879,230	44,390	44,390	(834,840)		5%
Mayor and Council	234,444	17,642	17,642	(216,802)		8%
Boards & Commissions	10,133	134	134	(9,999)		1%
Public Buildings & Grounds	543,114	15,762	15,762	(527,352)		3%
Administration	785,352	48,012	48,012	(737,340)		6%
Police and Animal Control	4,801,966	344,137	344,137	(4,457,829)		7%
Fire	2,131,593	152,498	152,498	(1,979,095)		7%
Community Development	627,525	38,352	38,352	(589,173)		6%
Public Works	3,678,248	241,329	241,329	(3,436,919)		7%
Recreation	831,878	45,118	45,118	(786,760)		5%
Library	834,933	45,278	45,278	(789,655)		5%
Information Technology	244,423	20,953	20,953	(223,470)		9%
Human Resources	977,744	10,141	10,141	(967,603)		1%
Public Transportation	98,664	8,148	8,148	(90,516)		8%
Capital outlay	954,742	205,493	205,493	(749,249)		22%
Total Expenditures	17,633,989	1,237,389	1,237,389	(16,396,600)		7%
REVENUES NET OF EXPENDITURES	(719,872)	(280,121)	(280,121)	439,751		
OTHER FINANCING SOURCES (USES)						
Operating transfers in (Lottery)	93,625	34,742	34,742	(58,883)		37%
Operating transfers out (EDF, OSP, CIP)	(1,210,000)	-	-	1,210,000		0%
Bond/registered warrant proceeds	-	-	-	-		0%
Total other Financing Sources (Uses)	(1,116,375)	34,742	34,742	1,151,117		-3%
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES						
	\$ (1,836,247)	\$ (245,380)	\$ (245,380)	\$ 1,590,867		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-PROPRIETARY FUNDS
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

Preliminary	Sewer Fund					% of Budget Used
	Budget	MTD Actual	YTD Actual	(Under) Budget		
REVENUES						
User fees	\$ 4,023,015	\$ 258,386	\$ 258,386	\$ (3,764,629)		6%
Service charge and hook-up fees	206,806	1,200	1,200	(205,606)		1%
Grant Income	10,000	-	-	(10,000)		0%
Miscellaneous (MUD old SID refunds)	457	5,627	5,627	5,170		
Total Revenues	4,240,278	265,213	265,213	(3,975,065)		6%
EXPENDITURES						
General & Administrative	172,093	12,248	12,248	(159,845)		7%
Maintenance	3,355,372	103,655	103,655	(3,251,717)		3%
Storm Water Grant	56,002	1,267	1,267	(54,735)		2%
Capital Outlay	61,480	3,076	3,076	(58,404)		5%
Total Expenditures	3,644,947	120,246	120,246	(3,524,701)		3%
OPERATING INCOME (LOSS)	595,331	144,967	144,967	(450,364)		
NON-OPERATING REVENUE (EXPENSE)						
Interest income	3,191	505	505	(2,686)		16%
	3,191	505	505	(2,686)		16%
INCOME (LOSS) BEFORE OPERATING TRANSFERS	598,522	145,473	145,473	(453,049)		
OTHER FINANCING SOURCES (USES)						
Operating transfers in (Lottery Events)	-	3,143	3,143	3,143		0%
Operating transfers out (CIP)	(380,000)	-	-	380,000		0%
Total other Financing Sources (Uses)	(380,000)	3,143	3,143	383,143		-1%
NET INCOME (LOSS)	\$ 218,522	\$ 148,616	\$ 148,616	\$ (69,906)		

Note: City of Omaha billing (Maintenance Expense) in arrears for October estimated at \$200,000. Adjusted (Under) Over Budget \$126,951. October includes Big Papio Creek Siphon maintenance expense of \$72,859.

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Debt Service Fund</u>					<u>% of budget Used</u>
	<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Over(under) Budget</u>		
<u>REVENUES</u>						
Property Taxes	\$ 2,110,551	\$ 20,021	\$ 20,021	\$ (2,090,530)		1%
Sales and use taxes	2,514,420	206,879	206,879	(2,307,541)		8%
Payments in Lieu of taxes	-	-	-	-		0%
Interest income	10,117	3,368	3,368	(6,749)		33%
Other (Special Assessments; Fire Reimbursmt)	861,843	43,487	43,487	(818,356)		5%
Total Revenues	5,496,931	273,755	273,755	(5,223,176)		5%
<u>EXPENDITURES</u>						
Current:						
Administration	90,000	194	194	(89,806)		0%
Fire Contract Bond	300,056	24,107	24,107	(275,949)		8%
Debt service						
Principal	3,123,200	150,000	150,000	(2,973,200)		5%
Interest	968,215	41,327	41,327	(926,888)		4%
Total Expenditures	4,481,471	215,628	215,628	(4,265,843)		5%
REVENUES NET OF EXPENDITURES	1,015,460	58,127	58,127	(957,333)		
<u>OTHER FINANCING SOURCES (USES)</u>						
Operating transfers in (Lottery Bond)	-	-	-	-		0%
Operating transfers out (CIP)	(5,528,600)	-	-	5,528,600		0%
Bond/registered warrant proceeds	-	-	-	-		0%
Total other Financing Sources (Uses)	(5,528,600)	-	-	5,528,600		
<u>EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES</u>						
	\$ (4,513,140)	\$ 58,127	\$ 58,127	\$ 4,571,267		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

	<u>Preliminary</u>	<u>Capital Fund</u>				<u>% of budget Used</u>
		<u>Budget</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Over(under) Budget</u>	
REVENUES						
Interest income	\$ 117	\$ -	\$ -	\$ -	\$ (117)	0%
Grant Income	-	-	-	-	-	0%
Interagency	-	-	-	-	-	0%
Total Revenues	117	-	-	-	(117)	0%
EXPENDITURES						
Current:						
Capital outlay	28,044,751	214,805	214,805	(27,829,946)		1%
Total Expenditures	28,044,751	214,805	214,805	(27,829,946)		1%
REVENUES NET OF EXPENDITURES	(28,044,634)	(214,805)	(214,805)	27,829,829		
OTHER FINANCING SOURCES (USES)						
Operating transfers in	28,044,751	-	-	(28,044,751)		0%
Operating transfers out	-	-	-	-		0%
Bond/registered warrant proceeds	-	-	-	-		0%
Total other Financing Sources (Uses)	28,044,751	-	-	(28,044,751)		0%
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES						
	\$ 117	\$ (214,805)	\$ (214,805)	\$ (214,922)		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

Preliminary	Lottery Fund					% of budget Used
	Budget (12 month)	MTD Actual	YTD Actual	Over(under) Budget		
REVENUES						
Lottery Rev/Community Betterment	\$ 1,000,000	\$ 69,597	\$ 69,597	\$ (930,403)		7%
Lottery Tax Form 51	360,000	27,785	27,785	(332,215)		8%
Event Revenue	25,700	1,550	1,550	(24,150)		6%
Interest income	9,761	14	14	(9,747)		0%
Miscellaneous / Other	-	-	-	-		0%
Total Revenues	1,395,461	98,945	98,946	(1,296,515)		7%
EXPENDITURES						
Current:						
Professional Services	200,493	957	957	(199,536)		0%
Salute to Summer	30,498	-	-	(30,498)		0%
Community Events	9,349	728	728	(8,621)		8%
Events - Marketing	27,228	1,089	1,089	(26,139)		4%
Recreation Events	9,683	464	464	(9,219)		5%
Concert & Movie Nights	10,506	-	-	(10,506)		0%
Travel & Training	45,237	-	-	(45,237)		0%
State Taxes	360,000	27,785	27,785	(332,215)		8%
Other	-	-	-	-		0%
Capital outlay	-	-	-	-		0%
Total Expenditures	692,994	31,023	31,023	(661,971)		4%
REVENUES NET OF EXPENDITURES	702,467	67,923	67,923	(634,544)		
OTHER FINANCING SOURCES (USES)						
Operating transfers in	-	-	-	-		
Operating transfers out	(372,269)	(37,885)	(37,885)	334,384		10%
Bond/registered warrant proceeds	-	-	-	-		
Total other Financing Sources (Uses)	(372,269)	(37,885)	(37,885)	334,384		10%
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES						
	\$ 330,198	\$ 30,038	\$ 30,038	\$ (300,160)		

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Economic Development</u>					<u>% of budget Used</u>
	<u>Budget (12 month)</u>	<u>MTD Actual</u>	<u>YTD Actual</u>	<u>Over(under) Budget</u>		
REVENUES						
JQH Payment	-	-	-	-	-	0%
Interest income	<u>30,060</u>	-	-	<u>(30,060)</u>	-	0%
Total Revenues	<u>30,060</u>	-	-	<u>(30,060)</u>	-	0%
EXPENDITURES						
Current:						
Community Development	-	-	-	-	-	0%
Professional Services	<u>5,000</u>	-	-	<u>(5,000)</u>	-	0%
Debt service: (Warrants)						0%
Principal	<u>16,420,000</u>	<u>780,000</u>	<u>780,000</u>	<u>(15,640,000)</u>	-	5%
Interest	-	<u>620,953</u>	<u>620,953</u>	-	<u>620,953</u>	0%
Total Expenditures	<u>16,425,000</u>	<u>1,400,953</u>	<u>1,400,953</u>	<u>(15,024,047)</u>	-	9%
REVENUES NET OF EXPENDITURES	<u>(16,394,940)</u>	<u>(1,400,953)</u>	<u>(1,400,953)</u>	<u>14,993,987</u>	-	-
OTHER FINANCING SOURCES (USES)						
Operating transfers in	<u>600,000</u>	-	-	<u>(600,000)</u>	-	0%
Operating transfers out	-	-	-	-	-	0%
Bond/registered warrant proceeds	-	-	-	-	-	0%
Total other Financing Sources (Uses)	<u>600,000</u>	-	-	<u>(600,000)</u>	-	0%
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	\$ <u>(15,794,940)</u>	\$ <u>(1,400,953)</u>	\$ <u>(1,400,953)</u>	\$ <u>14,393,987</u>	-	-

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Off Street Parking</u>				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of budget</u> <u>Used</u>
<u>REVENUES</u>					
Interest income	514	-	-	(514)	0%
Total Revenues	514	-	-	(514)	0%
<u>EXPENDITURES</u>					
Current:					
General & Administrative	20,518	1,602	1,602	(18,916)	8%
Professional Services		-	-		0%
Maintenance	19,890	1,520	1,520	(18,370)	8%
Debt service: (Warrants)					
Principal	470,000	-	-	(470,000)	0%
Interest	75,115	-	-	(75,115)	0%
Total Expenditures	585,523	3,122	3,122	(582,401)	1%
REVENUES NET OF EXPENDITURES	(585,009)	(3,122)	(3,122)	581,887	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	590,000	-	-	(590,000)	0%
Operating transfers out					0%
Bond/registered warrant proceeds		-	-	-	0%
Total other Financing Sources (Uses)	590,000	-	-	(590,000)	0%
<u>EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES</u>					
	\$ 4,991	\$ (3,122)	\$ (3,122)	\$ (8,113)	

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

Preliminary	Redevelopment Fund				
	<u>Budget</u> (12 month)	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	Over(under) <u>Budget</u>	% of budget <u>Used</u>
REVENUES					
Sales and use taxes	2,514,420	206,879	206,879	(2,307,541)	8%
Interest income	17,064	2,629	2,629	(14,435)	15%
Total Revenues	2,531,484	209,508	209,508	(2,321,976)	8%
EXPENDITURES					
Current:					
Community Development	-	-	-	-	0%
Professional Services	55,000	57,349	57,349	2,349	104%
Financial / Legal Fees	51,000	-	-	(51,000)	0%
Debt service: (Warrants)					
Principal	395,000	-	-	(395,000)	0%
Interest	524,825	-	-	(524,825)	0%
Total Expenditures	1,025,825	57,349	57,349	(968,476)	6%
REVENUES NET OF EXPENDITURES	1,505,659	152,159	152,159	(1,353,500)	
OTHER FINANCING SOURCES (USES)					
Operating transfers in	-	-	-	-	0%
Operating transfers out	(21,857,507)	-	-	21,857,507	0%
Bond/registered warrant proceeds	19,857,507	-	-	(19,857,507)	0%
Total other Financing Sources (Uses)	(2,000,000)	-	-	2,000,000	
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES					
	\$ (494,341)	\$ 152,159	\$ 152,159	\$ 646,500	

Note: Operating transfers out include land purchase of \$4,265,102.

CITY OF LAVISTA, NEBRASKA
COMBINED STATEMENT OF REVENUES, EXPENDITURES
AND CHANGES IN FUND BALANCE-ALL GOVERNMENTAL FUND TYPES
For the one month ending October 31, 2017
8% of the Fiscal Year 2018

<u>Preliminary</u>	<u>Police Academy Fund</u>				
	<u>Budget</u> <u>(12 month)</u>	<u>MTD</u> <u>Actual</u>	<u>YTD</u> <u>Actual</u>	<u>Over(under)</u> <u>Budget</u>	<u>% of budget</u> <u>Used</u>
<u>REVENUES</u>					
Other Income	80,000	-	-	(80,000)	0%
Interest income	12	-	-	(12)	0%
Total Revenues	80,012	-	-	(80,012)	0%
<u>EXPENDITURES</u>					
Current:					
Personnel Services	72,228	-	-	(72,228)	0%
Commodities	3,500	311	311	(3,189)	9%
Contract Services	11,000	-	-	(11,000)	0%
Other Charges	5,000	-	-	(5,000)	0%
Total Expenditures	91,728	311	311	(91,417)	0%
REVENUES NET OF EXPENDITURES	(11,716)	(311)	(311)	11,405	
<u>OTHER FINANCING SOURCES (USES)</u>					
Operating transfers in	20,000	-	-	(20,000)	0%
Operating transfers out	-	-	-	-	0%
Total other Financing Sources (Uses)	20,000	-	-	(20,000)	
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES					
AND OTHER FINANCING USES	\$ 8,284	\$ (311)	\$ (311)	\$ (8,595)	



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

A-5
INVOICE

Please remit to:
TD2 Nebraska Office
10836 Old Mill Road; Omaha, NE 68154
Office: 402/330-8860 Fax: 402/330-5866

TD2 South Dakota Office
5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 123731
Date 11/28/2017
Project 0171-416 72ND STREET AND
THOMPSON CREEK CULVERT
REHABILITATION

Professional Services from May 15, 2017 through November 19, 2017

PO #18-0080

Description	Current Billed
Engineering Services <i>Project management and contract administration.</i>	218.42
	Total 218.42
	Invoice total 218.42

Aging Summary							
Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
123731	11/28/2017	218.42	218.42	0.00	0.00	0.00	0.00
	Total	218.42	218.42	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay

JMK 12-4-2017

05.71.0015.003

Consent Agenda 12/19/17 *JD*



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

A-6
INVOICE

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5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 123741
Date 11/28/2017

Project 0171-417 LA VISTA PHASE 1 GOLF
COURSE TRANSFORMATION -
PROPOSED LAKE IMPROVEMENTS

Professional Services from October 16, 2017 through November 19, 2017

PO #18-0080

Description	Contract Amount	Prior Billed	Remaining	Current Billed
Construction Staking	20,000.00	18,217.80	111.45	1,670.75
Construction Administration	4,000.00	4,000.00	0.00	0.00
Construction Observation	5,000.00	3,658.65	1,341.35	0.00
Construction Testing/Geotechnical Observation	120,000.00	34,670.76	76,567.74	8,761.50
Erosion Control Monitoring and Reporting Services	7,500.00	3,705.05	2,988.35	806.60
Grading "As-Built" Drawings	3,500.00	0.00	1,371.25	2,128.75
3D Visualization	3,500.00	3,500.00	0.00	0.00
Additional Design Team Meeting Attendance	2,000.00	1,986.65	13.35	0.00
Construction Phase Progress Meeting Attendance	7,500.00	4,827.02	1,578.11	1,094.87
Total	173,000.00	74,565.93	83,971.60	14,462.47

Invoice total

14,462.47

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
123741	11/28/2017	14,462.47	14,462.47				
	Total	14,462.47	14,462.47	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay

efmk 12-4-2017

05.71.0916.003

Consent Agenda 12/19/17

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5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 123730
Date 11/28/2017
Project 0171-413 BIG PAPIO CREEK SIPHON
REPAIR

Professional Services from September 11, 2017 through November 19, 2017

PO #18-0080

Description	Current Billed
Topographic Survey	0.00
Engineering Services <i>Contract Administration and Project Management</i>	1,609.77
Construction Observation	80.40
	Total 1,690.17

Invoice total **1,690.17**

Aging Summary							
Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
123730	11/28/2017	1,690.17	1,690.17				
	Total	1,690.17	1,690.17	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay
JMK 12-4-2017
02.42.0314

Consent Agenda 12/19/17 (P)

Upstream Weeds

3942 N. 66th Street
 Omaha, NE 68104
 Phone 402-881-6919
 Email: Chrismadden72@live.com



INVOICE #: 076
 DATE: Dec. 05, 2017

TO John Kottmann, City Engineer
 City of La Vista, Nebraska
 Public Works Department
 9900 Portal Road
 La Vista, NE 68128

CLIENT PURCHASE ORDER #	PROJECT	INVOICING TERM
N/A	Papillion - La Vista Stormwater Outreach	11/01/2017 - 11/30/2017

SERVICES & PRODUCTS	SPECIFIC DESCRIPTION	QUANTITY	UNIT PRICE	LINE TOTAL
Direct Account Administration: Contract Management, Maintenance, and preparation:	Meetings, emails, strategic planning, etc.	40	33.00	1,320.00
Future Planning & Initiative Transfer: Direct Youth Educational Involvement and Engagement programming:	PLV public Elementary School programming		33.00	
	PLV public High School programming		33.00	
	Afterschool - Summer school programming		33.00	

**Public Promotion and Outreach
programming:**

All public outreach & engagement w/ arts	33.00
--	-------

Documentation & Reporting:

Annual Report prep	10	33.00	330.00
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Sub Total	\$1,650.00
50% Cost Share paid by City of Papillion	(\$825.00)
Total Due	\$825.00

Payments are due upon receipt.

Please make all checks available to Chris Madden dba Upstream Weeds

O.K. to pay
JMK 12-6-2017
02.43.0505

Consent Agenda 12/19/17 

A-9



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

INVOICE

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5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 123749
Date 11/29/2017

Project 0171-408 THOMPSON CREEK PHASE 1

Professional Services through November 19, 2017

P.O. #18-0080

Description	Current Billed
Surveying and Engineering Services-Annual Monitoring Report 2017	9,221.05
Total	9,221.05
Invoice total	9,221.05

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
123749	11/29/2017	9,221.05	9,221.05				
	Total	9,221.05	9,221.05	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay
JMK 12-7-2017
02.43.0401

Consent Agenda 12/19/17. *pb*



Thompson, Dreessen & Dorner, Inc.
Consulting Engineers & Land Surveyors

A-10
INVOICE

Please remit to:

TD2 Nebraska Office
10836 Old Mill Road; Omaha, NE 68144
Office: 402/330-8860 Fax: 402/330-5866

TD2 South Dakota Office
5000 S. Minnesota Ave., Ste. 300; Sioux Falls, SD 57108
Office: 605/951-0886

CITY OF LA VISTA
JOHN KOTTMANN
9900 PORTAL ROAD
LA VISTA, NE 68128

Invoice number 123698
Date 11/29/2017
Project 0171-408 THOMPSON CREEK PHASE 1

Professional Services from September 11, 2017 through November 19, 2017

P.O. #18-0080

Description	Current Billed
Task A-Project Start-up	0.00
Task B-Design Development	0.00
Task C-Construction Documentation	0.00
Task D-Phase 2 Grant Acquisition	0.00
Task E-Pre-Construction Monitoring	0.00
Construction Phase Services	226.10
Erosion control monitoring and reporting services	
Additional Services - OPPD	0.00
	Total 226.10

Invoice total 226.10

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
123698	11/29/2017	226.10	226.10				
	Total	226.10	226.10	0.00	0.00	0.00	0.00

Terms Net 30 Days. A Finance Charge of 1 1/2% Per Month (18% per Annum) Will Be Charged on Past Due Accounts. Also Liable for all Legal and Collection Fees. Invoices not paid within 90 days of the invoice date will be subject to possible lien filings.

O.K. to pay

FMK 12-7-2017

02.43.0401

Consent Agenda 12/19/17 (pb)

APPLICATION and CERTIFICATE for PAYMENT

To: City of LaVista
9900 Portal Road
LaVista, NE 68128

From: KSI Construction
11011 Q Street Bldg. A Ste. #104
Omaha, NE 68137

Project: City of LaVista 84th St.

Application No: 2

Distribution to:

App. Date: December 8, 2017

Period to:

Project No: 1498-17

OWNER
 CONSTRUCTION MGR.
 ARCHITECT
 CONTRACTOR
 OTHER

Contract Date: August 30, 2017

Contract For:

Via Architect:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet, G703, is attached.

1. ORIGINAL CONTRACT SUM
2. Net Change By Change Orders
3. CONTRACT SUM TO DATE
4. TOTAL COMPLETED AND STORED TO DATE
5. RETAINAGE:

- a. of Completed Work
- b. of Stored Material

TOTAL RETAINAGE

6. TOTAL EARNED LESS RETAINAGE
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT
8. CURRENT PAYMENT DUE
9. BALANCE TO FINISH, INCLUDING RETAINAGE

314,501.90
86,894.12
401,396.02
284,447.88

28,444.79
0.00
28,444.79
256,003.09
89,119.09
166,884.00
145,392.93

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	86,894.12	
Total approval this Month	0.00	0.00
TOTALS	86,894.12	0.00
NET CHANGES by Change Order	86,894.12	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: *KSI* KSI ConstructionBy: *Ryan J. Mullen*

Date: December 8, 2017

Shawn Swaney

State of: Nebraska

County of: Douglas

Subscribed and sworn before me this 8th day of December, 2017

Shawn Swaney personally appeared before me, the undersigned notary public, and provided satisfactory evidence of identification to be the person who signed this document in my presence and swore or affirmed to me that the contents of this document are true and accurate to the best of his/her knowledge and belief.

Notary Public: *Ryan J. Mullen*

My Commission expires:

ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$166,884.00

*O.K. to pay
RYAN J. MULLEN
12-8-2017
05-71-0909.003*

(Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified.)

ARCHITECT: ENGINEER

By: *Tony J. Mullen* Date: *12/8/17*

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CAUTION: You should use an original document which has this caution printed in red. An original assures that changes will not be obscured as may occur when documents are reproduced.

Consent Agenda 12/19/17 (pb)

D-11



C

Invoice

A-12

HDR Engineering Inc.
Omaha, NE 68114-4098
Phone: (402) 399-1000

City of La Vista
Rita Ramirez
8116 Park View Blvd
La Vista, NE 68128

Reference Invoice Number with Payment

HDR Invoice No.	1200089168
Invoice Date	01-DEC-2017
Invoice Amount Due	\$15,760.17
Payment Terms	30 NET
Remit To	PO Box 74008202
Wire Transfer To	Chicago, IL 60674-8202
	Bank of America ML US
	ABA# 081000032
	Account# 355004076604

Project Management for Services for Public Improvements and Other Works.

Professional Services
From: 29-OCT-2017 To: 25-NOV-2017

Professional Services Summarization	Hours	Billing Rate	Amount
Civil Engineer	29.50		4,248.09
Communications Coordinator	7.25		511.13
Communications Coordinator Sr	2.50		360.60
Graphic Designer 2	16.25		1,434.68
Project Controller	1.50		145.49
Project Manager	39.00		8,424.00
Sr. Civil Engineer	3.25		488.48
	99.25		\$15,612.47
Total Professional Services			\$15,612.47

Expense Summarization	Quantity	Billing Rate	Amount
Mileage Personal	251.00		134.34
Printing/Reprographics			13.36
Total Expenses			\$147.70

Amount Due This Invoice (USD) **\$15,760.17**

Fee Amount	\$649,972.00
Fee Invoiced to Date	\$184,199.07
Fee Remaining	\$465,772.93

HDR Internal Reference Only	
Client Number	41331
Cost Center	10134
Project Number	10053040

05.71.0909.03
R. Ramirez
12-8-17

Concent agenda 12/19/17 (pd)

User: mgustafson

DB: La Vista

Check #

	Check Date	Vendor Name	Amount	Voided
125751	12/06/2017	BLADE MASTERS GROUNDS MNTNC IN	110,912.31	N
125752	12/06/2017	CITY OF PAPILLION	175,777.00	N
125753	12/06/2017	DESIGN WORKSHOP INC	54,718.81	N
125754	12/06/2017	OLSSON ASSOCIATES	47,516.48	N
263(E)	12/14/2017	BLUE CROSS BLUE SHIELD OF NEBR	94,211.32	N
264(E)	12/14/2017	DEARBORN NATIONAL LIFE INSURANC	6,190.91	N
265(E)	12/14/2017	LINCOLN NATIONAL LIFE INS CO	5,381.99	N
266(E)	12/14/2017	TITLECORE, LLC	1,100,000.00	N
267(E)	12/14/2017	UNITED HEALTHCARE INSURANCE CO	707.23	N
125755	12/19/2017	ACTION BATTERIES UNLTD INC	226.65	N
125756	12/19/2017	ARTHUR J GALLAGHER RISK	228,703.50	N
125757	12/19/2017	ASPEN EQUIPMENT COMPANY	926.00	N
125758	12/19/2017	BARONE SECURITY SYSTEMS	120.00	N
125759	12/19/2017	BAUER BUILT TIRE	544.00	N
125760	12/19/2017	BLACK HILLS ENERGY	880.02	N
125761	12/19/2017	BRODART COMPANY	101.64	N
125762	12/19/2017	BUILDERS SUPPLY CO INC	4.95	N
125763	12/19/2017	CENTURY LINK	621.65	N
125764	12/19/2017	CENTURY LINK BUSN SVCS	96.35	N
125765	12/19/2017	COLIBRI SYSTEMS NORTH AMER INC	1,239.87	N
125766	12/19/2017	COMP CHOICE INC	89.50	N
125767	12/19/2017	CONSOLIDATED MANAGEMENT	358.95	N
125768	12/19/2017	COX COMMUNICATIONS	277.40	N
125769	12/19/2017	CROUCH RECREATION	35,147.00	N
125770	12/19/2017	CULLIGAN OF OMAHA	12.00	N
125771	12/19/2017	CUMMINS CENTRAL POWER LLC	294.23	N
125772	12/19/2017	DULTMEIER SALES & SERVICE	113.02	N
125773	12/19/2017	FELSBURG HOLT & ULLEVIG	1,199.85	N
125774	12/19/2017	FINDAWAY WORLD, LLC	1,138.99	N
125775	12/19/2017	GALE	128.20	N
125776	12/19/2017	GENERAL FIRE & SAFETY EQUIP CO	1,001.55	N
125777	12/19/2017	GENUINE PARTS COMPANY-OMAHA	992.10	N
125778	12/19/2017	GIBSON, JOHN	125.00	N
125779	12/19/2017	JENNIFER GOSS	9.52	N
125780	12/19/2017	GRAYBAR ELECTRIC COMPANY INC	2,082.11	N
125781	12/19/2017	HEIMES CORPORATION	125.36	N
125782	12/19/2017	HOCKENBERGS	237.33	N
125783	12/19/2017	HOLSTEIN'S HARLEY DAVIDSON	25.90	N
125784	12/19/2017	HONEYMAN RENT-ALL #1	388.43	N
125785	12/19/2017	HUNTEL COMMUNICATIONS, INC	327.50	N
125786	12/19/2017	J & J SMALL ENGINE SERVICE	150.55	N
125787	12/19/2017	KIESLER POLICE SUPPLY	430.41	N
125788	12/19/2017	KRIHA FLUID POWER CO INC	271.00	N
125789	12/19/2017	LABRIE, DONALD P	300.00	N
125790	12/19/2017	LIBRARY IDEAS LLC	6.50	N
125791	12/19/2017	LIBRARY STORE INC	120.88	N
125792	12/19/2017	LOGAN CONTRACTORS SUPPLY	209.60	N
125793	12/19/2017	LOU'S SPORTING GOODS	444.00	N
125794	12/19/2017	LOWE'S CREDIT SERVICES	141.07	N
125795	12/19/2017	MAX I WALKER UNIFORM RENTAL	642.35	N
125796	12/19/2017	MENARDS-RALSTON	422.60	N
125797	12/19/2017	METRO AREA TRANSIT	1,010.00	N
125798	12/19/2017	METROPOLITAN CHIEFS ASSN	75.00	N
125799	12/19/2017	MID-AMERICAN BENEFITS INC	617.50	N
125800	12/19/2017	MIDWEST TAPE	35.18	N
125801	12/19/2017	NATIONAL EVERYTHING WHOLESALE	724.77	N
125802	12/19/2017	O'REILLY AUTOMOTIVE STORES INC	114.56	N
125803	12/19/2017	OFFICE DEPOT INC	902.50	N
125804	12/19/2017	OMAHA PUBLIC POWER DISTRICT	50,038.84	N
125807	12/19/2017	OMAHA WORLD-HERALD	380.36	N

User: mgustafson

DB: La Vista

Check #

Check #	Check Date	Vendor Name	Amount	Voided
125808	12/19/2017	OMNIGRAPHICS INC	141.55	N
125809	12/19/2017	OVERHEAD DOOR COMPANY OF OMA	3.50	N
125810	12/19/2017	PAPILLION SANITATION	2,416.08	N
125811	12/19/2017	PARK YOUR PAWZ INC	48.80	N
125812	12/19/2017	PLAINS EQUIPMENT GROUP	647.14	N
125813	12/19/2017	PSI PLASTIC GRAPHICS	481.80	N
125814	12/19/2017	RDG PLANNING & DESIGN	1,943.87	N
125815	12/19/2017	READY MIXED CONCRETE COMPANY	3,288.57	N
125816	12/19/2017	REGAL AWARDS OF DISTINCTION	15.00	N
125817	12/19/2017	RIVER CITY RECYCLING	211.99	N
125818	12/19/2017	SALEM PRESS	306.00	N
125819	12/19/2017	SAPP BROS INCORPORATED	757.75	N
125820	12/19/2017	SOUTHERN UNIFORM & EQUIPMENT	10,288.75	N
125822	12/19/2017	SUNSET LAW ENFORCEMENT LTD	1,479.00	N
125823	12/19/2017	THOMPSON DREESSEN & DORNER	1,000.00	N
125824	12/19/2017	THORPE'S BODY SHOP	1,000.00	N
125825	12/19/2017	TIGHTON FASTENER & SUPPLY INC	89.99	N
125826	12/19/2017	TRANS UNION RISK AND	39.80	N
125827	12/19/2017	UNITED RENT-ALL	813.55	N
125828	12/19/2017	V & V MANUFACTURING INC	53.95	N
125829	12/19/2017	WESTLAKE HARDWARE INC NE-022	1,303.54	N
125830	12/19/2017	WHITE CAP CONSTR SUPPLY/HDS	65.97	N
125831	12/19/2017	WOODHOUSE LINCLN-MAZDA-PORSC	501.97	N
TOTAL:				1,956,890.86

APPROVED BY COUNCIL MEMBERS ON: 12/19/2017

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

COUNCIL MEMBER

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 19, 2017 AGENDA

Subject:	Type:	Submitted By:
APPLICATION TO AMEND PUD SITE PLAN – LOTS 14-A AND 15-A, SOUTHPORT EAST REPLAT EIGHT AND LOTS 1-4, SOUTHPORT EAST REPLAT NINE (SOUTHPORT PKWY & EASTPORT PKWY)	◆ RESOLUTION ◆ ORDINANCE RECEIVE/FILE	CHRISTOPHER SOLBERG CITY PLANNER

SYNOPSIS

A public hearing has been scheduled, and an ordinance and resolution prepared to approve amendments to the PUD Site Plan to allow for expansion of the existing Securities America building and off-site parking, located on approximately 17.01 acres at the intersection of Southport Parkway and Eastport Parkway.

FISCAL IMPACT

None.

RECOMMENDATION

Approval.

BACKGROUND

A public hearing has been scheduled to consider an application to amend the PUD Site Plan submitted by The Lund Company, for approximately 17.01 acres platted as Lots 14-A and 15-A, Southport East Replat Eight and Lots 1-4, Southport East Replat Nine. The project is located southwest and northwest of Southport Parkway and Eastport Parkway.

The application to amend the PUD site plan is to allow for the construction of an addition to the existing Securities America building and construct additional parking on a lot on the south side of Southport Parkway to accommodate the additional demand.

A detailed staff report is attached.

The Planning Commission held a public hearing on November 16, 2017 and unanimously voted to recommend approval of the PUD Site Plan, contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance as required by city staff prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning ordinance.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, DETERMINING CONDITIONS FOR APPROVAL OF THE AMENDED PLANNED UNIT DEVELOPMENT (PUD) SITE PLAN FOR LOTS 14-A AND 15-A, SOUTHPORT EAST REPLAT EIGHT, AND LOTS 1-4, SOUTHPORT EAST REPLAT NINE, SUBDIVISIONS LOCATED IN THE SE 1/4 OF SECTION 18, T14N, R12E OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.

WHEREAS, the owners of the above described piece of property have made application for approval of an amended planned unit development site plan for Lots 14-A and 15-A, Southport East Replat Eight, and Lots 1-4, Southport East Replat Nine; and

WHEREAS, the City Planner and the City Engineer have reviewed the final planned unit development plan; and

WHEREAS, on November 16, 2017, the Planning Commission held a public hearing and recommended approval of the amended PUD site plan contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance as required by city staff prior to City Council approval; and

WHEREAS, these contingencies have been reviewed and approved.

NOW THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of La Vista, Nebraska, that the amendment to the Planned Unit Development (PUD) site plan for Lots 14-A and 15-A, Southport East Replat Eight, and Lots 1-4, Southport East Replat Nine, located in the SE 1/4 of Section 18, T14N, R12E of the 6th P.M., Sarpy County, Nebraska, generally located northwest and southwest of Southport Parkway and Eastport Parkway be, and hereby is, approved.

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER, 2017.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

RESOLUTION NO. 17 - ____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, DETERMINING CONDITIONS FOR APPROVAL OF THE AMENDED PLANNED UNIT DEVELOPMENT (PUD) SITE PLAN FOR LOTS 14-A AND 15-A, SOUTHPORT EAST REPLAT EIGHT, AND LOTS 1-4, SOUTHPORT EAST REPLAT NINE, SUBDIVISIONS LOCATED IN THE SE 1/4 OF SECTION 18, T14N, R12E OF THE 6TH P.M., SARPY COUNTY, NEBRASKA.

WHEREAS, the owners of the above described piece of property have made application for approval of an amended planned unit development site plan for Lots 14-A and 15-A, Southport East Replat Eight, and Lots 1-4, Southport East Replat Nine; and

WHEREAS, the City Planner and the City Engineer have reviewed the final planned unit development plan; and

WHEREAS, on November 16, 2017, the Planning Commission held a public hearing and recommended approval of the amended PUD site plan contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance as required by city staff prior to City Council approval; and

WHEREAS, these contingencies have been reviewed and approved.

NOW THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of La Vista, Nebraska, that the amendment to the Planned Unit Development (PUD) site plan for Lots 14-A and 15-A, Southport East Replat Eight, and Lots 1-4, Southport East Replat Nine, located in the SE 1/4 of Section 18, T14N, R12E of the 6th P.M., Sarpy County, Nebraska, generally located northwest and southwest of Southport Parkway and Eastport Parkway be, and hereby is, approved.

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER 2017.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk



CITY OF LA VISTA
PLANNING DIVISION

RECOMMENDATION REPORT

CASE NUMBER: PPUD-17-0004

For Hearing of: December 19, 2017
Report Prepared on: December 8, 2017

I. GENERAL INFORMATION

A. APPLICANT: The Lund Company

B. PROPERTY OWNER(S):

The Lund Company Partnership / Lund Southport 76 LLC
450 Regency Parkway, Suite 220
Omaha, NE 68144

John Hoich
Hoich Enterprises, Inc.
5410 North 279th Street
Valley, NE 68064

Michael McDermott
425 North Rawhide Drive
Olathe, KS 66061

C. LOCATION: Northwest and Southwest of Southport Parkway and
Eastport Parkway intersection

D. LEGAL DESCRIPTION: Lots 14-A and 15-A, Southport East Replat
Eight and Lots 1-4 Southport East Replat Nine

E. REQUESTED ACTION(S):

Planned Unit Development (PUD) Site Plan amendment to allow for
expansion of the existing Securities America building and off-site parking.

F. EXISTING ZONING AND LAND USE:

C-3 Highway Commercial/Office Park District and Gateway Corridor
District (Overlay District); the current Securities America office building
exists on Lot 14-A, the remainder of the property is currently vacant.

G. PROPOSED USES: Developer wishes to construct an addition to the
existing Securities America building and construct additional parking on a
lot on the south side of Southport Parkway to accommodate the additional
parking demand.

H. SIZE OF SITE: 17.01 Acres.

II. BACKGROUND INFORMATION

- A. EXISTING CONDITION OF SITE:** Except for the existing Securities America building and related parking, the existing site is vacant ground. There is a gradual downward grade to the east.
- B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:**
 - 1. **North:** PayPal; C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 2. **West:** MyPlace and Lot 2 Southport East Replat Fourteen (vacant); C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 3. **South:** Hampton Inn, Southport Center strip commercial building, and Lots 3 & 5 Southport East Replat Six (vacant); C-3 Highway Commercial/Office Park District and Gateway Corridor District (Overlay District)
 - 4. **East:** Tax Lot 3 17-14-12 - Vacant; TA Transitional Agriculture District and Gateway Corridor District (Overlay District)
- C. RELEVANT CASE HISTORY:**
 - 1. A PUD Site Plan and Ordinance was originally approved for Southport East Replat Nine on August 7, 2007.
 - 2. A PUD Site Plan and Ordinance was originally approved for Southport East Replat Eight on January 16, 2007.

III. ANALYSIS

- A. COMPREHENSIVE PLAN:** The Future Land Use Map of the Comprehensive Plan designates this property for commercial uses.
- B. OTHER PLANS:** N/A
- C. TRAFFIC AND ACCESS:**
 - 1. The Traffic analysis for the study area intersections indicate that the proposed Securities America expansion will have a minimal impact on Level of Service (LOS) (between the 2040 Background and 2040 Build scenarios) at the intersections within the study during the peak traffic hours for the study horizon year of 2040. This conclusion assumes improvements to Giles Road and the Exit 442 interchange recommended by other recent traffic studies occur by 2040.
 - 2. Due to this development, along with anticipated surrounding growth, some movements at the Giles Road and Southport Parkway intersection, as well as the Giles Road and Interstate 80 interchange will operate at a LOS "F" by the 2040 study horizon year. Addressing such problems is beyond the scope of this project.

D. UTILITIES: All utilities are available to the site.

E. PARKING REQUIREMENTS:

1. The parking stall count proposed in the PUD ordinance provides for 790 parking stalls to be shared between Lots 14A and 15A of Southport East Replat 8 and Lot 3 Southport East Replat 9. Staff believes this should be a sufficient number for the use proposed on the Southport East Replat 8 lots.
2. A total of 346 parking stalls are proposed for Lots 1, 2, and 4 of Southport East Replat 9. This amount of parking is acceptable for the conceptual development designed within the PUD site plan for office-style uses.

F. LANDSCAPING:

1. The landscaping plan has been reviewed as per the Southport East design guidelines. Comments regarding the landscaping plan are stated within the design review letter from the City's Design Review Architect and the staff review letter that are attached to this report. The applicant has completed the requested modifications to the design review package and has been provided a Certificate of Design Review Approval.

G. BUILDING DESIGN:

1. The building design has been reviewed as part of the design review process that is required for developments within the Southport East as per the Southport East Design Guidelines. The applicant has completed the requested modifications to the design review package and has been provided a Certificate of Design Review Approval.

IV. REVIEW COMMENTS:

1. The Papillion Fire Marshall's office has reviewed the revised Emergency Vehicle Turning Plan and has approved of the plan to be contingent upon applicant's resubmittal and further demonstration that the requirements of 1, 2 and 3 as listed above, are met for proposed future development of Lots 1, 2 and 4 at the time of development.
2. After review of the Easement Agreement (Instrument No. 2016-06605) and Exhibit "A", it was determined that satisfactory financial guarantees were needed to be provided for the left-turn bay on Southport Parkway. A letter of credit providing the guarantee in the amount necessary to cover the cost of the improvements has been submitted and placed on file with the City Clerk's office.
3. Since Lot 3 is part of a PUD involving multiple owners, all property owners in the PUD approved under Ordinance No. 1045 have provided documentation stating their approval of this application.

V. STAFF RECOMMENDATION – PUD SITE PLAN:

Approval of the PUD Site Plan for an office development with off-site parking, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

VI. PLANNING COMMISSION RECOMMENDATION – PUD SITE PLAN:

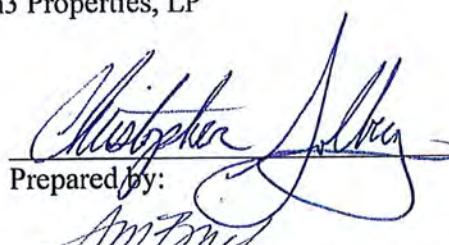
The Planning Commission held a public hearing on November 16, 2017 and unanimously voted to recommend approval of the PUD, contingent on satisfactory amendments to the existing ingress/egress easement and the finalization of adjustments to the PUD plan set or PUD ordinance as required by city staff prior to City Council approval, as the PUD Site Plan request is consistent with the Comprehensive Plan and the Zoning Ordinance.

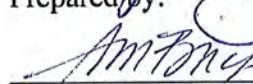
VI. ATTACHMENTS TO REPORT:

1. Vicinity Map
2. Staff Review and Consultant Response Letters
3. Design Review Architect's Letters
4. Draft PUD Site Plan Map Set

VII. COPIES OF REPORT TO:

1. Gerald Kelly, The Lund Company
2. Sheila Ireland, HDR
3. John Hoich, Hoich Enterprises, Inc.
4. Michael McDermott, Gen3 Properties, LP
5. Public Upon Request

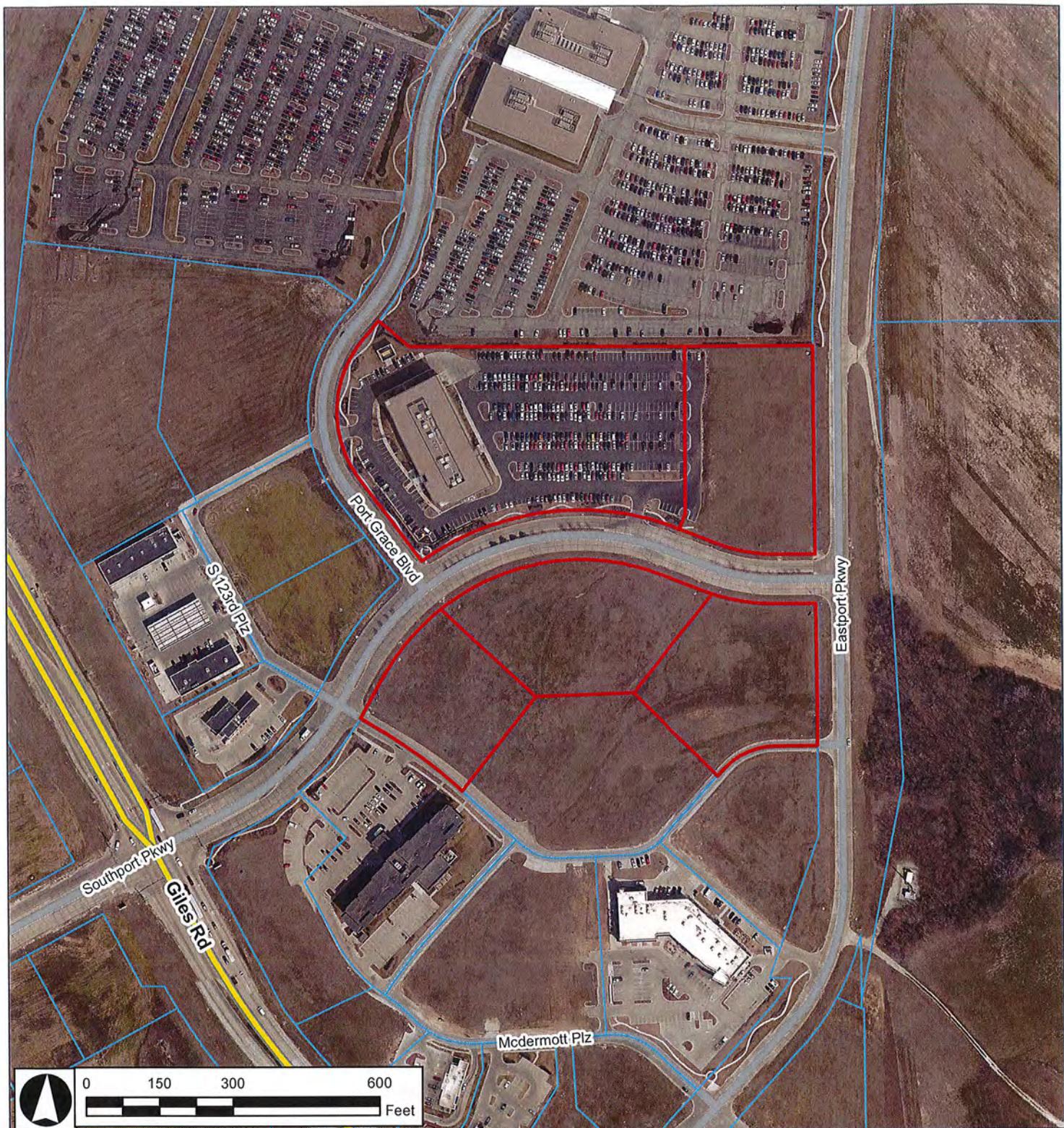


Prepared by: _____


Amy Bony
Community Development Director

12-11-17

Date



Project Vicinity Map

**Lots 14-A & 15-A Southport East Replat Eight
Lots 2-4 Southport East Replat Nine**



10-10-2017
JMC



August 25, 2017



Sheila Ireland
HDR
8404 Indian Hills Drive
Omaha, NE 68114

RE: Proposed Securities American Expansion & Offsite Parking Lot Facility
Amendments to PUD Plans-Ordinances 1020 and 1045

Ms. Ireland,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, as well as the PUD Ordinances for Southport East Replat 6 and Replat 9, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.
2. Article 5.15.04.02: In regards to Lot 3, Southport East Replat Nine, satisfactory financial guarantees are needed for elements of shared infrastructure that are needed on this lot such as sanitary sewers, storm sewers and accesses that need to be constructed on Lot 3 but also are needed to serve the rest of the PUD in Ordinance 1045. These would be required before any building permits are issued for this project. Easements will need to be modified.
3. Article 5.15.04.03: The applicant has submitted a traffic impact analysis in the form of a memorandum. This has been provided to Felsburg, Holt & Ullevig to review on behalf of the City based on their traffic engineering expertise and prior reviews in the Southport area on behalf of the City. Their review letter requests certain additional analysis and that letter should be provided to the applicant. A copy of the letter is attached to this letter for your review. Revisions to the study also need to include a second connection to the parking lot on Lot 3 at the Port Grace Boulevard and Southport Parkway intersection along with the addition of a left-turn bay on Southport to serve this access. Figures 4 and 5 in the study should be revised to include this access.
4. Article 5.15.04.04: Although the La Vista Police Department has concluded that they have no concerns regarding the proposed PUD, comments have not been received from the Papillion Fire Department regarding the application. If

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Fire
8110 Park View Blvd.
p: 402-331-4748
f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

Public Buildings & Grounds
8112 Park View Blvd.
p: 402-331-4343
f: 402-331-4375

Public Works
9900 Portal Rd.
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f: 402-331-1051

Recreation
8116 Park View Blvd.
p: 402-331-3455
f: 402-331-0299

the Fire Marshall has any comments regarding the PUD, those will be forwarded upon receipt.

5. Article 5.15.04.05: Since Lot 3 is part of a PUD involving multiple owners, all property owners in the PUD approved under Ordinance No. 1045 will need to provide a letter stating their approval of this application.
6. Article 5.15.04.06: To examine the compatibility of the proposals with the surrounding land, the applicant needs to provide a composite plan of the proposed development over the top of an aerial photo such as the 2016 GIS photo available in Sarpy GIS. This should be at a scale of approximately 1 inch equals 100 feet and cover the area from McDermott Plaza to the PayPal parking lot north of Replat Eight and from Eastport Parkway to the My Place Hotel site. The proposed amendment to the PUD in Ordinance 1020 does not appear to have any adverse impacts to surrounding development and is an improvement in the aspect that a previously proposed vehicular access to Eastport Parkway is not in the revised plan. However, the proposed amendment to the PUD approved under Ordinance No. 1045. The amendment needs to address:
 - a. Shared sanitary sewer
 - b. Shared storm sewer including PCSMP measures as applicable
 - c. Shared access drives including connection to Port Grace and Southport intersection
 - d. Construction of westbound left-turn bay at Port Grace and Southport intersection
 - e. Pedestrian connections
 - f. Vehicular connections (connection to Lot 4 from Lot 3 for example)
 - g. Whether there will be shared parking amongst the PUD property owners, or not.

To demonstrate such considerations, there needs to be an amended PUD plan covering at least Lots 1 through 4 of Southport East Replat Nine.

7. Article 5.15.04.07: The application indicates a total building square footage of 158,000 square feet for office usage. The zoning regulations would require 790 parking stalls of which 16 must be accessible stalls and of that number 1 in 6, or 3, must be van accessible. The application also indicates the expectation of 800 employees on the maximum shift by 2027. A review of the site plan for both on-site and off-site parking lots shows a total of 799 stall which includes 18 accessible stalls. The accessible stall count includes 3 van accessible stalls.

If there is a desire to share parking with other uses in the PUD, then that needs to be set forth in the application.

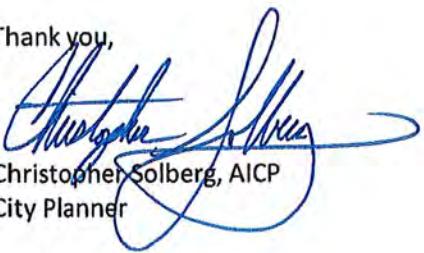
8. Articles 5.15.04.08 & .09: The Southport East Design Guidelines requires a 20 foot wide landscaped area along Southport Parkway. However, the landscaped area along Southport Parkway on north side of Lot 3 is depicted as 15 feet. Additionally, Ordinance 1045 requires 25% greenspace on Lot 3. Although it would appear that this requirement is met, the data needs to be provided on the plan.
9. Article 5.15.04.10: Based on the proposed office use being considered commercial and the individual parcel being Lot 14A, the proposed building coverage is 21.6%. The building footprint area of 53,550 square feet listed on the application was used in making this calculation.
10. Article 5.15.04.11: Not applicable
11. Article 5.15.04.12: While there is not specifically common open space, there is shared, private infrastructure that will be involved in the amendment to the PUD approved in Ordinance 1045. There must be provisions made for operation and maintenance of this shared, private infrastructure. If there is an existing agreement, then it will need to be updated for the revised configuration of the infrastructure.
12. Article 5.15.04.13: Not applicable
13. Article 5.15.04.14: Shared accesses are proposed, but a modification to the connectivity to Lot 4, Southport East Replat Nine is needed.
14. Article 5.15.04.15: The applicant has been responsive to the City's request for a wider sidewalk to be provided along the south side of Southport Parkway in anticipation of the Nebraska Multisport Complex development creating a strong demand for pedestrian access between nearby hotels and the Multisport Complex. There will need to be additional consideration of pedestrian connectivity through the parking lot proposed on Lot 3, Southport East Replat Nine. This might be in the form of extending the pedestrian aisle to the south edge of Lot 3 for continuation to restaurants and other services in adjacent lots.
15. Article 5.15.04.16: Not applicable
16. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the Planning Commission and City Council approval process.

17. Article 5.15.05.03: Provide information on Exhibits B1 and B2 to address Items 1, 5, 6, and 7 in this article.
18. Article 5.15.05.04: Provide statements and/or illustrations of conceptual plans to address first one-half of storm water runoff for water quality and to limit peak storm water runoff flows for 2-year events to pre-development levels. A copy of the drainage study for the 2015 parking lot expansion on Lot 15A, Southport East Replat Eight, will be provided for the applicant's information. In regards to the Replat Nine portion of the project, the amendment will need to identify if each lot is to be responsible for it's own storm water management or whether there will be any shared facilities for storm water management.
19. Article 5.15.05.05: Was satisfactorily addressed in the submittal
20. Article 5.15.05.06: Providing the composite plan identified in Item 6 in this letter would address the need for a vicinity map.

Please submit 4 full size copies (along with electronic copies) of the revised documents. A timeline for review by Planning Commission and City Council will be determined after review of the revised documents.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
City Planner

Enclosure

cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
File



FELSBURG
HOLT &
ULLEVIG

connecting and enhancing communities

August 16, 2017

RE: Securities America TIS - Review
FHU No. 15-453-08

Mr. John Kottmann, PE
City Engineer
City of La Vista
9900 Portal Road
La Vista, NE 68128

Dear Mr. Kottmann:

We have completed our review of the Securities America Expansion Traffic Impact Study (TIS) prepared by HDR dated June 22, 2017. As part of the review, we also considered traffic signal timing plans for the Giles Road corridor, and the FHU *Giles Road Traffic Memo* dated July 8, 2016. The proposed Securities America Building is located directly east of the existing building in La Vista, Nebraska (Sarpy County). The development site is on the north side of Southport Parkway between Port Grace Boulevard and Eastport Parkway. Access is proposed to be provided from existing drives onto Southport Parkway and onto Port Grace Boulevard.

Based upon our review of the information provided we offer the following comments:

1. The study should be sealed and signed by a Professional Engineer licensed in the state of Nebraska.
2. In general, we concur with the analysis scenarios and volumes as developed by HDR for this study. This includes the addition of Securities America trips to background volumes for 2040, as well as an analysis of existing conditions.
3. Page 2, Year 2040 Background Volumes: In a description of assumptions from the Nebraska Multisport Complex traffic study, it was stated that dual northbound right-turn lanes were assumed at the intersection Giles Road with I-80 Eastbound ramp terminals.
It should be noted that while this was an assumption in the NMSC study, NDOT has not planned or supported the construction of dual northbound right-turn lanes at this location. Please have the applicant update the report to add a scenario for 2040 build without dual northbound turn lanes. This would adjust the assumed splits for the northbound through and westbound right movements at the intersection of Giles Road with Southport Parkway.
4. Page 3, Field Observations: In general, we concur with the assumed splits for dual lane approaches. For the future year analysis at the intersection of Giles Road with Southport Parkway, the splits should be adjusted for analysis with and without dual northbound lefts at the I-80 Eastbound ramp terminals.

Please have the applicant update the report to add a scenario for 2040 build without dual northbound turn lanes. This would adjust the assumed splits for the northbound

August 16, 2017
Securities America TIS - Review
Page 2

through and westbound right movements at the intersection of Giles Road with Southport Parkway.

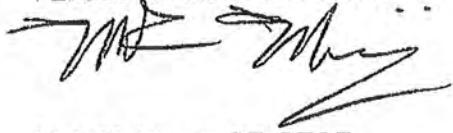
5. Figure 4: Trip generation volumes have been rounded to the nearest 5.

Please have the applicant update the figure to report unrounded trip generation volumes. With rounding it is difficult to backcheck the trip generation volumes on the figure with those on Table1. Rounding to the nearest 5 for the 2040 Build scenario is acceptable.

If you have any questions regarding this review of the traffic study or if you would like to meet to discuss it in further detail, please give me a call.

Sincerely,

FELSBURG HOLT & ULLEVIG



Mark Meisinger, PE, PTOE
Transportation Engineer

O:\Projects\15-453 La Vista On-Call Traffic\08 Securities America\Securities America Review Letter
08.16.17.docx

August 25, 2017



Sheila Ireland
HDR
8404 Indian Hills Drive
Omaha, NE 68114

RE: Proposed Securities American Expansion & Offsite Parking Lot Facility
Amendments to PUD Plans-Ordinances 1020 and 1045

Ms. Ireland,

We have reviewed the documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, as well as the PUD Ordinances for Southport East Replat 6 and Replat 9, the City has the following comments:

1. Article 5.15.04.01: The applicant needs to submit a proposed schedule of construction that is compliant with this article.
See schedule provided.
2. Article 5.15.04.02: In regards to Lot 3, Southport East Replat Nine, satisfactory financial guarantees are needed for elements of shared infrastructure that are needed on this lot such as sanitary sewers, storm sewers and accesses that need to be constructed on Lot 3 but also are needed to serve the rest of the PUD in Ordinance 1045. These would be required before any building permits are issued for this project. Easements will need to be modified.
See Easement Instrument Number 2016-06605, Draft Ordinance and PUD Plan - Exhibit A.
3. Article 5.15.04.03: The applicant has submitted a traffic impact analysis in the form of a memorandum. This has been provided to Felsburg, Holt & Ullevig to review on behalf of the City based on their traffic engineering expertise and prior reviews in the Southport area on behalf of the City. Their review letter requests certain additional analysis and that letter should be provided to the applicant. A copy of the letter is attached to this letter for your review. Revisions to the study also need to include a second connection to the parking lot on Lot 3 at the Port Grace Boulevard and Southport Parkway intersection along with the addition of a left-turn bay on Southport to serve this access. Figures 4 and 5 in the study should be revised to include this access.
See revised Final Traffic Impact Study.
4. Article 5.15.04.04: Although the La Vista Police Department has concluded that they have no concerns regarding the proposed PUD, comments have not been received from the Papillion Fire Department regarding the application. If

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f: 402-331-7210

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Public Works
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f: 402-331-1051

Recreation
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p: 402-331-3455
f: 402-331-0299

the Fire Marshall has any comments regarding the PUD, those will be forwarded upon receipt.

See revised Emergency Vehicle Access Plan - Exhibit E.

5. Article 5.15.04.05: Since Lot 3 is part of a PUD involving multiple owners, all property owners in the PUD approved under Ordinance No. 1045 will need to provide a letter stating their approval of this application.

See letters provided.

6. Article 5.15.04.06: To examine the compatibility of the proposals with the surrounding land, the applicant needs to provide a composite plan of the proposed development over the top of an aerial photo such as the 2016 GIS photo available in Sarpy GIS. This should be at a scale of approximately 1 inch equals 100 feet and cover the area from McDermott Plaza to the PayPal parking lot north of Replat Eight and from Eastport Parkway to the My Place Hotel site. The proposed amendment to the PUD in Ordinance 1020 does not appear to have any adverse impacts to surrounding development and is an improvement in the aspect that a previously proposed vehicular access to Eastport Parkway is not in the revised plan. However, the proposed amendment to the PUD approved under Ordinance No. 1045. The amendment needs to address:

- a. Shared sanitary sewer
- b. Shared storm sewer including PCSMP measures as applicable
- c. Shared access drives including connection to Port Grace and Southport intersection
- d. Construction of westbound left-turn bay at Port Grace and Southport intersection
- e. Pedestrian connections
- f. Vehicular connections (connection to Lot 4 from Lot 3 for example)
- g. Whether there will be shared parking amongst the PUD property owners, or not.

To demonstrate such considerations, there needs to be an amended PUD plan covering at least Lots 1 through 4 of Southport East Replat Nine.

See Draft Ordinance and PUD Plan - Exhibit A.

7. Article 5.15.04.07: The application indicates a total building square footage of 158,000 square feet for office usage. The zoning regulations would require 790 parking stalls of which 16 must be accessible stalls and of that number 1 in 6, or 3, must be van accessible. The application also indicates the expectation of 800 employees on the maximum shift by 2027. A review of the site plan for both on-site and off-site parking lots shows a total of 799 stall which includes 18 accessible stalls. The accessible stall count includes 3 van accessible stalls.

If there is a desire to share parking with other uses in the PUD, then that needs to be set forth in the application.

See Draft Ordinance and PUD Plan - Exhibit A.

8. Articles 5.15.04.08 & .09: The Southport East Design Guidelines requires a 20 foot wide landscaped area along Southport Parkway. However, the landscaped area along Southport Parkway on north side of Lot 3 is depicted as 15 feet. Additionally, Ordinance 1045 requires 25% greenspace on Lot 3. Although it would appear that this requirement is met, the data needs to be provided on the plan.

See Site Paving Plan - Exhibit B.

9. Article 5.15.04.10: Based on the proposed office use being considered commercial and the individual parcel being Lot 14A, the proposed building coverage is 21.6%. The building footprint area of 53,550 square feet listed on the application was used in making this calculation.

See PUD Plan - Exhibit A.

10. Article 5.15.04.11: Not applicable

11. Article 5.15.04.12: While there is not specifically common open space, there is shared, private infrastructure that will be involved in the amendment to the PUD approved in Ordinance 1045. There must be provisions made for operation and maintenance of this shared, private infrastructure. If there is an existing agreement, then it will need to be updated for the revised configuration of the infrastructure.

See Easement Instrument Number 2016-06605, Draft Ordinance and PUD Plan - Exhibit A.

12. Article 5.15.04.13: Not applicable

13. Article 5.15.04.14: Shared accesses are proposed, but a modification to the connectivity to Lot 4, Southport East Replat Nine is needed.

See Draft Ordinance and PUD Plan - Exhibit A.

14. Article 5.15.04.15: The applicant has been responsive to the City's request for a wider sidewalk to be provided along the south side of Southport Parkway in anticipation of the Nebraska Multisport Complex development creating a strong demand for pedestrian access between nearby hotels and the Multisport Complex. There will need to be additional consideration of pedestrian connectivity through the parking lot proposed on Lot 3, Southport East Replat Nine. This might be in the form of extending the pedestrian aisle to the south edge of Lot 3 for continuation to restaurants and other services in adjacent lots.

See revised Paving Plan - Exhibit B.

15. Article 5.15.04.16: Not applicable

16. Articles 5.15.04.17-21: The building and site design is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process needs to be substantially complete prior to proceeding through the Planning Commission and City Council approval process.

17. Article 5.15.05.03: Provide information on Exhibits B1 and B2 to address Items 1, 5, 6, and 7 in this article.

See Draft Ordinance and PUD Plan - Exhibit A.

18. Article 5.15.05.04: Provide statements and/or illustrations of conceptual plans to address first one-half of storm water runoff for water quality and to limit peak storm water runoff flows for 2-year events to pre-development levels. A copy of the drainage study for the 2015 parking lot expansion on Lot 15A, Southport East Replat Eight, will be provided for the applicant's information. In regards to the Replat Nine portion of the project, the amendment will need to identify if each lot is to be responsible for it's own storm water management or whether there will be any shared facilities for storm water management.

See Stormwater Management Statement provided.

19. Article 5.15.05.05: Was satisfactorily addressed in the submittal

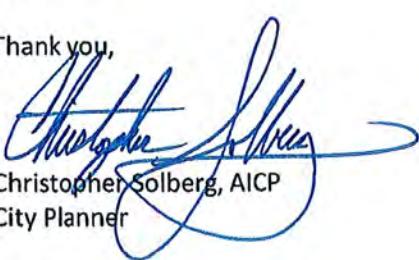
20. Article 5.15.05.06: Providing the composite plan identified in Item 6 in this letter would address the need for a vicinity map.

See Exhibit A.

Please submit 4 full size copies (along with electronic copies) of the revised documents. A timeline for review by Planning Commission and City Council will be determined after review of the revised documents.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
City Planner

Enclosure

cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
File

October 2, 2017



Sheila Ireland
HDR
8404 Indian Hills Drive
Omaha, NE 68114

RE: Proposed Securities American Expansion & Offsite Parking Lot Facility
Amendments to PUD Plans-Ordinances 1020 and 1045

Ms. Ireland,

We have reviewed the revised documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, as well as the PUD Ordinances for Southport East Replat 6 and Replat 9, the City has the following comments:

1. Article 5.15.04.01: The applicant has submitted a satisfactory schedule pertaining to Lots 14A and 15A of Replat 8 and Lot 3 of Replat 9.
2. Article 5.15.04.02: After review of the Easement Agreement (Instrument No. 2016-06605) and Exhibit "A", it was determined that satisfactory financial guarantees need to be provided for the West Driveway access and the Left-Turn Bay on Southport Parkway. The Easement Agreement will need to be amended in regards to the sanitary sewer to serve Lot 1 (which is now proposed on a different route than in the agreement) and the previous easement along the common line of Lots 2 and 3 of Replat 9 will have to be revised to match the location shown on Exhibit "A". The sanitary sewer does not require a financial guarantee.
3. Article 5.15.04.03: The revised traffic study has been provided to Felsburg, Holt & Ullevig (FHU) for review and comment. Comments regarding the study will be forwarded upon review of the response letter from FHU.
4. Article 5.15.04.04: Exhibit "E" has been provided to the Fire Marshall for review and comment. Comments are expected within the next 24-48 hours and will be forwarded upon receipt.
5. Article 5.15.04.05: Memorandums have been provided from the other property owners consenting to the proposed PUD. However, there is some confusion in regards to Lot 4, Replat 9. The memorandum by Michael McDermott has inserted by handwriting that he is the owner of Lot 4, Replat 9.

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f: 402-331-0410

Golf Course
8305 Park View Blvd.
p: 402-339-9147

Library
9110 Giles Rd.
p: 402-537-3900
f: 402-537-3902

Police
7701 South 96th St.
p: 402-331-1582
f: 402-331-7210

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Public Works
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Recreation
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f: 402-331-0299

The memorandum by Mr. Hoich indicates he is the owner of Lot 4, Replat 9. Clarification needs to be provided.

6. Article 5.15.04.06: The provision of Exhibit "A" has been very helpful to review of the project. Staff recommends that the following clarifications be made to Exhibit "A" (or other exhibits due to space restrictions):
 - a. Add a note that Lots 1, 2 and 4 will be providing their own water quality treatment for PCSMP compliance.
 - b. Add side lot line sidewalks to both sides of Lot 1 to provide connectivity from Lot 3 to 123rd Plaza.
 - c. Vehicular connectivity to Lot 1 is poor. Add 1 connection point to Lot 3 or Lot 4 or 123rd Plaza.
 - d. The proposed westbound left-turn bay at Port Grace and Southport intersection is not shown correctly. Revise the geometry which will include revising the island and not just restriping Southport Parkway.
 - e. Identify by notation that the proposed pedestrian crosswalk in Southport Parkway shall include signage and pavement markings and will be installed by the owner of Lot 3 at the time of parking lot construction on Lot 3.
 - f. Add notation about whether Lots 1, 2 and 4 are going to share parking or not. If not, then the proposed parking for Lot 4 is not adequate (states 110 required but 103 provided). This analysis includes the reduction proposed within the PUD ordinance from 5 stalls per 1,000 gsf building area to 4.5 stalls per 1,000 gsf building area for parking areas that allow for shared parking amongst uses.
 - g. The proposed buildings on Lots 1, 2, and 4 need to be labelled as 1 story buildings and state the gross building square footage for each as that relates to required parking.
 - h. The total proposed building square footage for Lot 14A needs to be listed (158,000 square feet?) since that relates to required parking which would be 790 stalls and 789 stalls are listed for total on Lots 14A, 15A and 3.
7. Article 5.15.04.07: A minor correction appears to be needed. See Item 6h above. Accessible stalls will be reviewed in more detail at building permit time.
8. Articles 5.15.04.08 & .09: Landscaped area along Southport Parkway has been increased to 20 feet wide. The data tables on Exhibit "A" indicate greenspace on the lots being less than 25%. The requirement in the proposed PUD and also in the prior PUD ordinances indicate the requirement is for 25% greenspace. This needs to be resolved.
9. Article 5.15.04.10: See comments about greenspace in Item 8 above.

10. Article 5.15.04.11: No response was required
11. Article 5.15.04.12: The Easement Agreement (Instrument No. 2016-06605) has been reviewed. The City provides the following comments and/or questions:
 - a. Exhibit "D" is labelled as a "No Building Easement" instead of "South Cross Easement" for ingress/egress purposes.
 - b. Paragraph 5D indicates Left Turn Lane in Southport Parkway is to be installed and paid for by Purchaser (of Lot 3) at some future date that is undefined. This should be amended to specify with development of Lot 3 which is the same time as the West Driveway Easement as specified in Paragraph 5A.
 - c. In regards to Paragraph 6D, the language should be modified to indicate that the left turn bay shall be built to City public street standards and that subject to receiving certification of construction being completed in accordance with plans and specs approved by the City, then the City would be responsible for maintenance of the left turn bay since it is in the public right of way.
 - d. Exhibit "E" will need to be replaced with a professionally drawn exhibit that depicts the sewer routes correctly.
 - e. Section 7 needs to have the language modified to match what is proposed in regards to location, easements and maintenance of proposed sanitary and storm sewers.
12. Article 5.15.04.13: No response was required.
13. Article 5.15.04.14: Access revision was made to provide connection to Lot 4.
14. Article 5.15.04.15: Refer to comments in Item 6.
15. Article 5.15.04.16: No response was required.
16. Articles 5.15.04.17-21: The building and site design resubmittal is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process has been determined as substantially complete, allowing the project to proceed (from a design review standpoint) through the Planning Commission and City Council approval process. However, resolution of any remaining issues will need to be resolved prior to application submission for building permit.
17. Article 5.15.05.03: See Item 6 above.

18. Article 5.15.05.04: See Item 6a above. Also, revise Exhibit D1 to show the portion of Lot 14A and 15A that will need to receive water quality treatment for compliance with Chapter 154 of the La Vista Municipal Code for new impervious surface and significant redevelopment. With this letter is an exhibit of what portion the City Engineer interprets as coming under this requirement.

19. Article 5.15.05.05: No response was required.

20. Article 5.15.05.06: Exhibit "A" provided a satisfactory response to this comment.

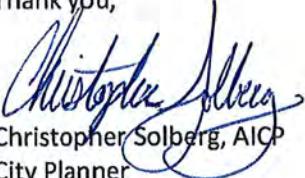
Please submit 4 full size copies (along with electronic copies) of the revised documents for further review in regards to the issues noted in this letter.

Additionally, It has been determined that this application, dependent on the resolution of the aforementioned issues, is ready for review by the Planning Commission. Please submit 14 full size copies of just the PUD ordinance and Exhibits A-G2 and H for the Planning Commission packet preparation by noon on Wednesday, October 11, 2017.

The next Planning Commission meeting is Thursday, October 19, 2017 at 7:00pm. Please have someone in attendance at the meeting to provide a short presentation of the project to the Planning Commission and to answer questions as necessary.

If you have any questions regarding these comments please feel free to contact me at any time.

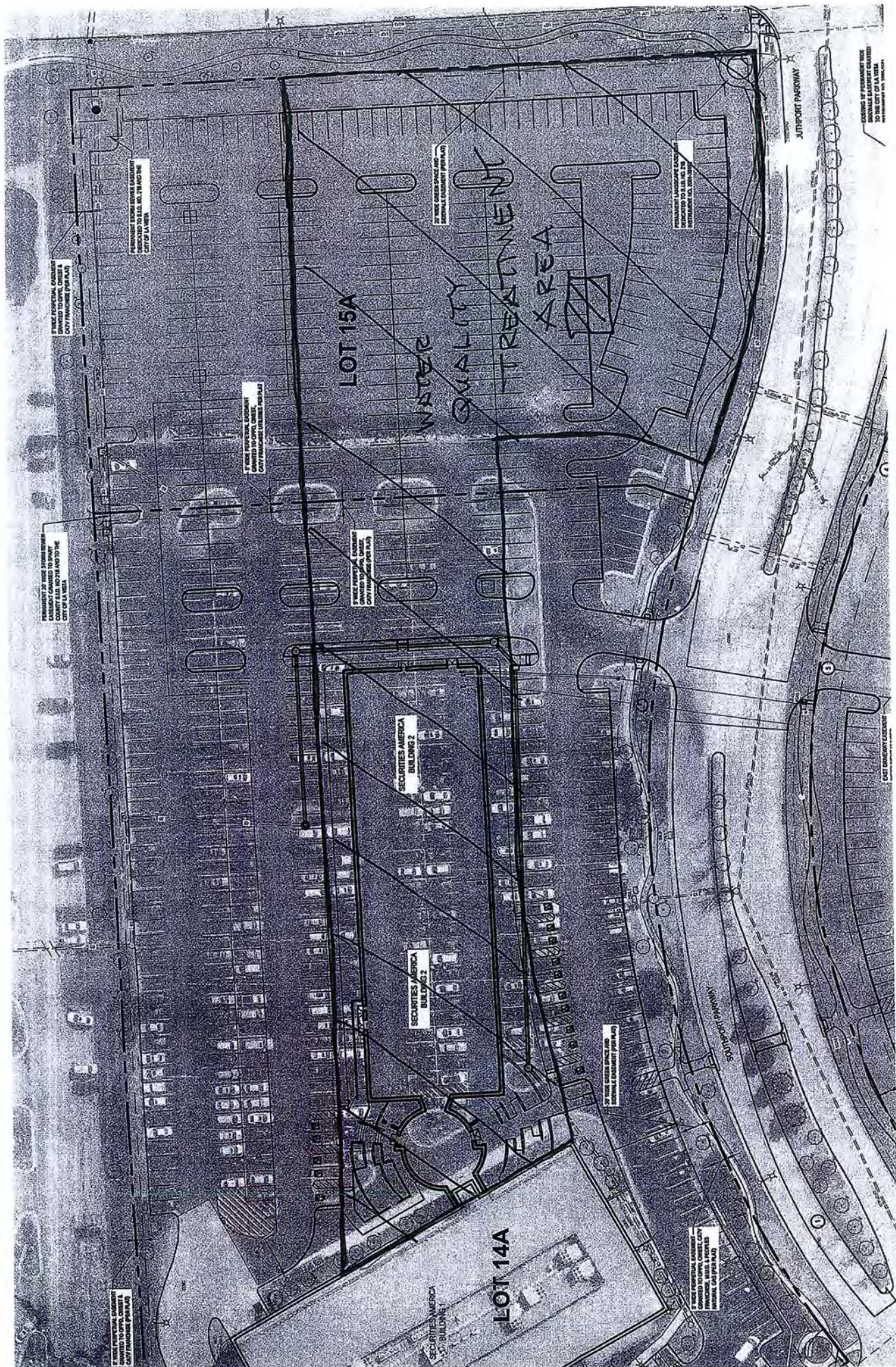
Thank you,



Christopher Solberg, AICP
City Planner

Enclosure

cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
File



October 2, 2017



Sheila Ireland
HDR
8404 Indian Hills Drive
Omaha, NE 68114

RE: Proposed Securities American Expansion & Offsite Parking Lot Facility
Amendments to PUD Plans-Ordinances 1020 and 1045

Ms. Ireland,

We have reviewed the revised documents submitted for the above-referenced application. Based on the elements for consideration set forth in the applicable sections of the Zoning Ordinance, as well as the PUD Ordinances for Southport East Replat 6 and Replat 9, the City has the following comments:

1. Article 5.15.04.01: The applicant has submitted a satisfactory schedule pertaining to Lots 14A and 15A of Replat 8 and Lot 3 of Replat 9. **No comment.**
2. Article 5.15.04.02: After review of the Easement Agreement (Instrument No. 2016-06605) and Exhibit "A", it was determined that satisfactory financial guarantees need to be provided for the West Driveway access and the Left-Turn Bay on Southport Parkway. The Easement Agreement will need to be amended in regards to the sanitary sewer to serve Lot 1 (which is now proposed on a different route than in the agreement) and the previous easement along the common line of Lots 2 and 3 of Replat 9 will have to be revised to match the location shown on Exhibit "A". The sanitary sewer does not require a financial guarantee. **Sanitary sewer line has been moved back into sanitary sewer easement along west driveway between Lots 2 and 3.**
3. Article 5.15.04.03: The revised traffic study has been provided to Felsburg, Holt & Ullevig (FHU) for review and comment. Comments regarding the study will be forwarded upon review of the response letter from FHU. **No comment.**
4. Article 5.15.04.04: Exhibit "E" has been provided to the Fire Marshall for review and comment. Comments are expected within the next 24-48 hours and will be forwarded upon receipt. **See Note 8 on Exhibit A.**
5. Article 5.15.04.05: Memorandums have been provided from the other property owners consenting to the proposed PUD. However, there is some confusion in regards to Lot 4, Replat 9. The memorandum by Michael McDermott has inserted by handwriting that he is the owner of Lot 4, Replat 9.

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f: 402-331-0299

The memorandum by Mr. Hoich indicates he is the owner of Lot 4, Replat 9. Clarification needs to be provided. *Updated consent letter signed by Mr. McDermott and Mr. Hoich pending signature. Intent to have turned in prior to Planning Commission meeting.*

6. Article 5.15.04.06: The provision of Exhibit "A" has been very helpful to review of the project. Staff recommends that the following clarifications be made to Exhibit "A" (or other exhibits due to space restrictions):
 - a. Add a note that Lots 1, 2 and 4 will be providing their own water quality treatment for PCSMP compliance. *See Note 4 on Exhibit A.*
 - b. Add side lot line sidewalks to both sides of Lot 1 to provide connectivity from Lot 3 to 123rd Plaza. *See Exhibit A; requested sidewalks centered between lot lines.*
 - c. Vehicular connectivity to Lot 1 is poor. Add 1 connection point to Lot 3 or Lot 4 or 123rd Plaza. *See Exhibit A; entrance S 123rd Plaza adjusted to accommodated second point of entry.*
 - d. The proposed westbound left-turn bay at Port Grace and Southport intersection is not shown correctly. Revise the geometry which will include revising the island and not just restriping Southport Parkway. *See Note 1 on Exhibit A and revised layout. Still to be engineered.*
 - e. Identify by notation that the proposed pedestrian crosswalk in Southport Parkway shall include signage and pavement markings and will be installed by the owner of Lot 3 at the time of parking lot construction on Lot 3. *See Exhibit A; note added to crosswalk location.*
 - f. Add notation about whether Lots 1, 2 and 4 are going to share parking or not. If not, then the proposed parking for Lot 4 is not adequate (states 110 required but 103 provided). This analysis includes the reduction proposed within the PUD ordinance from 5 stalls per 1,000 gsf building area to 4.5 stalls per 1,000 gsf building area for parking areas that allow for shared parking amongst uses. *See Note 7 on Exhibit A. If requirement were to be revised to a 5 per 1,000 GSF, available parking in each lot meet requirement.*
 - g. The proposed buildings on Lots 1, 2, and 4 need to be labelled as 1 story buildings and state the gross building square footage for each as that relates to required parking. *See Exhibit A.*
 - h. The total proposed building square footage for Lot 14A needs to be listed (158,000 square feet?) since that relates to required parking which would be 790 stalls and 789 stalls are listed for total on Lots 14A, 15A and 3. *See Exhibit A.*

7. Article 5.15.04.07: A minor correction appears to be needed. See Item 6h above. Accessible stalls will be reviewed in more detail at building permit time. *See Exhibit A; handicap stall count (standard and van accessible) have been accounted for per ADA requirements.*
8. Articles 5.15.04.08 & .09: Landscaped area along Southport Parkway has been increased to 20 feet wide. The data tables on Exhibit "A" indicate greenspace on the lots being less than 25%. The requirement in the proposed PUD and also in the prior PUD ordinances indicate the requirement is for 25% greenspace. This needs to be resolved. *Approval from Chris Solberg to reduce greenspace requirement to have 20% greenspace per Lot.*
9. Article 5.15.04.10: See comments about greenspace in Item 8 above.
Approval from Chris Solberg to reduce greenspace requirement to have 20% greenspace per Lot.

10. Article 5.15.04.11: No response was required

No comment.

11. Article 5.15.04.12: The Easement Agreement (Instrument No. 2016-06605) has been reviewed. The City provides the following comments and/or questions:

- a. Exhibit "D" is labelled as a "No Building Easement" instead of "South Cross Easement" for ingress/egress purposes. [See Amended and Restated Easement Agreement](#).
- b. Paragraph 5D indicates Left Turn Lane in Southport Parkway is to be installed and paid for by Purchaser (of Lot 3) at some future date that is undefined. This should be amended to specify with development of Lot 3 which is the same time as the West Driveway Easement as specified in Paragraph 5A. [See Amended and Restated Easement Agreement](#).
- c. In regards to Paragraph 6D, the language should be modified to indicate that the left turn bay shall be built to City public street standards and that subject to receiving certification of construction being completed in accordance with plans and specs approved by the City, then the City would be responsible for maintenance of the left turn bay since it is in the public right of way. [See Amended and Restated Easement Agreement](#).
- d. Exhibit "E" will need to be replaced with a professionally drawn exhibit that depicts the sewer routes correctly. [Exhibit E has been eliminated from the Amended and Restated Easement Agreement](#).
- e. Section 7 needs to have the language modified to match what is proposed in regards to location, easements and maintenance of proposed sanitary and storm sewers. [See Amended and Restated Easement Agreement](#).

12. Article 5.15.04.13: No response was required.

No comment.

13. Article 5.15.04.14: Access revision was made to provide connection to Lot 4.

No comment.

14. Article 5.15.04.15: Refer to comments in Item 6.

[See response comments from Item 6.](#)

15. Article 5.15.04.16: No response was required.

No comment.

16. Articles 5.15.04.17-21: The building and site design resubmittal is currently under review by the City's Design Review Architect. A separate design review letter will be forwarded once the initial review has been completed. The design review process has been determined as substantially complete, allowing the project to proceed (from a design review standpoint) through the Planning Commission and City Council approval process. However, resolution of any remaining issues will need to be resolved prior to application submission for building permit. [Comments received from Architecture Design review are being addressed.](#)

17. Article 5.15.05.03: See Item 6 above.

[See response comments from Item 6.](#)

18. Article 5.15.05.04: See Item 6a above. Also, revise Exhibit D1 to show the portion of Lot 14A and 15A that will need to receive water quality treatment for compliance with Chapter 154 of the La Vista Municipal Code for new impervious surface and significant redevelopment. With this letter is an exhibit of what portion the City Engineer interprets as coming under this requirement. **See Stormwater management Statement and Exhibit D1, revised to reflect water quality treatment area.**
19. Article 5.15.05.05: No response was required.
No comment.
20. Article 5.15.05.06: Exhibit "A" provided a satisfactory response to this comment. **No comment.**

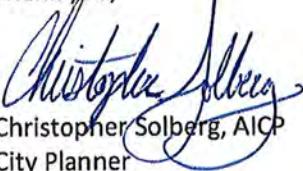
Please submit 4 full size copies (along with electronic copies) of the revised documents for further review in regards to the issues noted in this letter.

Additionally, It has been determined that this application, dependent on the resolution of the aforementioned issues, is ready for review by the Planning Commission. Please submit 14 full size copies of just the PUD ordinance and Exhibits A-G2 and H for the Planning Commission packet preparation by noon on Wednesday, October 11, 2017.

The next Planning Commission meeting is Thursday, October 19, 2017 at 7:00pm. Please have someone in attendance at the meeting to provide a short presentation of the project to the Planning Commission and to answer questions as necessary.

If you have any questions regarding these comments please feel free to contact me at any time.

Thank you,



Christopher Solberg, AICP
City Planner

Enclosure

cc: Ann Birch, Community Development Director
John Kottmann, City Engineer
File

From: Ireland, Sheila [mailto:Sheila.Ireland@hdrinc.com]
Sent: Tuesday, September 26, 2017 3:40 PM
To: Christopher Solberg; Heaney, Scott (sheaney@schemmer.com)
Cc: Ann Birch; Ingunza, Alison
Subject: RE: Securities America

Chris and Scott,
We'd like to request a couple of clarifications regarding the Design Review notes for Securities America.

Civil/Site comment #2: Site furniture cut sheets were not submitted for the street corners because the bench at Port Grace and Southport is existing and shown in the rendering on sheet A-201. The owner was not intending to install a bench at the Southport and Eastport intersection as it was understood that a bench is not required.

Is a bench required at the Southport and Eastport intersection?

Is the photo of the existing bench shown in the rendering suitable in lieu of a cut sheet?

Site furniture cut sheets were not submitted for the entrance plaza between the existing building and the addition because this is not a public entrance plaza (it is an employee entrance and employee amenity). It was our understanding from the meeting with the City of La Vista on 6/15, that the furniture in this area does not fall under the jurisdiction of the design guidelines. Please verify that is still the case. We can provide cut sheets for the city's information, however the selections are conceptual and may be changed by the tenant between now and the proposed completion date of the project. Please advise on how you'd like us to proceed and if the tenant will be required to notify the city of any changes they might make to this furniture.

Civil/Site comment #4: Plant species. In most cases the species specified are varieties of those listed or it's a nomenclature difference. In most cases the species varieties specified were based on hardiness and/or availability for this region. Is that suitable justification or is additional information required?

Thank you,

Sheila J. Ireland AIA, NCARB, LEED AP
D 402.548.5150 M 402.399.1000



From: Christopher Solberg
Sent: Wednesday, October 25, 2017 4:32 PM
To: 'Ireland, Sheila'
Cc: Ann Birch (abirch@cityoflavista.org); alison.ingunza@hdrinc.com; Heaney, Scott (sheaney@schemmer.com)
Subject: RE: Securities America

Sheila,

Thank you for your request for clarification. The City's responses are:

Civil/Site comment #2:

Full buildout of the corner features, as depicted in Appendix A and Appendix B are required for all major corners. The bench is required. A cut sheet should be provided to verify that it meets the published guidelines. Looking at the bench in Google Streetview, it appears that the existing bench matches the McConnell Series that is required as per the Southport Design Guidelines.

It has been determined that site furniture internal to the new design does not have to be submitted and can be flexible to better match the architect's design concept.

Civil/Site comment #4:

This is a suitable explanation for most of the plant species listed. However the Little Devil Ninebark does not tie back in with the list within the Southport East Design Guidelines.

Thank you,

Christopher A. Solberg, AICP
City Planner
City of La Vista

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF LA VISTA, NEBRASKA, AMENDING ORDINANCE 1045 WITH RESPECT TO LOTS 1-4 SOUTHPORT EAST REPLAT NINE, AND ORDINANCE 1020 WITH RESPECT TO LOTS 14A AND 15A, SOUTHPORT EAST REPLAT EIGHT; ESTABLISHING STANDARDS AND CONDITIONS FOR DEVELOPMENT UNDER THE FINAL PLANNED UNIT DEVELOPMENT PLAN; TO PROVIDE FOR SEVERABILITY; TO PROVIDE WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND TO PROVIDE FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA:

Section 1. In accordance with Section 5.15 of the La Vista Zoning Ordinance No. 848, the PUD (Planned Unit Development) for Lots 1-4 Southport East Replat Nine, and the PUD (Planned Unit Development) for Lots 14A and 15A Southport East Replat Eight, are each amended, and combined into a single PUD, for the following described real estate, to wit:

LEGAL DESCRIPTION

See Exhibit "A" attached hereto and made a part hereof.

Section 2. The PUD plan is hereby adopted to provide for the development of a planned commercial center that will service not only the City, but also the surrounding market area. Such commercial center is characterized by attached and free-standing retail, lodging, office, dining and entertainment establishments served by various parking areas. The regulations contained in this Ordinance will facilitate development in a planned, orderly fashion so as to protect the public health, safety, and general welfare. All grading, installation of infrastructure, development and build out shall be in strict accordance with the provisions of this Ordinance, except as shall be amended by the City Council in the required manner. The underlying commercial zoning district regulations shall continue to be applicable, except as provided for in this Ordinance and the attached exhibits.

Section 3. Definitions

Unless a contrary intent is clearly indicated herein, the following words and phrases shall have the following meanings, regardless of whether or not capitalized:

- A. "Developer" shall mean, with respect to: Lot 1 Southport East Replat Nine, McDermott Gen3 Properties, LP, and Patrick McDermott; Lot 2 Southport East Replat Nine, John Hoich and Michael McDermott; Lot 3 Southport East Replat Nine, The Lund Company Partnership; Lot 4 Southport East Replat Nine, John Hoich and Michael McDermott; Lot 14A Southport East Replat Eight, Lund Southport 14, LLC; and Lot 15A Southport East Replat Eight, Lund Southport 76, LLC, LLC, and Lund Southport 24, LLC, their respective successors and assigns.
- B. "Gateway Corridor District" or "La Vista Gateway Corridor District" shall mean the City's overlay zoning district establishing basic site and building development criteria to be implemented within the boundaries of the overlay district.

- C. "Landscaping Easement" shall mean that area adjacent to the street right-of-way providing for required street trees and landscape material.
- D. "Open Space" shall mean anything on the site except buildings, parking lot and vehicular circulation, generally pervious, but may include well landscaped pedestrian places, pools, pool decks and roof gardens.
- E. "Planned Unit Development Plan" shall mean a plan developed and approved that outlines certain provisions for the property and its uses. Such plan shall consist of the final plat, design guidelines, landscaping, etc.
- F. "Plat" or "the Plat," shall mean the final plat approved by the City Council or an administrative plat approved by staff.
- G. "Southport East Design Guidelines" shall mean the specific guidelines jointly developed, agreed to and amended by Developer and City for the Subdivision for the purpose, among others, of creating cohesiveness and ensure quality of materials, aesthetics and maintenance upon which all tenants and owners can rely and to ensure view continuity and creation of a sense of place through the use of common elements of site and architecture, a copy of which is attached to Ordinance No. 1019 as Exhibit "C".
- H. "Subdivision" shall mean the 17.0077 acres of land described in Section 1 above, which shall continue to be a part of the "Southport Center."

Section 4. Parcel Identification Map

Attached hereto and made a part of this PUD Plan for parcel delineation is the Parcel Identification Map for the Southport Center Amended PUD (Planned Unit Development), marked as Exhibit "B".

Section 5. Conceptual Site Plan

The conceptual site plan for each parcel shall be submitted to the City for approval prior to any lot development within said parcel.

Section 6. Building Design Guidelines and Criteria

A copy of the Southport East Design Guidelines in the form approved and amended by the City is attached to Ordinance No. 1019 as Exhibit "C". All applications shall adhere to requirements of the approved PUD Plan and Design Guidelines. Prior to issuance of a building permit, the City, Developer and the applicant shall have mutually agreed upon a specific design plan that complies with such criteria. The Southport East Design Guidelines take the place of the Appendix A, B, and C of the City's Commercial Building Design Guide and Criteria dated September 17, 2013. The City Administrator shall determine which design criteria is applicable in the event of a conflict between the two documents referenced herein.

Section 7. Conditions

Section 5.15 of the La Vista Zoning Ordinance No. 848 includes the Planned Unit Development Overlay District (PUD) and establishes certain regulations and guidelines pertaining to accompanying information required on a Plat, Site Plan and/or conditional use permits. All uses shall adhere to the underlying zoning district except as herein provided.

A. General Conditions

In addition, the following general site plan criteria shall be integrated into and made part of the Southport Center Amended PUD.

- i. All subdivisions, public streets, public street rights-of-way and general development shall adhere to the standards and design criteria set forth in the La Vista Subdivision Regulations and the most current design standards adopted by the City of La Vista pertaining thereto unless otherwise stated within this PUD Plan and Southport East Design Guidelines.
- ii. Unless otherwise specified herein, the development of the Southport Center Amended shall comply with the applicable La Vista Zoning District Regulations or any other applicable City Codes.

B. Land Use Design Criteria

Unless provided otherwise in this PUD Plan, all general use regulations, performance standards and provisions set forth in the La Vista Zoning Ordinance for the C-3, Gateway Corridor and PUD-1 zoning districts shall apply to any development within the identified area. The negative elements of such uses as loading docks, heating, ventilation, or air conditioning (HVAC) units, or similar electrical or mechanical appurtenances shall be designed to be screened and buffered from view by the general public through the use of architectural features or earth berthing and landscaping.

- i. The intent of the design and layout for: Lots 1, 2 and 4, Southport East Replat Nine is to develop retail, restaurant(s), hotel(s) and office center(s) and/or individual businesses; Lot 3, Southport East Replat Nine is to develop retail, restaurant(s), hotel(s), office center(s), individual businesses, and/or parking lots to service other Lots as an accessory use as authorized by C-3 zoning designation; Lots 14A and 15A, Southport East Replat Eight is to develop retail, restaurant(s), hotel(s) and office center(s) and/or individual businesses.
 - a. **Building Height.** Within these lots, permitted building heights will be a maximum of fifty-five (55) feet above the average finished grade of the ground at the perimeter of the building, unless otherwise approved by the City Council as part of a PUD Plan.
 - b. **Building Setback.** No part of any free standing or multiple attached building shall be erected within ten (10) feet of the property line. The front yard, side yard and rear yard set backs abutting a shared access easement will be no closer than (10) feet from the back of the private street curb.

- c. Open Space/Buffer. The minimum required open space for each lot in this Parcel shall be equal to at least twenty percent (20%) of the gross area of the lot. Except as to Lot 3, Southport East Replat Nine, all parking areas, except for driveways shall be effectively screened from general public view by incorporating the natural landscape and topography with the introduction of permanent earth berming of no less than two (2) feet above the top of curb of the adjacent public street. In any case, all parking areas shall include landscape areas, islands, screens, etc., equal to not less than ten percent (10%) of the total paved area. Such landscaped areas may be included as part of the 20% total open space. Landscaped islands within the parking area shall have ground cover of sodded grass, shrubs or other acceptable living plant material, unless the City specifically approves an alternate ground cover as part of the site plan review.
- d. Landscaping. Landscaping will include the integration of recommended overstory and understory trees, shrubs and ornamental grasses per the Southport East Design Guidelines. A complete and detailed landscape plan is required prior to building permit approval to assure compliance with the vision of Southport Center Development and its approved guidelines.
- e. Signage. All signs identifying the project may be permitted with approval of a sign permit based upon the adopted sign regulations except as modified herein.
- f. Public Spaces. Feature lakes, detention pond areas, easements for public amenities, sidewalks within open areas, pedestrian plazas and paved outdoor spaces (excluding parking lots) are encouraged to link commercial areas with pedestrian plazas and to create interaction.

C. Commercial, Office and Mixed Use Site Design Guidelines

Except with respect to Lot 3, Southport East Replat Nine, which Lot may be utilized as a parking lot (accessory use) for the benefit and use of Lots 14A and 15A Southport East Replat Eight, off-street parking should be behind or beside the building when possible. Buildings should be arranged to create view corridors between pedestrian destinations within and adjacent to the site including building entrances and open spaces. The corners of street intersections and/or shared access easements, particularly site entries, should be distinguished by special landscape or architectural treatments. The use of alternate paving materials to designate pedestrian traffic areas from vehicular use areas and travel lanes is strongly encouraged. Overhead doors and loading docks shall be totally screened from public streets. When possible, the integration of storm drainage and detention should be designed to enhance the public space. It shall be the City Administrator who shall determine which design criteria is applicable in the event of a conflict between the two documents referenced herein.

D. Access and Off-Street Parking

- i. Access. Driveways shall be located so that no undue interference with the free movement of road traffic will result, to provide the required sight distance, and to provide the most-favorable driveway grade. Access points within the development shall be limited to what is shown on the plan referenced on Exhibit "B". Any deviation from this shall require the approval of the City.
- ii. Off-Street Parking. Except with respect to Lot 3, Southport East Replat Nine, which Lot may be utilized as a parking lot (accessory use) for the benefit and use of Lots 14A and 15A Southport East Replat Eight, parking on lots shall be provided based on Section 7.06 of the Zoning Ordinance, or the aggregate ratio of four and a half (4.5) off-street parking spaces per one thousand (1,000) square feet of gross leasable floor area of multi-tenant flex buildings, unless off-site/public parking is utilized with approval of the City.
 - a. Landscaping.
 1. Off-street parking areas containing twenty-five (25) or more parking spaces shall provide internal landscaping, other than that required in a buffer zone or along street frontages, and shall be protected by a concrete curb.
 2. Landscape islands a minimum of seven (7) feet in width shall be provided at the end of all parking rows. In addition, landscape islands a minimum of seven (7) feet in width shall be provided throughout the parking lots such that no parking space is farther than one hundred twenty (120) feet away from any landscaped space.
 3. Required trees shall be located to minimize potential damage to vehicles, to insure adequate sight distance, and the maneuvering of emergency vehicles within the development and each lot.
 4. The internal landscaped areas shall be located to direct traffic, dispersed throughout the lot to improve site aesthetics, and installed so that, when mature, it does not obscure traffic signs, fire hydrants, lighting, drainage patterns on site or adjacent properties, or obstruct vision for safety of ingress or egress.
 5. Parking areas shall be screened, recessed, or otherwise constructed and located so as to prevent the glare from automobile headlights illuminating adjacent properties and to minimize negative views from public streets.
 6. Parking area lighting shall be in accordance with the Southport East Design Guidelines. A lighting plan shall be submitted for review in conjunction with the building design and landscaping plan.

7. Off-street loading areas shall not interfere with or impede the circulation or flow of traffic.

E. Signage

All signs may be permitted with approval of a sign permit based upon the adopted sign regulations, except as modified by the Southport East Design Guidelines. To the extent that the provisions of this PUD Plan conflict with or are more restrictive than similar provisions provided in the La Vista Zoning Ordinance, the provisions of this PUD Plan shall control.

Section 8. Severability Clause. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such unconstitutionality or invalidity shall not affect the validity of the remaining portions of this ordinance. The Mayor and City Council of the City of La Vista hereby declare that it would have passed this ordinance and each section, subsection, sentence clause or phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases be declared unconstitutional or invalid.

Section 9. That this Ordinance shall be in full force and effect after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED THIS th DAY OF , 2017.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

EXHIBIT A
LEGAL DESCRIPTION

LOTS 1-4, SOUTHPORT EAST REPLAT NINE, SUBDIVISIONS LOCATED IN THE SE $\frac{1}{4}$ OF SECTION 18, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, GENERALLY LOCATED SE OF GILES ROAD AND SOUTHPORT PARKWAY.

AND

LOTS 14A AND 15A, SOUTHPORT EAST REPLAT EIGHT, A SUBDIVISION LOCATED IN THE SOUTHEAST $\frac{1}{4}$ OF SECTION 18, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6th P.M., SARPY COUNTY, NEBRASKA, GENERALLY LOCATED NE OF SOUTHPORT PARKWAY & PORT GRACE BOULEVARD.

EXHIBIT B
Parcel Identification Map for the Southport Center Amended PUD

EXHIBIT C
Southport East Design Guidelines

**ARCHITECTURAL AND SITE
DESIGN GUIDELINES**

**Southport Development
La Vista, Nebraska**

**La Vista City Hall
8116 Park View Boulevard
La Vista, Nebraska
1 September 2002**

TABLE OF CONTENTS

1. INTRODUCTION	Page 1-1
2. GEOGRAPHIC AREA.....	Page 2-1
3. DEFINITIONS.....	Page 3-1
4. SOUTHPORT'S VISION.....	Page 4-1
5. SOUTHPORT'S STYLE.....	Page 5-1
6. SITE ELEMENTS	Page 6-1
7. BUILDING ELEMENTS.....	Page 7-1
8. COLOR PALETTE.....	Page 8-1
9. SIGNAGE	Page 9-1
10. EXCEPTIONS	Page 10-1
11. PROCESS	Page 11-1
12. APPENDIX A: Corner Streetscape Layout	Page 12-1
13. APPENDIX B: Corner Streetscape Planting	Page 13-1
14. APPENDIX C: Non-Corner Streetscape Concept	Page 14-1
15. APPENDIX D: Exterior Property Line Plantings.....	Page 15-1
16. APPENDIX E: Interior Property Line Plantings	Page 16-1
17. APPENDIX F: Street Tree List.....	Page 17-1
18. APPENDIX G: Plant List	Page 18-1
19. APPENDIX H: Site Lighting- Pedestrian Plaza and Feature Lights and Luminaries	Page 19-2
20. APPENDIX I: Site Lighting-Parking Lot Lights.....	Page 20-2
21. APPENDIX J: Brick Color Ranges	Page 21-2
22. APPENDIX K: Natural or Composite Stone Color Ranges	Page 22-1
23. APPENDIX L: Standing Seam Metal Roofing Color Ranges.....	Page 23-1
24. APPENDIX M: Major Accent Color Ranges	Page 24-1
25. APPENDIX N: Minor Accent Color Ranges.....	Page 25-1
26. APPENDIX O: Stucco Color Ranges for Sign Bands and Accents	Page 26-1
27. APPENDIX P: Site Furnishings	Page 27-1
28. APPENDIX Q: Monument Sign.....	Page 28-1
29. APPENDIX R: Refuse screen.....	Page 29-1
30. APPENDIX S: Application for Certificate of Approval.....	Page 30-1
31. APPENDIX T: Submittal Requirements	Page 31-1

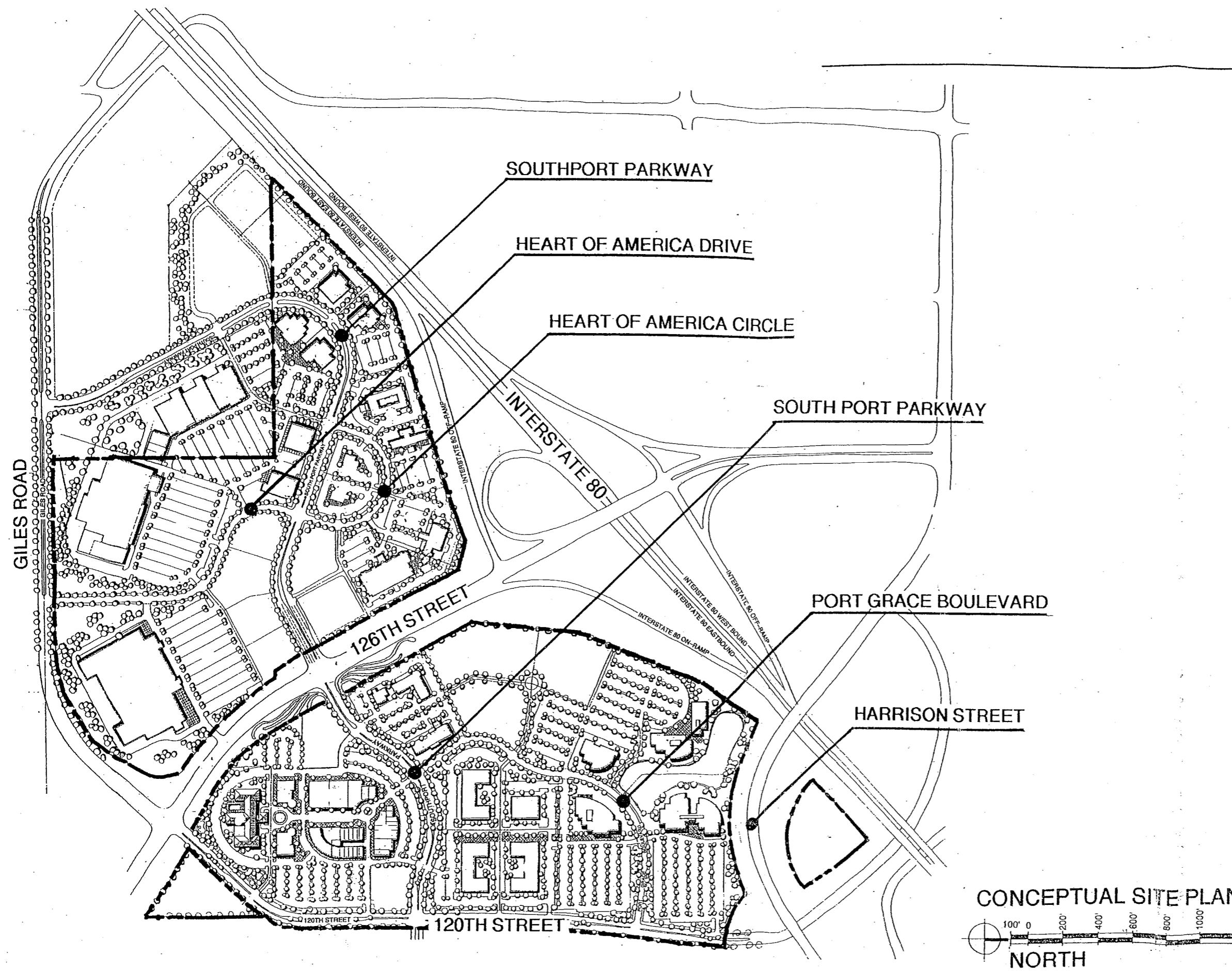
1. INTRODUCTION

The City of La Vista, in partnership with Metropolitan Community College, has made a significant investment in the community with the new La Vista Public Library/MCC Sarpy Center. The city's desire is that this project be the standard of quality for all Commercial Building Projects within the City of La Vista. Consequently, the City of La Vista has developed the *Commercial Building Design Guide and Criteria* that deals with the design of the site, building and structures, planting, signs, street hardware, and miscellaneous other objects that are observed by the public.

The Southport development will serve as a gateway to the City of La Vista. This coupled with the size of the overall development, led the City of La Vista and the Southport developer to jointly establish this set of Design Guidelines that are unique for the Southport development. These guidelines supercede the *Commercial Building Design Guide and Criteria* (dated 15 September 1999) that are in effect elsewhere in the City of La Vista.

The criteria contained herein are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles that can result in creative solutions that will develop a satisfactory visual appearance within the Southport development, preserve taxable values, and promote the public health, safety, and welfare.

2. GEOGRAPHIC AREA



3. DEFINITIONS

Appearance. The outward aspect visible to the public.

Appropriate. Sympathetic, or fitting, to the context of the site and the whole community.

Appurtenances. The visible, functional objects accessory to and part of buildings.

Architectural concept. The basic aesthetic idea of a building, or group of buildings or structures, including the site and landscape development, that produces the architectural character.

Architectural feature. A prominent or significant part or element of a building, structure, or site.

Architectural style. The characteristic form and detail, as of buildings of a particular historic period.

Attractive. Having qualities that arouse interest or pleasure in the observer.

Berm. A raised form of earth to provide screening or to improve the aesthetic character.

City. City of La Vista

Code. The Municipal Code of the City of La Vista.

Cohesiveness. Unity of composition between design elements of a building or a group of buildings and the landscape development.

Compatibility. Harmony in the appearance of two or more external design features in the same vicinity.

Conservation. The protection and care that prevent destruction or deterioration of historical or otherwise significant structures, buildings, or natural resources.

Cornice. A horizontal molded projection that crowns or completes a building or wall.

Eclectic. Choosing what appears to be the best from diverse sources, systems, or styles.

Exterior building component. An essential and visible part of the exterior of a building.

External design feature. The general arrangement of any portion of a building, sign, landscaping, or structure and including the kind, color, and texture of the materials of such portion, and the types of roof, windows, doors, lights, attached or ground signs, or other fixtures appurtenant to such portions as will be open to public view from any street, place, or way.

Graphic element. A letter, illustration, symbol, figure, insignia, or other device employed to express and illustrate a message or part thereof.

Harmony. A quality that represents an appropriate and congruent arrangement of parts, as in an arrangement of varied architectural and landscape elements.

Landscape. Plant materials, topography, and other natural physical elements combined in relation to one another and to man-made structures.

Light cut-off angle. An angle from vertical, extending downward from a luminaire, which defines the maximum range of incident illumination outward at the ground plane.

Logic of design. Accepted principles and criteria of validity in the solution of the problem of design.

Mechanical equipment. Equipment, devices, and accessories, the use of which relates to water supply, drainage, heating, ventilating, air conditioning, and similar purposes.

Miscellaneous structures. Structures, other than buildings, visible from public ways. Examples are: memorials, stagings, antennas, water tanks and towers, sheds, shelters, fences and walls, kennels, transformers, drive-up facilities.

Plant materials. Trees, shrubs, vines, ground covers, grass, perennials, annuals, and bulbs.

Proportion. Balanced relationship of parts of a building, landscape, structures, or buildings to each other and to the whole.

Scale. Proportional relationship of the size of parts to one another and to the human figure.

Screening. Structure of planting that conceals from view from public ways the area behind such structure or planting.

Shrub. A multi-stemmed woody plant other than a tree.

Site break. A structural or landscape device to interrupt long vistas and create visual interest in a site development.

Street hardware. Man-made objects other than buildings that are part of the streetscape. Examples are: lamp posts, utility poles, traffic signs, benches, litter containers, planting containers, letter boxes, fire hydrants.

Streetscape. The scene as may be observed along a public street or way composed of natural or man-made components, including buildings, paving, planting, street hardware, and miscellaneous structures.

Structure. Anything constructed or erected, the use of which requires permanent or temporary location on or in the ground.

Utilitarian structure. A structure or enclosure relating to mechanical or electrical services to a building or development.

Utility hardware. Devices such as poles, crossarms, transformers and vaults, gas pressure regulating assemblies, hydrants, and buffalo boxes that are used for water, gas, oil, sewer, and electrical services to a building or a project.

Utility service. Any device, including wire, pipe, and conduit, which carries gas, water, electricity, oil and communications into a building or development.

4. SOUTHPORT'S VISION

It is anticipated that the Southport development will be built out with the following project types:

- Office Buildings*
- Retail Buildings (includes hospitality and "box" stores).*
- Flex Space Buildings.*

As a gateway development to the City of La Vista, it is important for Southport to pull the diverse project types listed above together into a development that has a sense of place and visual continuity created by common:

- Style*
- Site Elements*
- Building Elements*
- Color Palettes*

Each of the unifying elements listed above are discussed in more detail within their respective sections of this document.

5. SOUTHPORT'S STYLE

I. GENERAL STYLE REQUIREMENTS

A. Every building within the Southport development shall have an eclectic style that is weighted towards the historical which will give the development life and vitality from the complexity and detail of building forms, richness of materials and detailing, and commonality of materials and colors. Office buildings within Southport can develop a contemporary interpretation of the historically eclectic style. See the *Building Elements* section of this document for further clarification.

II. SPECIFIC STYLE REQUIREMENTS

A. All buildings shall have a recognizable base, mid-façade (or middle), and cornice. Proportionally the mid-façade shall comprise the largest percentage of the building, followed by the base, which, in turn, is followed by the cornice.

1. A **recognizable base** can be achieved by, but not limited to:
 - a. Change in plane between the base and mid-façade
 - b. Change of material from the mid-façade.
2. A **recognizable mid-façade** (middle) shall:
 - a. Be compromised of the main primary building material(s).
3. A **recognizable cornice** can be achieved by, but not limited to:
 - a. Change in plane between the cornice and mid-façade.
 - b. Change of material from the mid-façade.

B. WINDOWS/ MULLIONS

1. In keeping with the historically weighted eclectic style selected for the Southport development, it is desirable that all window openings would be smaller scaled "punched" windows. Horizontal strip windows will not be allowed. However, in understanding the needs of modern day business, the following will also be allowed:
 - a. Office buildings: The mid-façade (middle) could entirely or partially be comprised of a curtain-wall window system.
 - b. Retail Buildings: May have larger scaled "store-front" type openings.
 - c. Flex Space Buildings: May have larger scaled "store-front" type openings.
2. All window mullions shall be natural aluminum in color.

C. ROOFS

1. All buildings shall have either flat roofs or pitched roofs.
 - a. Flat roofs shall have a slope of less than 1/12. They may be either adhered or ballasted. If adhered the membrane shall be in the lighter color ranges.
 - b. Pitched Roofs shall have a slope of 6/12. They shall be comprised of standing seam metal roofing of the color ranges as shown in Appendix L.

D. DIVERSITY OF BUILDING MATERIALS

- Every building shall have a minimum of (3) and a maximum of (5) primary and/or secondary building materials.

1. Office Building Requirements

- a. The base shall be constructed from (1) or more of the Secondary building materials listed below or brick (clay) only if mid-façade is something other than brick.

- b. The mid-façade (or middle) shall be constructed from (1) or more of the Primary building materials listed below. The Primary building materials shall comprise a minimum of 75% of the mid-façade. The remaining 25% can be comprised of the Secondary building materials.
- c. The cornice shall be constructed from (1) or more of the Secondary building materials listed below or brick (clay) only if mid-façade is something other than brick.
- d. **Primary Building Materials** allowed for Office Buildings:
 - Brick (clay) of the color ranges as shown in Appendix J.
 - Tinted or reflective glass of a density to conceal the interior furnishings. Glass shall be in the green color ranges. Clear glass may be used at office building entry/ lobby areas.
- e. **Secondary Building Materials** allowed for Office Buildings:
 - Natural or composite stone laid horizontally in the color ranges as shown in Appendix K.
 - Precast concrete with exposed aggregate and sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone in Appendix K.
 - Cast-In-Place concrete with exposed aggregate and sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone on Appendix K.
 - Integrally colored split-faced concrete block. Color shall be in the same color range as that shown for Brick in Appendix J or for Natural and Composite Stone in Appendix K.
 - Laminated metal panels (Alucobond or similar) of a natural aluminum color.
 - Painted split-faced concrete block is only allowed as an accent and may comprise a maximum of 10% of any single building façade. Paint color shall be in the color range as that shown for Brick Color Ranges as shown in Appendix J, Major Accent Colors as shown in Appendix M, or Minor Accent Colors as shown in Appendix N.

2. Retail Building (includes hospitality and “box” stores) Requirements

- a. The base shall be constructed from (1) or more of the Secondary building materials listed below or brick (clay) only if mid-façade is something other than brick.
- b. The mid-façade (or middle) shall be constructed from (1) or more of the Primary building materials listed below. The primary building materials shall comprise a minimum of 60% of the mid-façade. The remaining 40% can be comprised of the Secondary building materials.
- c. The cornice shall be constructed from (1) or more of the Secondary building materials listed below or brick (clay) only if mid-façade is something other than brick.
- d. **Primary Building Materials** allowed for Retail Buildings (includes hospitality and “box” stores):
 - Brick (clay) of the color ranges as shown in Appendix J.
 - *Quick Brick* (An integrally colored concrete block unit 4" high, 16" long of the color ranges as shown in Appendix J).
 - Clear glass or tinted or reflective glass in the green color ranges.

e. **Secondary Buildings Materials** allowed for Retail Buildings (includes hospitality and “box” stores)

- Natural or Composite stone laid horizontally in the color ranges as shown in Appendix K.
- Precast concrete with sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone in Appendix K.
- Cast-In-Place concrete with sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone in Appendix K.
- Integrally colored split-faced concrete block. Color shall be in the same color range as that shown for Brick in Appendix J or for Natural and Composite Stone in Appendix K.
- Laminated metal panels (Alucobond or similar) of a natural aluminum color.
- Natural or synthetic stucco (E.I.F.S.). Color shall be in the same color range as that shown for Brick Color Ranges in Appendix J, Major Accent Colors as shown in Appendix M, Minor Accent Colors as shown in Appendix N, or the color ranges as shown in Appendix O. Color ranges used should relate to how the stucco is used. For example, if the stucco is being used as a major accent, the coloration should be from the Major Accent color palette.
- Painted split-faced concrete block is only allowed as an accent and may comprise a maximum of 10% of any building façade. Paint color shall be in the color range as that shown for Brick Color Ranges in Appendix J, Major Accent Colors in Appendix M, or Minor Accent Colors as shown in Appendix N.

3. **Flex Space Building Requirements:**

- a. The base shall be constructed from (1) or more of the Secondary Building materials listed below or Brick (clay) only if mid-façade is something other than brick.
- b. The mid-façade (or middle) shall be constructed from (1) or more of the Primary Building Materials listed below. The Primary Building Materials shall comprise a minimum of 60% of the mid-façade. The remaining 40% can be comprised of the Secondary Building Materials.
- c. The cornice shall be constructed from (1) or more of the Secondary building materials listed below or brick (clay) only if mid-façade is something other than brick.
- d. Primary Building Materials allowed for Flex Space Buildings:
 - Brick (clay) of the color ranges as shown in Appendix J.
 - *Quick Brick* (An integrally colored concrete block unit 4" high, 16" long with natural mortar joints of the color ranges as shown in appendix J).
 - Clear glass or tinted or reflective glass in the green color ranges.
- e. Secondary Building Materials allowed for Flex Space Buildings:
 - Natural or Composite stone laid horizontally in the color range as shown in Appendix K.
 - Precast Concrete with exposed aggregate and sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone in Appendix K.

- Cast-In-Place concrete with exposed aggregate and sufficient detail, pattern, or reveals to give scale. Color shall be in the same color range as that shown for Natural and Composite Stone in Appendix K.
- Integrally colored split-faced concrete block. Color shall be in the same color range as that shown for Brick in Appendix J or for Natural and Composite Stone in Appendix K.
- Laminated metal panels (Alucobund or similar) of a natural aluminum color.
- Natural or synthetic stucco (E.I.F.S.). Color shall be in the same color range as that shown for Brick Color Ranges in Appendix J, Major Accent Colors as shown in Appendix M, Minor Accent Colors as shown in Appendix N, or the color ranges as shown in Appendix O. Color ranges used should relate to how the stucco is used. For example, if the stucco is being used as a major accent, the coloration should be from the Major Accent color palette.
- Painted split-faced concrete block is only allowed as an accent and may comprise a maximum of 10% of any building façade. Paint color shall be in the color range as that shown for Brick Color Ranges in Appendix J, Major Accent Colors in Appendix M, or Minor Accent Colors as shown in Appendix N.

6. SITE ELEMENTS

I. SPECIFIC SITE ELEMENT REQUIREMENTS

A. Serpentine Sidewalks. All project sites that have public frontage on:

- 120th Street
- Southport Parkway
- Port Grace Boulevard
- Heart of America Drive
- Heart of America Circle

shall provide and install a (4) foot wide serpentine concrete sidewalk that shall run continuously along that public frontage as shown in Appendix A and Appendix C. A (5) foot wide public access easement shall be granted along the (4) foot wide sidewalk where it occurs on private property.

B. Green Space (Primary Streets Frontage). All project sites that have public frontage on the following primary streets

- Interstate 80
- Giles Road
- 126th Street
- Harrison Street

shall have a (20) foot wide bermed, landscaped, sodded (unless screening interstate fence then may be seeded if approved), and irrigated green space established and maintained continuously along the public frontage of the streets listed above as shown in Appendix D.

1. Plants for the green space shall be selected from the Plant List as shown in Appendixes F and G.
2. The area between the adjacent public street pavement and outer edge of the green space (property line) shall be designed by the Southport developer and maintained as common areas.

C. Green Space (Secondary Street Footage). All project sites that have public frontage on the following secondary streets:

- 120th Street
- Southport Parkway
- Port Grace Boulevard
- Heart of America Drive
- Heart of America Circle

shall have a (20) foot wide bermed, landscaped, sodded (greenspace and adjacent right-of-way must be sodded, not seeded), and irrigated green space established and maintained continuously along the public frontage of the streets listed above as shown in Appendixes A, B and C.

1. Plants for the green space shall be selected from the plant list as shown in Appendixes F and G.
2. The area between the adjacent public street curb and the outer edge of the green space (property line) shall be incorporated into the overall design of the green space and maintained by the abutting property owner.

D. **Green Space (interior).** A (10) foot wide landscaped, turfed (sodded or seeded), and irrigated green space shall be established and maintained along all interior lot lines as shown in Appendix E.

1. Plants for the green space shall be selected from the plant list as shown in Appendix G.

E. **Site Lighting.** When a project within Southport wants to incorporate pole lights into their project to light parking lots, entry plazas, etc., those pole lights shall be the following:

1. Pedestrian Plaza and Feature lights. These shall be single or double headed light fixtures on a lower scaled pole as shown in Appendix H.
2. Parking Lot Lights. These shall be single or double headed light fixtures on a taller pole as shown in Appendix I.

7. BUILDING ELEMENTS

I. GENERAL BUILDING ELEMENT REQUIREMENTS

A. In order to encourage a proper balance of vitality and cohesiveness within the Southport development, two sets of Building Elements have been developed. The first set is a set of Mandatory Building Elements, which will be required for every project within Southport. The second set is a list of Optional Building Elements. All projects within Southport must use a minimum of (4) of the (6) Optional Building Elements in a significant way in the exterior design of the building.

II. SPECIFIC BUILDING ELEMENT REQUIREMENTS

(Mandatory)

A. **Roof Top Mechanical Screens.** All roof top mechanical units, including motel/hotel room units, shall be screened from view from public right-of-ways through the use of permanent architectural screens that are integrated with the overall design of the building.

1. The screen shall be constructed from the following:
 - a. Any of the Primary or Secondary Building Materials listed for the building's project type.
 - b. Pitched roof or vertical wall elements comprised of standing seam metal roofing or perforated galvanized panel.

B. **Ground Level Mechanical Screens.** All ground level mechanical units shall be screened from view from public right-of-ways through the use of architectural screens that are integrated with the overall design of the building.

1. The screen shall be constructed from the following:
 - a. Any of the Primary Building Materials listed for the building's project type.

C. **Refuse Screening.** All trash or refuse receptacles shall be screened from view from public right-of-ways through the use of architectural screens that are integrated with the overall design of the building.

1. The screen shall be constructed from the following:
 - a. Any of the Primary Building Materials listed for the building's project type.
2. If gates are utilized as part of the screen, they shall be constructed from the following:
 - a. Standard detail as shown in appendix R.
3. If the refuse container is integrated with the dock area then the dock screening shall be sufficient.

D. **Dock Screening.** All loading docks shall be screened from view from public right-of-ways through the use of one of the following:

1. Architectural screens that are integrated with the overall design of the building.
 - a. The screen shall be constructed from the following:
 - Any of the Primary Building Materials listed for the building's project.
2. Landscape screen of a density to screen 80% of the dock area from view within 3 years of planting. View shall be 80% screened all 12 months of the year.

E. **Outdoor Storage.** All outdoor storage within the Southport development is only permitted under a separate conditional use permit that may require extensive screening. Contact the City of La Vista for further information.

F. **Building Lighting.** All buildings within the Southport development shall be lit at night with metal halide color lighting. The lighting shall be tastefully done and shall highlight entrances, corners, and other architectural features.

III. SPECIFIC BUILDING ELEMENT REQUIREMENTS

(Optional)

- A. **Awnings.** (Optional) Awnings are encouraged to be used as a colorful design element of Southport. Awnings should be repetitive and used in a significant way within the overall architecture of the building. Awnings shall be constructed of canvas.
 - 1. *Contemporary interpretation (For Office Buildings Only).*
 - a. Awnings may be constructed of metal.
- B. **Arches** (Optional). If arches are used they shall be elliptical flat arches with a recognizable keystone and extrados. Arches should be repetitive and used in a significant way within the overall architecture of the building.
 - 1. *Contemporary interpretation (For Office Buildings Only).*
 - a. Arches may be a stylized elliptical flat arch without a recognizable keystone and extrados. Arches should be repetitive and used in a significant way within the overall architecture of the building.
- C. **Square Columns** (Optional). The use of columns in arcades, porticos, and as a plane changing element is encouraged. All columns shall be square and shall have a recognizable base, middle, and top. Columns should be repetitive and used in a significant way within the overall architecture of the building. Columns shall be 12 inches square minimum. Round accent columns may be allowed in a case by case basis.
 - 1. *Contemporary Interpretation (For Office Buildings Only).*
 - a. Columns shall be square but don't need to have a recognizable base, middle, and top. Columns shall be repetitive and used in a significant way within the overall architecture of the building. Columns shall be 8 inches square minimum. Round accent columns may be allowed in a case by case basis.
- D. **Pitched Roof** (Optional). This element could be fulfilled by having the entire roof of the building pitched or simply having a major design element with a pitched roof. If a building has its entire or significant portion of its roof pitched, it shall have a slope of 6/12.
- E. **Arbors** (Optional). Arbors, pergolas, and trellises are encouraged. The design and material choice must be appropriate to the overall design of the building as well as to the development's historically eclectic style. Colors of the arbors shall be selected from the overall color palettes of the Southport guidelines.
 - 1. *Contemporary Interpretation (For Office Building Only).*
 - a. The design and material choice must be appropriate to the overall design of the building as well as to a contemporary eclectic style.
- F. **Site Furniture** (Optional). Site furniture, waste cans, directories, ash urns, guard rails or railing enclosures, shall be exactly as shown in the illustrations shown in Appendix P. The color of the site furnishings shall be Verde green. Site planters shall be traditional in shape and shall be terra cotta in color.
 - 1. *Contemporary Interpretation (Office Buildings Only).*
 - a. No contemporary interpretations will be allowed for the site furniture element.

8. COLOR PALETTES

In order to encourage a proper balance of vitality and cohesiveness within the Southport development, (3) sets of color ranges have been developed. The inspiration for these color ranges is native Nebraska landscape colors and they have been grouped in the following categories:

- Major Accent Colors - Appendix M
- Minor Accent Colors - Appendix N

No building shall have more than (5) colors or less than (3) colors. The following items shall not count as colors:

- Glass (unless it is tinted or reflective and used in a curtain wall system).
- Window mullions
- Mortar and caulk joints
- Signage

Major accent colors may comprise no more than 10% of each building façade.

Minor accent colors may comprise no more than 5% of each building façade.

9. SIGNAGE

All signage shall comply with the City of La Vista Special Commercial Corridor Sign Regulations.

Signage requirements specific to the Southport Development are as follows:

- All building signs shall be individual can letters. Color of letters is up to the Building owner.
- All frontage monument signs shall be internally illuminated and shall be constructed per Appendix Q.

Refer to:

Appendix Q: Frontage Monument Sign

10. EXCEPTIONS

The following exceptions may be considered at the discretion of the City of La Vista.

- 1. BUILDING MATERIAL EXCEPTION FOR RETAIL AND FLEX SPACE OFFICE BUILDINGS (not allowed for Office Buildings).**
 - a. If the building is properly screened (landscape buffer, another building within a development, etc.) so that any given façade cannot be seen from a public right-of-way, then that specific façade may be constructed entirely of secondary building materials as outlined for that specific building type.
- 2. BUILDING MATERIAL EXCEPTION FOR ALL BUILDING TYPES**
 - a. If a particular building goes beyond the norm in complexity and detail of building forms and/or commonality of materials and colors, then the City of La Vista may choose to relax the Building Material requirements (e.g. Let stucco or synthetic stucco (E.I.F.S.) become a primary building material).

11. PROCESS

SUBDIVISION APPROVAL

All Commercial Building projects within the City of La Vista need to receive Subdivision approval. As a condition of its subdivision approval, all commercial building projects within the Southport development will have to comply with this *Architectural and Site Design Guidelines*. The Developer shall place maintenance provisions for Building Design Criteria in restrictive covenants.

PRE-APPLICATION CONFERENCE (OPTIONAL):

A pre-application conference with city staff and/or a preliminary meeting with the city design review architect gives the applicant an opportunity to discuss plans before a great deal of time or money is expended. If a certain design is inappropriate, the applicant will know before hand.

APPLICATION FOR DESIGN REVIEW:

The applicant needs to fill out the "Application for Certificate of Approval" (see Appendix S) and submit it along with the required submittals. See Appendix T for a listing of required submittals. The application fee required for this submittal shall be in accordance with La Vista's Master Fee Schedule.

DESIGN REVIEW:

The City of La Vista staff in association with the city design review architect will review the submittal documents for compliance with the *Architectural and Site Design Guidelines* for Southport.

SCHEDULE OF REVIEWS:

A completed application will take approximately three weeks to review. (Incomplete applications may cause a delay).

CERTIFICATE OF APPROVAL:

Upon a successful review the City of La Vista will issue to the applicant a Certificate of Approval. A copy of this will need to be included with the Building Permit documents in order to receive a Building Permit.

APPEALS:

In the event where the Applicant, city staff and city design review architect cannot come to an agreement, the applicant may appeal the decision by requesting an amendment to the Subdivision Agreement from the La Vista City Council.

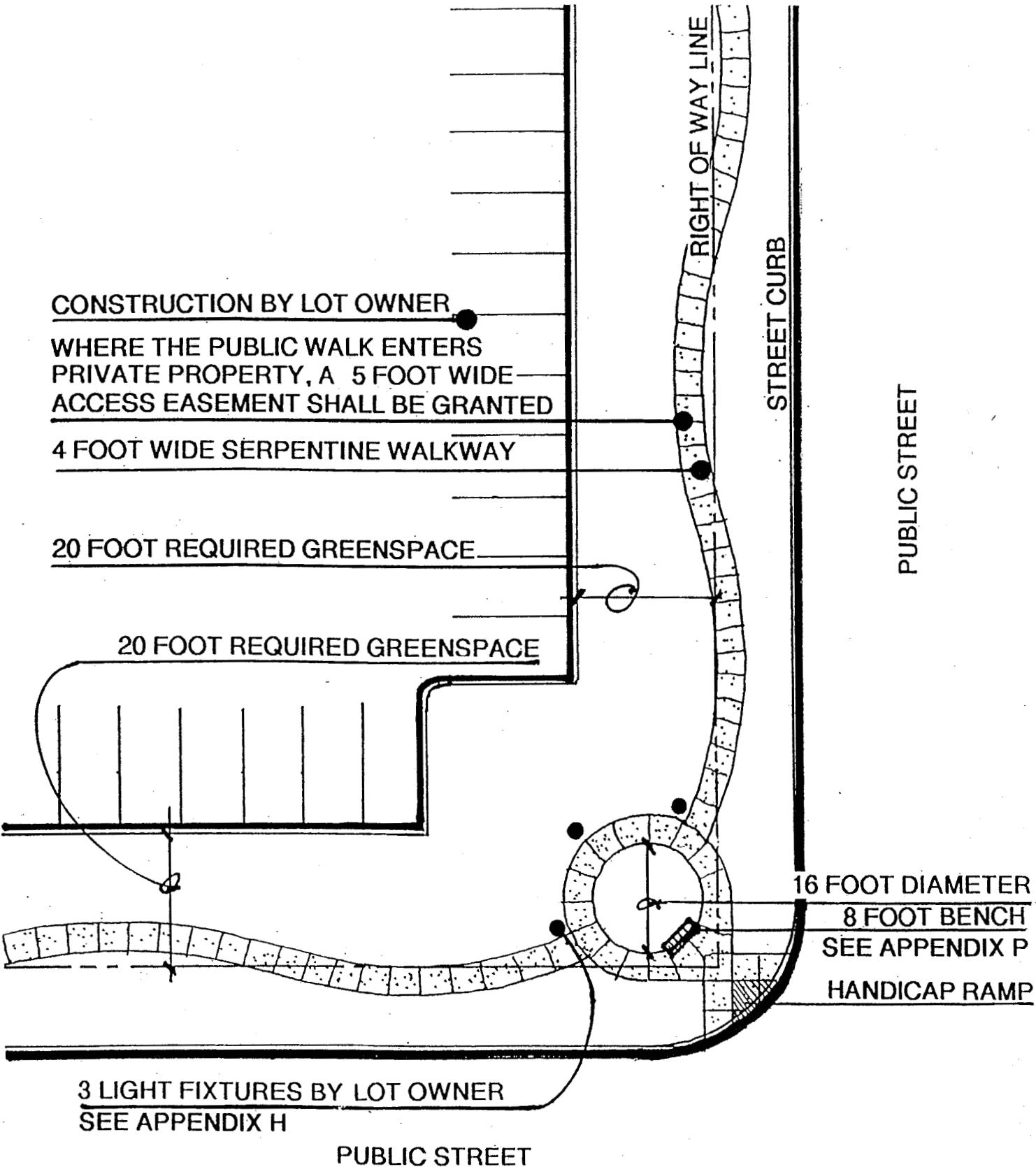
OCCUPANCY PERMIT:

After the building permit is issued, all design requirements must be completed as approved in order for an Occupancy Certificate to be issued.

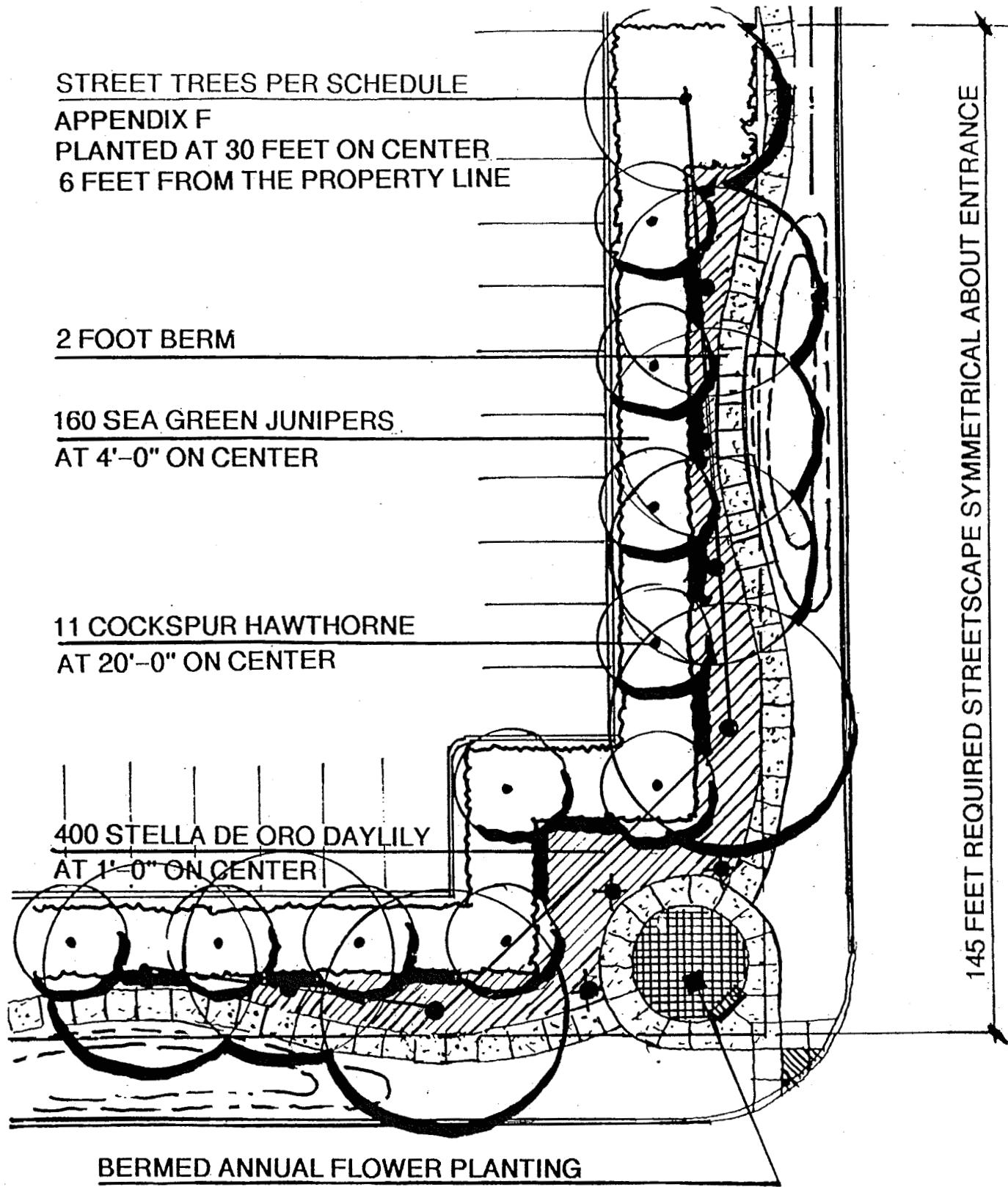
MAINTENANCE OF DESIGN REQUIREMENTS:

The Applicant needs to maintain the Design Requirements for the life of the project. In the event that they fail to do so, the City may revoke the Occupancy Permit.

12. APPENDIX A: Corner Streetscape Layout



13. APPENDIX B: Corner Streetscape Planting



3- ORNAMENTAL TREES

TYPE B APPENDIX G

30- EVERGREEN SCREENING

TYPE D APPENDIX G

40- FLOWERING SHRUBS

TYPE E APPENDIX G

100- PERENNIAL FLOWERS

TYPE G APPENDIX G

STREET TREES PER SCHEDULE

SEE APPENDIX F

BERM AT 3 TO 1 SLOPE

4' SERPENTINE WALK

WHERE THE PUBLIC WALK ENTERS

PRIVATE PROPERTY, A 5 FOOT WIDE
ACCESS EASEMENT SHALL BE GRANTED.

3- ORNAMENTAL TREES

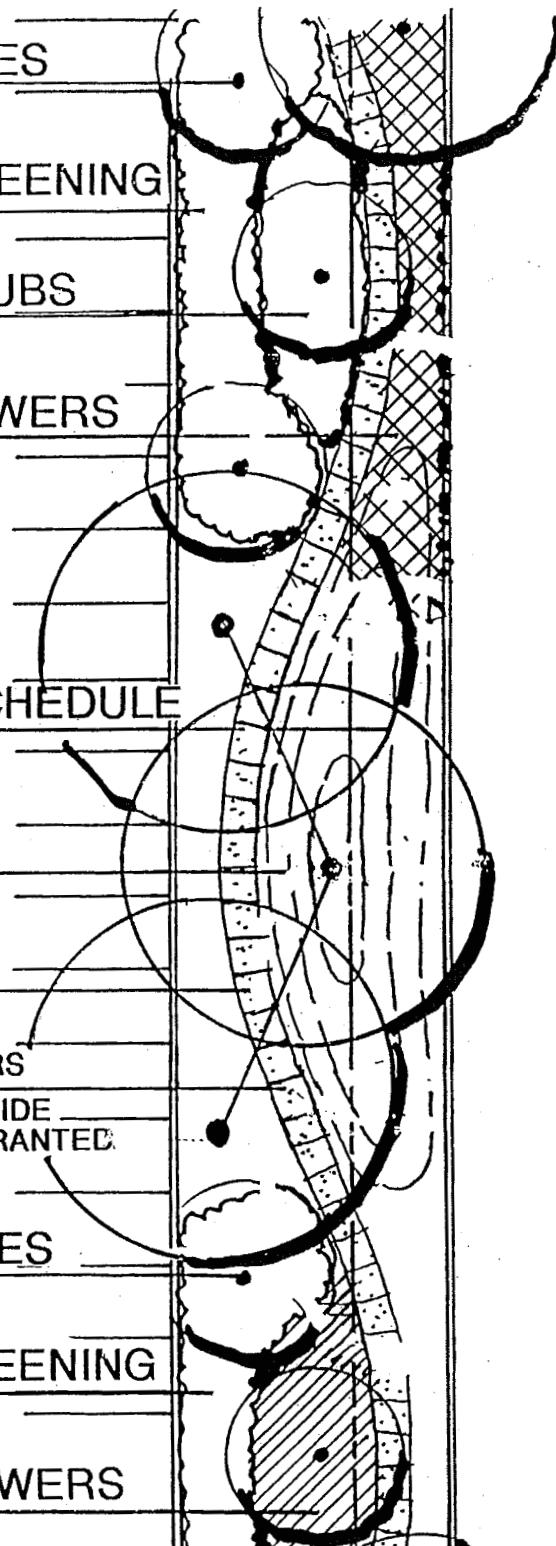
TYPE B APPENDIX G

24- DECIDUOUS SCREENING

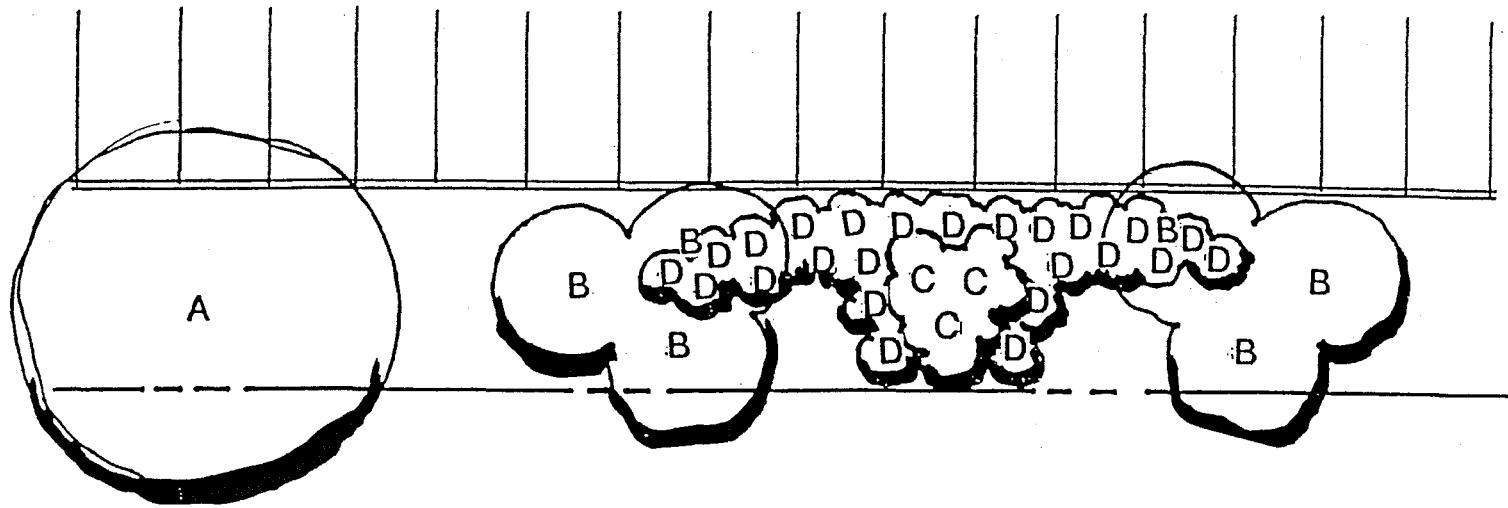
TYPE C APPENDIX G

100- PERENNIAL FLOWERS

TYPE G APPENDIX G



15. APPENDIX D: Exterior Property Line Plantings



PRIMARY STREET FRONTAGE

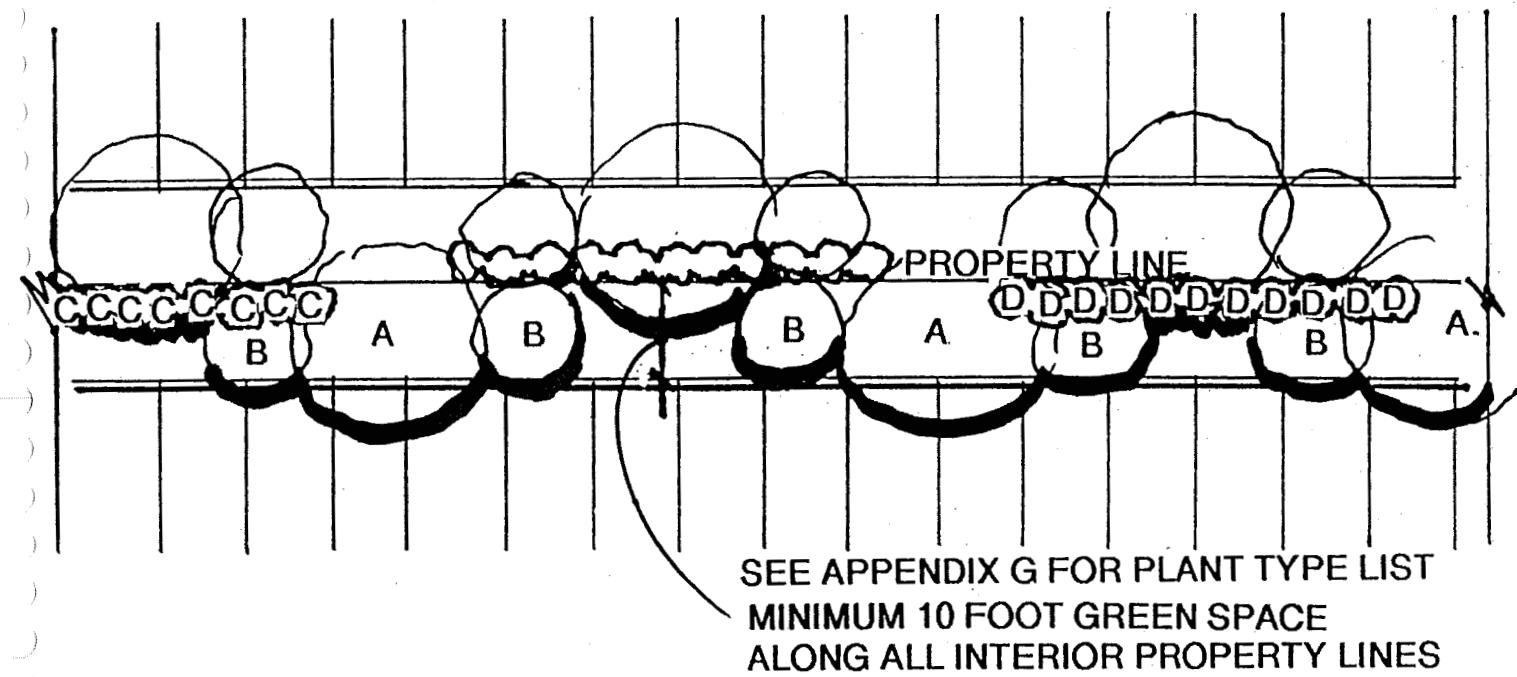
Minimum 20 foot wide green space along I-80, 126th Street, Harrison Street and Giles Road. Repeat landscape shown every 150 feet. Plant types are listed in Appendix G. When screening the interstate fence, berming not to exceed a 3:1 slope, sodding (or seeding if approved) and two varieties of type C shrubs selected from the list in Appendix G are required.

Minimum area of sod shall be 20' from property line.

Mulch shall be locally available hardwood. (Natural color only.)

Scale 1"=20'-0"

16. APPENDIX E: Interior Property Line Plantings



Scale 1"= 20'-0"

- 120TH STREET = AUTUMN PURPLE ASH
- GILES ROAD = SYCAMORE
- PORT GRACE BLVD. = NORTHERN RED OAK
- 126TH STREET = RED SUNSET MAPLE
- SOUTHPORT PKWY = RED SUNSET MAPLE
- HEART OF AMERICA LOOP DR. = GINKGO BILOBA
- HEART OF AMERICA DRIVE SOUTH = AUTUMN PURPLE ASH

TYPE	COMMON NAME	BOTANICAL NAME	SIZE	METHOD
A	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	3" CAL	B & B
A	SYCAMORE	PLATANUS OCCIDENTALIS	3" CAL	B & B
A	NORTHERN RED OAK	QUERCUS RUBRA	3" CAL	B & B
A	GINGKO	GINGKO BILOBA	3" CAL	B & B
A	RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	3" CAL	B & B

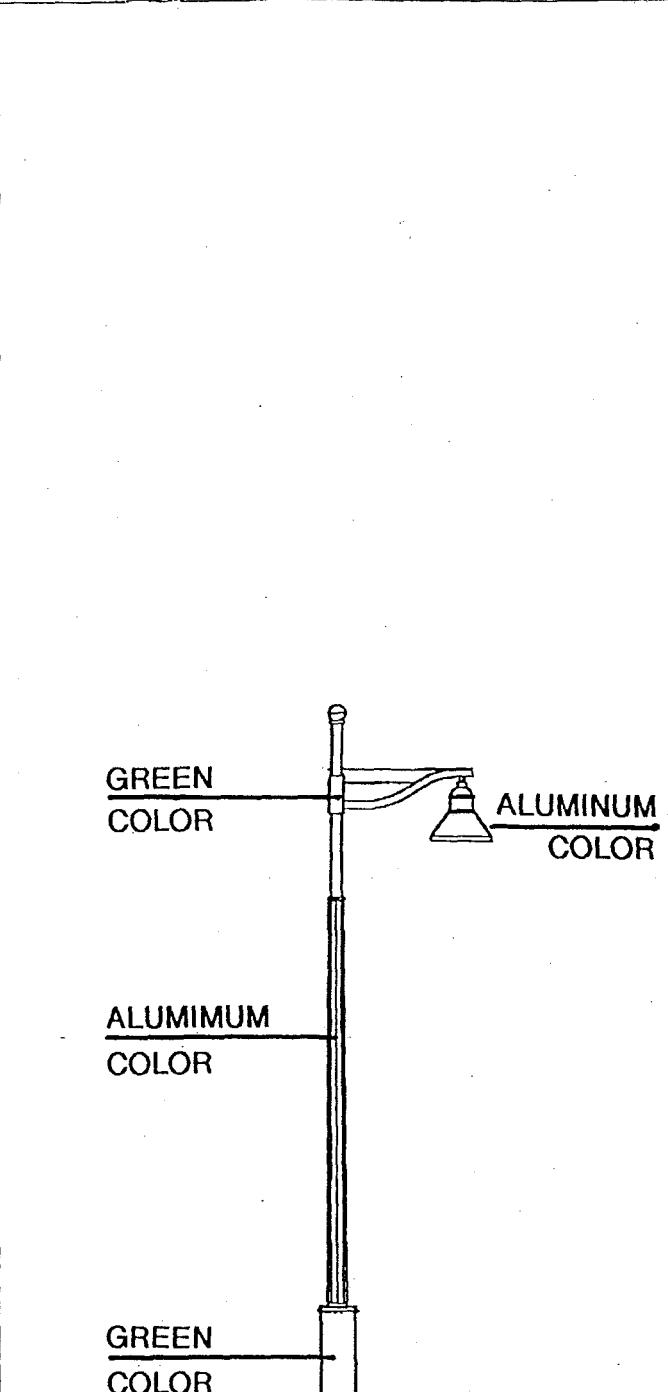
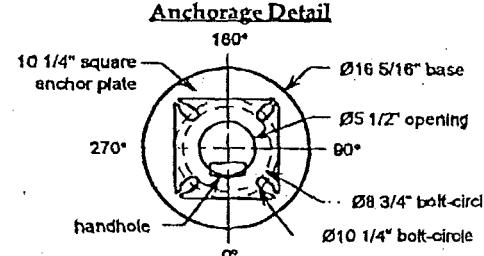
18. APPENDIX G: Plant List

TYPE	COMMON NAME	BOTANICAL NAME	SIZE	METHOD
A	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	3" CAL	B & B
A	SYCAMORE	PLATANUS OCCIDENTALIS	3" CAL	B & B
A	NORTHERN RED OAK	QUERCUS RUBRA	3" CAL	B & B
A	SHADEMASTER HONEY LOCUST	GLEDTSIA TRIACANTHOS INERMIS 'SHADEMASTER'	3" CAL	B & B
A	RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	3" CAL	B & B
A	GINGKO	GINGKO BILOBA	3" CAL	B & B
B	SARGENT CRAB	MALUS 'SARGENTII'	21/2" CAL	B & B
B	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	21/2" CAL	B & B
B	INDIAN MAGIC CRABAPPLE	MALUS 'INDIAN MAGIC'	21/2" CAL	B & B
B	DOWNEY HAWTHORNE	CRATAEGUS CRUSGALLI	21/2" CAL	B & B
B	SHADBLOW SERVICEBERRY	AMELANCHIER CANADENSIS	21/2" CAL	B & B
C	ARROW-WOOD VIBURNUM	VIBURNUM DENTATUM	5 GAL	CONT.
C	VARIGATED REDTWIG DOGWOOD	CORNUS ALBA 'ARGENTEO MARGINATA'	5 GAL	CONT.
C	MISS KIM LILAC	SYRINGA MEYERI	5 GAL	CONT.
C	RED BARBERRY	BERBERIS THUNBERGII	5 GAL	CONT.

18. APPENDIX G: Plant List

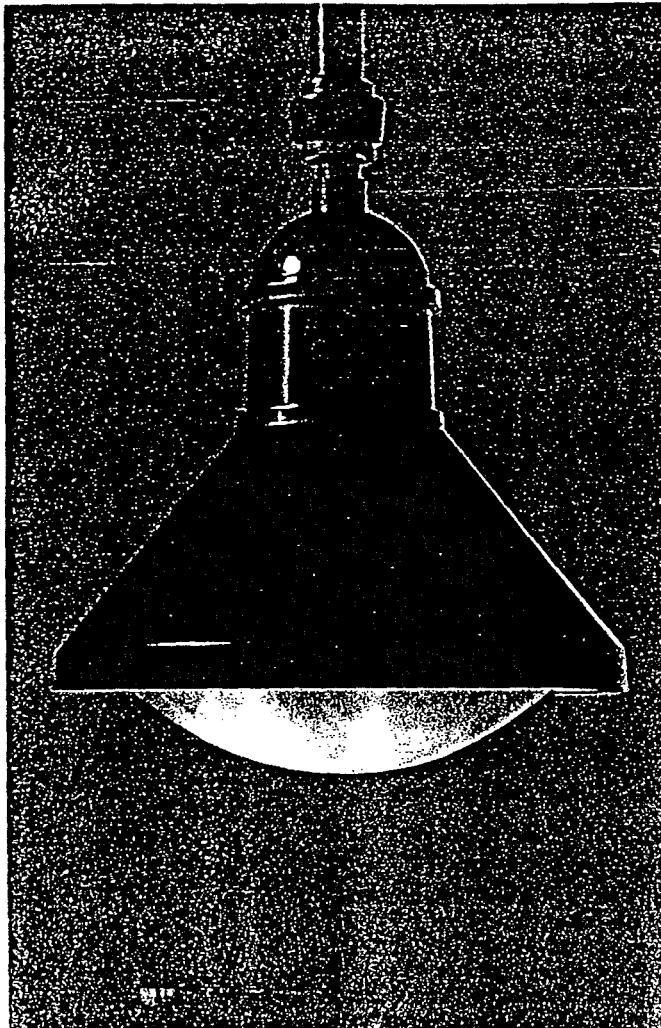
TYPE	COMMON NAME	BOTANICAL NAME	SIZE	METHOD
D	DENSE YEW	TAXUS DENSIFORMIS	18-24"	CONT.
D	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL	CONT.
E	ANTHONY WATER SPIREA	SPIRAEA 'ANTHONY WATERER'	2 GAL	CONT.
E	GOLDFLAME SPIREA	SPIRAEA 'GOLDFLAME'	2 GAL	CONT.
E	KNOCKOUT ROSE	ROSA 'KNOCKOUT'	2 GAL	CONT.
F	BLUERUG JUNIPER	JUNIPERUS CHINENSIS	2 GAL	CONT.
F	DWARF JAPGARDEN JUNIPER	JUNIPERUS PROCUMBENS 'NANA'	2 GAL	CONT.
G	STELLA D'ORO DAYLILLY	HEMEROCALIS 'STELLA D'ORO'	1 GAL	CONT.
G	AUTUMN JOY SEDUM	SEDUM AUTUMN JOY	1 GAL	CONT.
G	SUNNY BORDER BLUE SPEEDWELL	VERONICA 'SUNNY BORDER BLUE'	1 GAL	CONT.
G	BLANKET FLOWER	GALLARDIA GRANDIFLORA BABY 'COLE'	1 GAL	CONT.
G	SHASTA DAISY	CHRYSANTHEMUM SUPERBUM 'SHASTA DAISY'	1 GAL	CONT.

19. APPENDIX H: Site Lighting - Pedestrian Plaza And Feature Lights

 <p><i>Category #</i></p> <p>CUS14/16SOB-CAS/BK: CUSARM72/2-CAS/BK:2EUSM/BK-HID/Voltage</p>	<p style="text-align: center;">Custom Series Aluminum & Steel Post</p>													
	<p>Post: Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.</p> <p>Arm: Luminaire arm shall be a two-way of steel construction, consisting of center extension with ball finial, (2) upswept arms with cast aluminum end filters with 1 1/2" NPT fitting for luminaire mounting. The crossarm measures 36" from post center to luminaire centers.</p> <p>Luminaire: Luminaire shall be 17 1/2" Ø x 18" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.</p> <p>Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.</p>													
<table border="1"> <thead> <tr> <th>Lamp Type</th><th>Mercury Vapor</th><th>Metal Halide</th><th>High Pressure Sodium</th><th>Voltage</th></tr> </thead> <tbody> <tr> <td>HID Socket Size</td><td><input type="checkbox"/> H150 <input type="checkbox"/> MED <input type="checkbox"/> MOG</td><td><input type="checkbox"/> M50 <input type="checkbox"/> M70 <input type="checkbox"/> H76 <input type="checkbox"/> H100 <input type="checkbox"/> H175</td><td><input type="checkbox"/> S35 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S160</td><td><input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> Q/V</td></tr> </tbody> </table>					Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage	HID Socket Size	<input type="checkbox"/> H150 <input type="checkbox"/> MED <input type="checkbox"/> MOG	<input type="checkbox"/> M50 <input type="checkbox"/> M70 <input type="checkbox"/> H76 <input type="checkbox"/> H100 <input type="checkbox"/> H175	<input type="checkbox"/> S35 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S160	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> Q/V
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<p>Anchorage: Post shall be furnished with (4) 3/4" x 17" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 3 1/2" projection each.</p> <p>Finish: Post, arm, and luminaires shall be furnished with a powder coat finish.</p>														
<p style="text-align: center;">Anchorage Detail</p> 														
<p>Notes: All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant. Post Height: 14'-0" Overall Height: 19'-0" Base Diameter: 16 9/16"</p>														
<p>date: 04-27-01 scale: none drg. no.: L- 4826G</p> <p style="text-align: center;">ANTIQUE Street Lamps 2011-B West Rundberg Lane • Austin, TX 78758 (512) 977-8444 • Fax (512) 977-9622</p>														

19. APPENDIX H: Site Lighting – Luminaries

MUNICH SERIES Large Luminaires



EM25RT GCSG

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps

An Acuity Brands Company
2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

SPECIFICATIONS

DESCRIPTION

The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe.

DIMENSIONS

Dimensions shall be as detailed on the back page.

MATERIALS

The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. All hardware shall be stainless steel.

INSTALLATION

The luminaire shall have 1.5" female, NPT at top for mounting to Eurotique™ 5" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

FINISH

For finish specifications and color options, see "Finish" section in catalog.

LIGHT SOURCE

Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, mogul base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

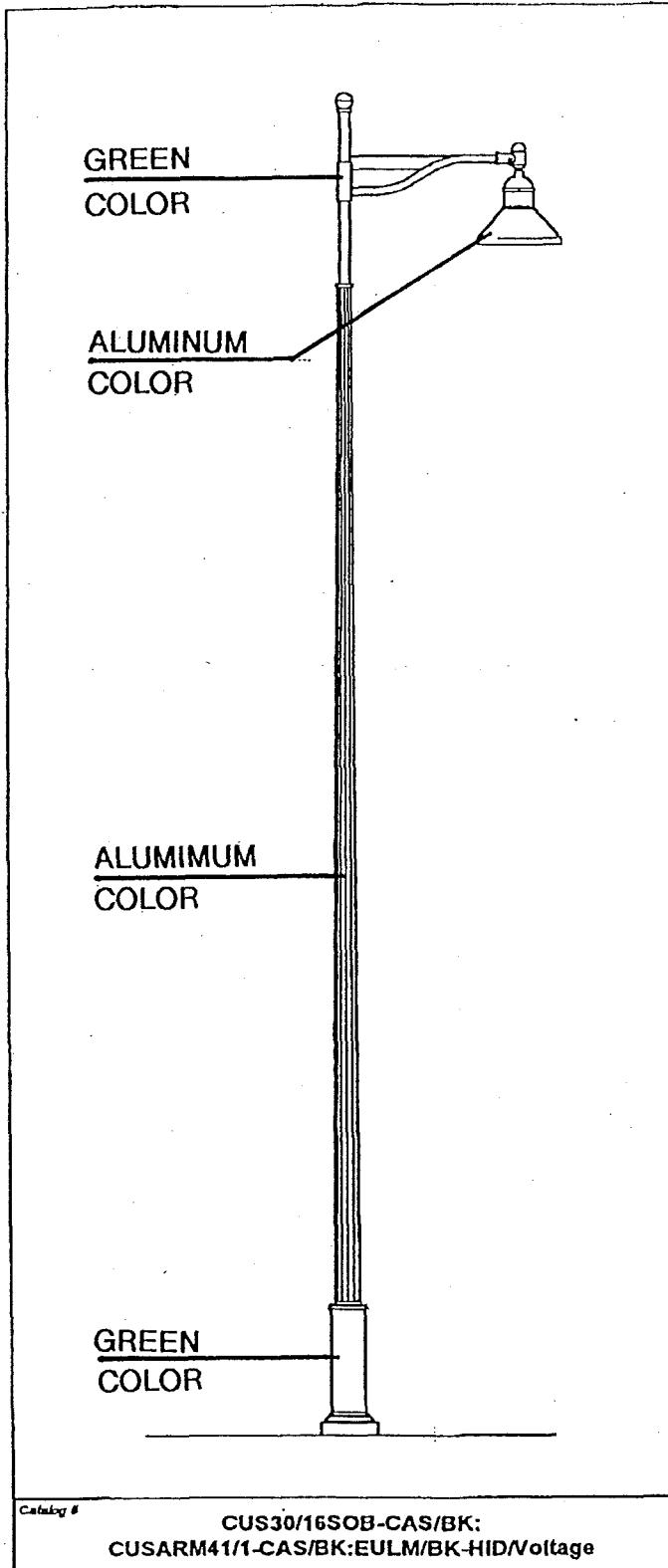
CERTIFICATION

Upon request, manufacturer shall supply UL file# and listing information.

PHOTOMETRY

See "Eurotique™ PHOTOMETRICS" tab in catalog.

20. APPENDIX I: Site Lighting - Parking Lot Lights



Catalog # CUS30/16SOB-CAS/BK:
CUSARM41/1-CAS/BK:EULM/BK-HID/Voltage

Custom Series Aluminum & Steel Post

Post:

Post shall be aluminum and steel construction, consisting of an 11-gauge, 8-sharp flat flute steel shaft with a custom tenon for luminaire arm mounting, and a spun aluminum slipover base. A handhole is located near the shaft base for wiring access.

Arm:

Luminaire arm shall be of steel construction, consisting of center extension with ball finial, an upswept arm with cast aluminum end filter with 1 1/2" NPT fitting for luminaire mounting. The crossarm measures 51 1/2" from post center to luminaire center.

Luminaire:

Luminaire shall be 25"Ø x 23" tall with flat lens panel, cast aluminum ballast housing and munich-series luminaire dome.

Luminaire shall be furnished with a high intensity discharge ballast and horizontal socket assembly.

Lamp Type	Mercury Vapor	Metal Halide	High Pressure Sodium	Voltage
HID Socket Size	<input type="checkbox"/> H60 <input type="checkbox"/> H75 <input type="checkbox"/> H100 <input type="checkbox"/> H125	<input type="checkbox"/> M50 <input type="checkbox"/> M70 <input type="checkbox"/> M100 <input type="checkbox"/> M150 <input type="checkbox"/> M175 <input type="checkbox"/> M250	<input type="checkbox"/> S35 <input type="checkbox"/> S50 <input type="checkbox"/> S70 <input type="checkbox"/> S100 <input type="checkbox"/> S150 <input type="checkbox"/> S250	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 480 <input type="checkbox"/> QV
<input type="checkbox"/> MED				
<input type="checkbox"/> MOG				

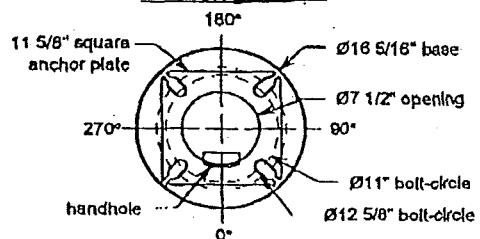
Anchorage:

Post shall be furnished with (4) 1" x 36" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 4 1/8" projection each.

Finish:

Post, arm, and luminaire shall be furnished with a powder coat finish.

Anchorage Detail



Notes:

All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant.

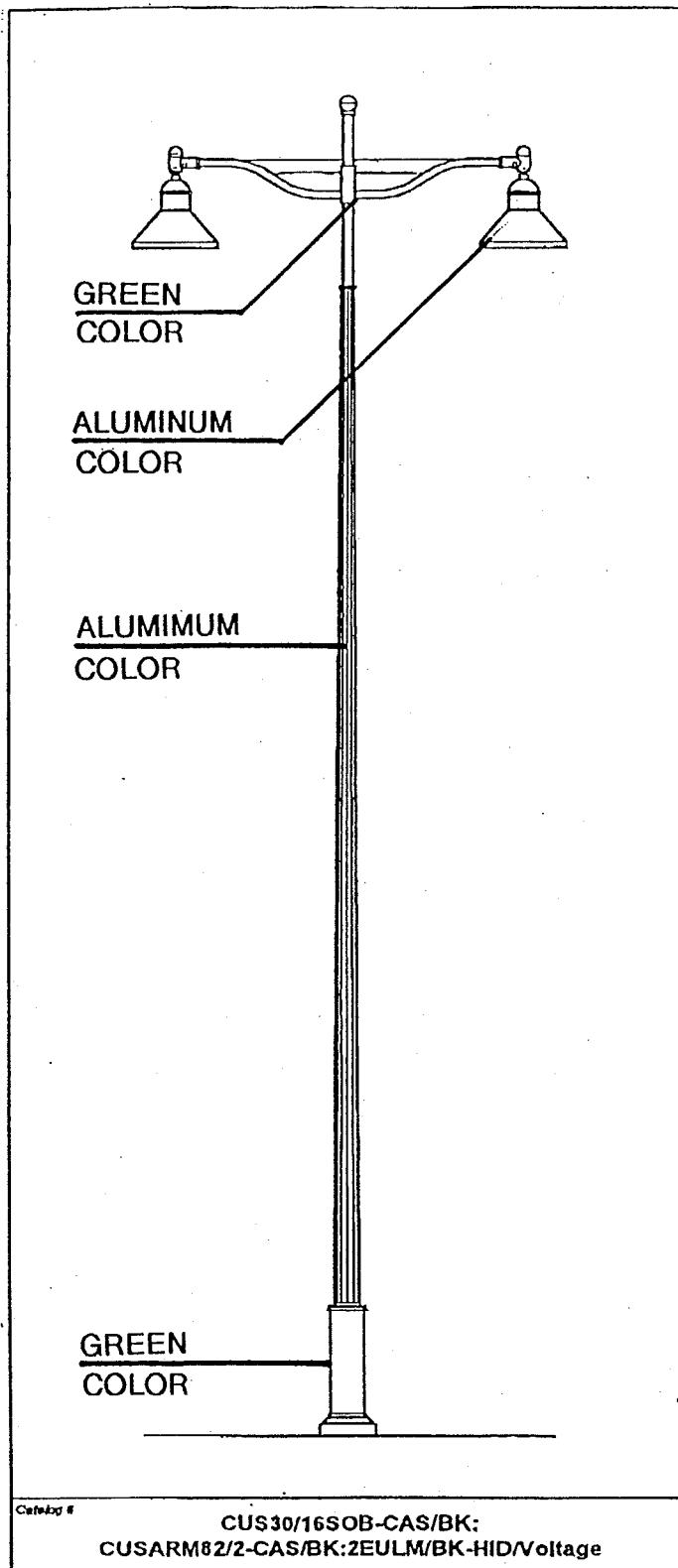
Post Height: 30'-0" Overall Height: 35'-0"
Base Diameter: 16 9/16"Ø

date: 04-27-01 scale: none dwg. no.: L- 4826F

ANTIQUE Street Lamps

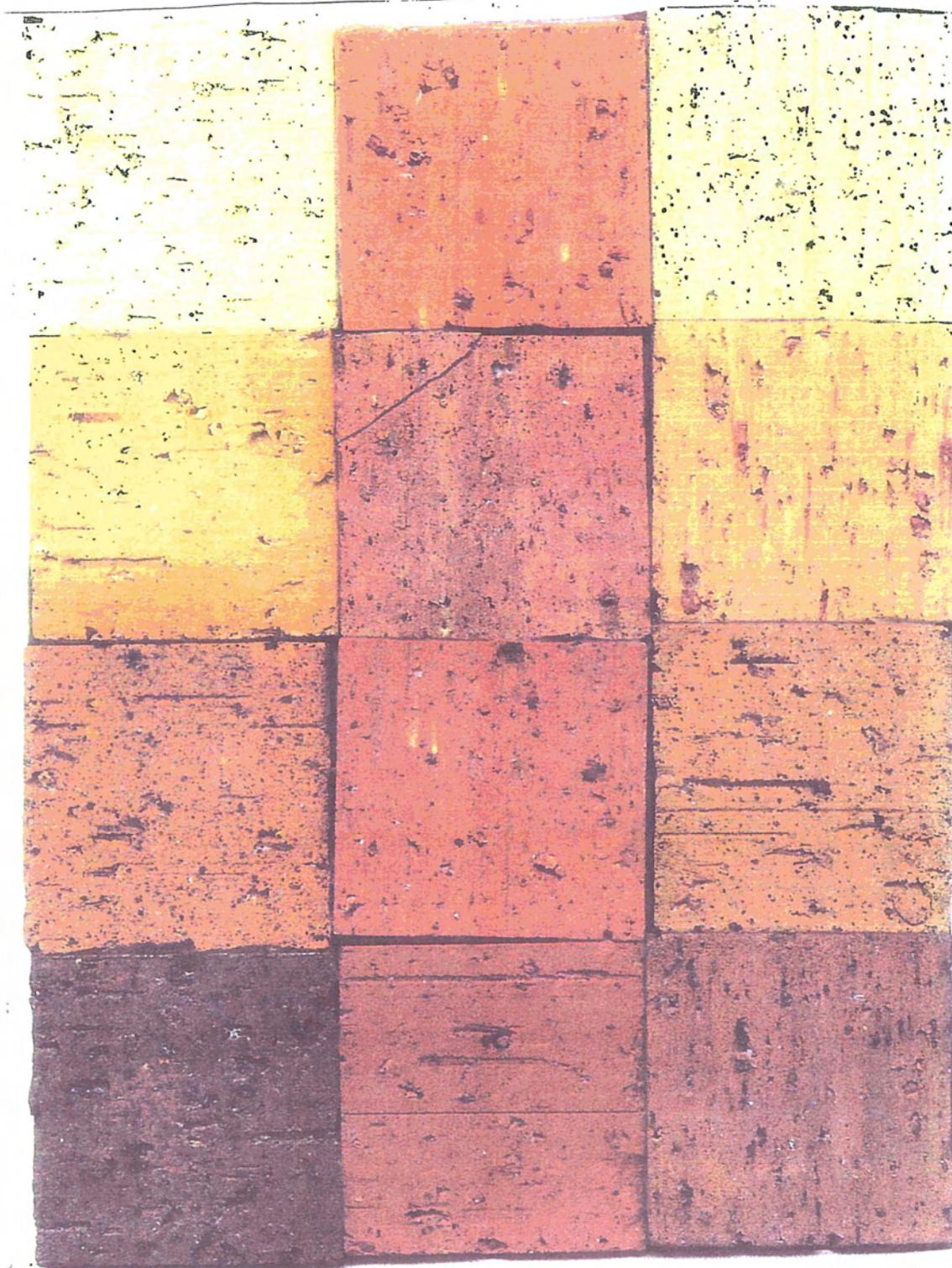
2011-B West Rundberg Lane • Austin, TX 78758
(512) 977-8444 • Fax (512) 977-8622

20. APPENDIX I: Site Lighting - Parking Lot Lights

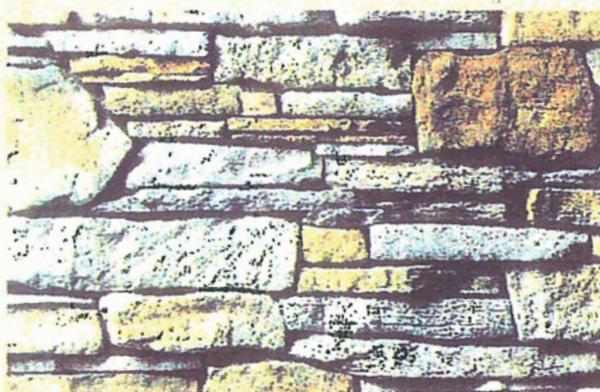


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HID Socket Size	<input type="checkbox"/> H60	<input type="checkbox"/> M60	<input type="checkbox"/> S35	<input type="checkbox"/> 120																																			
	<input type="checkbox"/> H75	<input type="checkbox"/> M70	<input type="checkbox"/> S50	<input type="checkbox"/> 208																																			
□-MED	<input type="checkbox"/> H100	<input type="checkbox"/> M100	<input type="checkbox"/> S70	<input type="checkbox"/> 240																																			
□-MOG	<input type="checkbox"/> H175	<input type="checkbox"/> M160	<input type="checkbox"/> S100	<input type="checkbox"/> 277																																			
	<input type="checkbox"/> H250	<input type="checkbox"/> M175	<input type="checkbox"/> S150	<input type="checkbox"/> 480																																			
		<input type="checkbox"/> M250	<input type="checkbox"/> S260	<input type="checkbox"/> Q/V																																			
Anchorage: Post shall be furnished with (4) 1" x 36" x 3" hot-dip galvanized L-type anchor bolts, to be installed with a 4 1/8" projection each.																																							
Finish: Post, arm, and luminaires shall be furnished with a 'black' powder coat finish.																																							
<p style="text-align: center;">Anchorage Detail</p>																																							
Notes: All hardware shall be stainless steel. All easily accessible exterior hardware shall be tamper resistant. Post Height: 30'-0" Overall Height: 35'-0" Base Diameter: 16 9/16"Ø																																							
<table border="1"> <tr> <td>date: 04-27-01</td> <td>scale: none</td> <td>dwg. no.: L- 4826E</td> </tr> </table>					date: 04-27-01	scale: none	dwg. no.: L- 4826E																																
date: 04-27-01	scale: none	dwg. no.: L- 4826E																																					
<p style="text-align: center;">ANTIQUE Street Lamps</p> <p style="text-align: center;">2011-B West Rundberg Lane • Austin, TX 78758 (512) 977-8444 • Fax (512) 977-9622</p>																																							

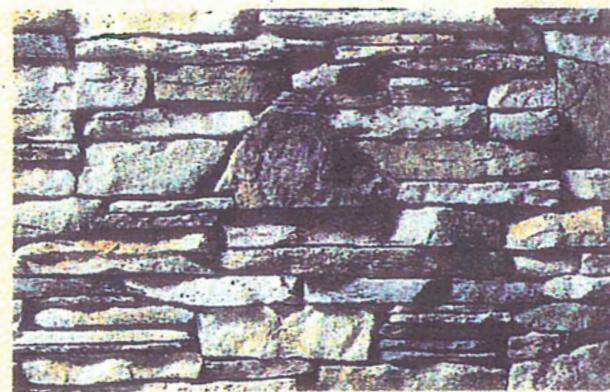
21. APPENDIX J: Brick Color Ranges



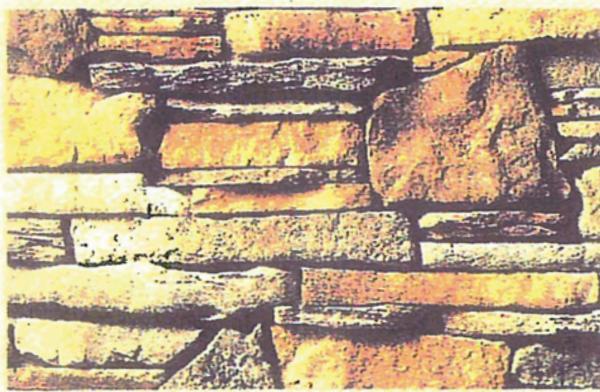
22. APPENDIX K: Natural Or Composite Stone Color Ranges



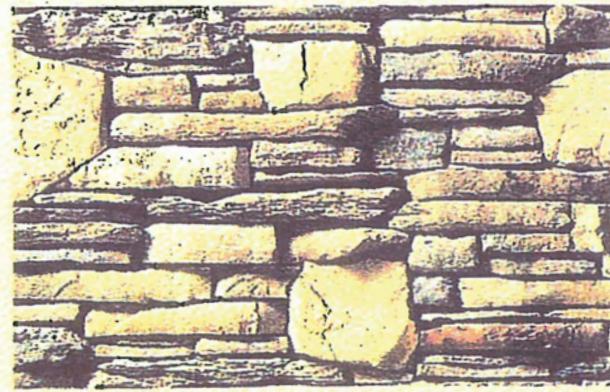
80% Fog Southern Ledgestone (CSV-2028)
20% Aspen Dressed Fieldstone (CSV-2040)



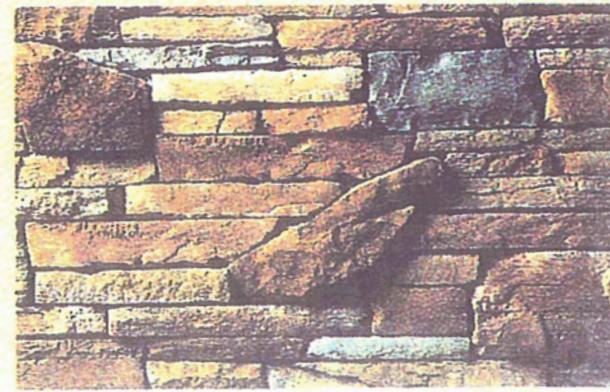
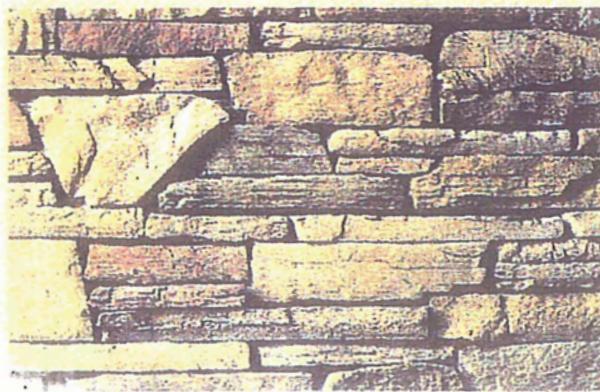
80% Bucks County Southern Ledgestone (CSV-2056)
20% Bucks County Dressed Fieldstone (CSV-2030)



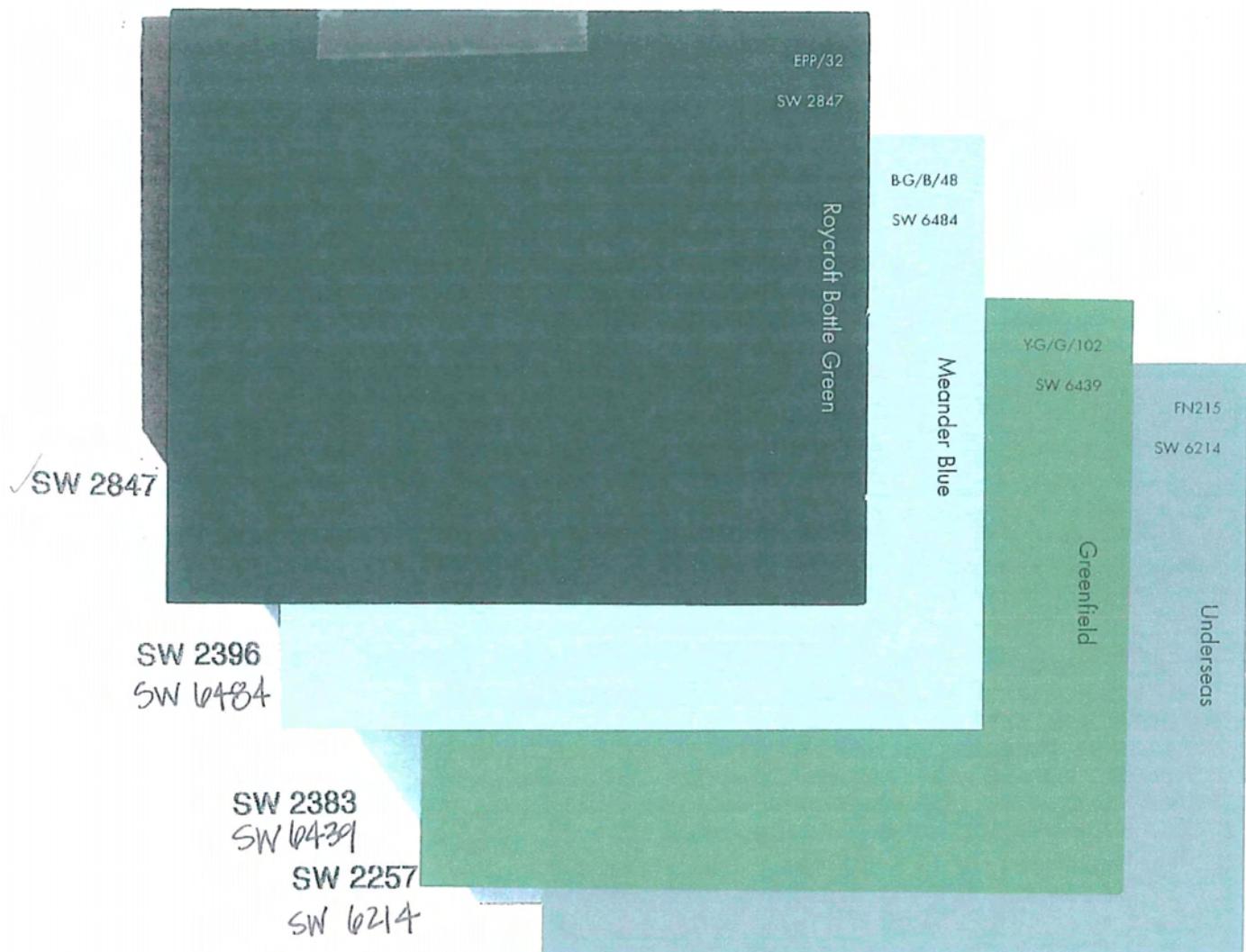
80% Rustic Southern Ledgestone (CSV-2055)
20% Brandywine Dressed Fieldstone (CSV-2029)



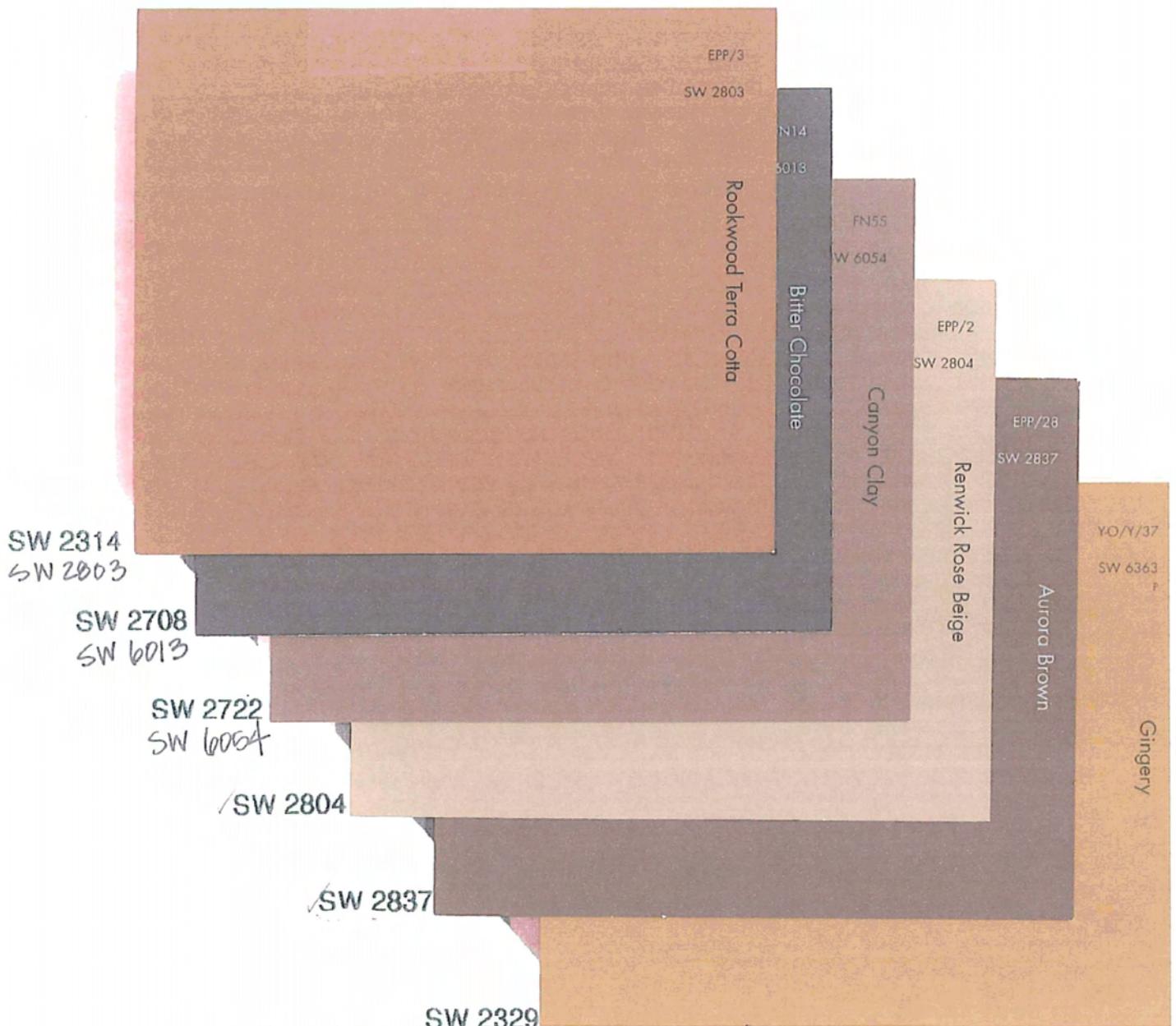
80% Chardonnay Southern Ledgestone (CSV-2054)
20% Chardonnay Dressed Fieldstone (CSV-2042)



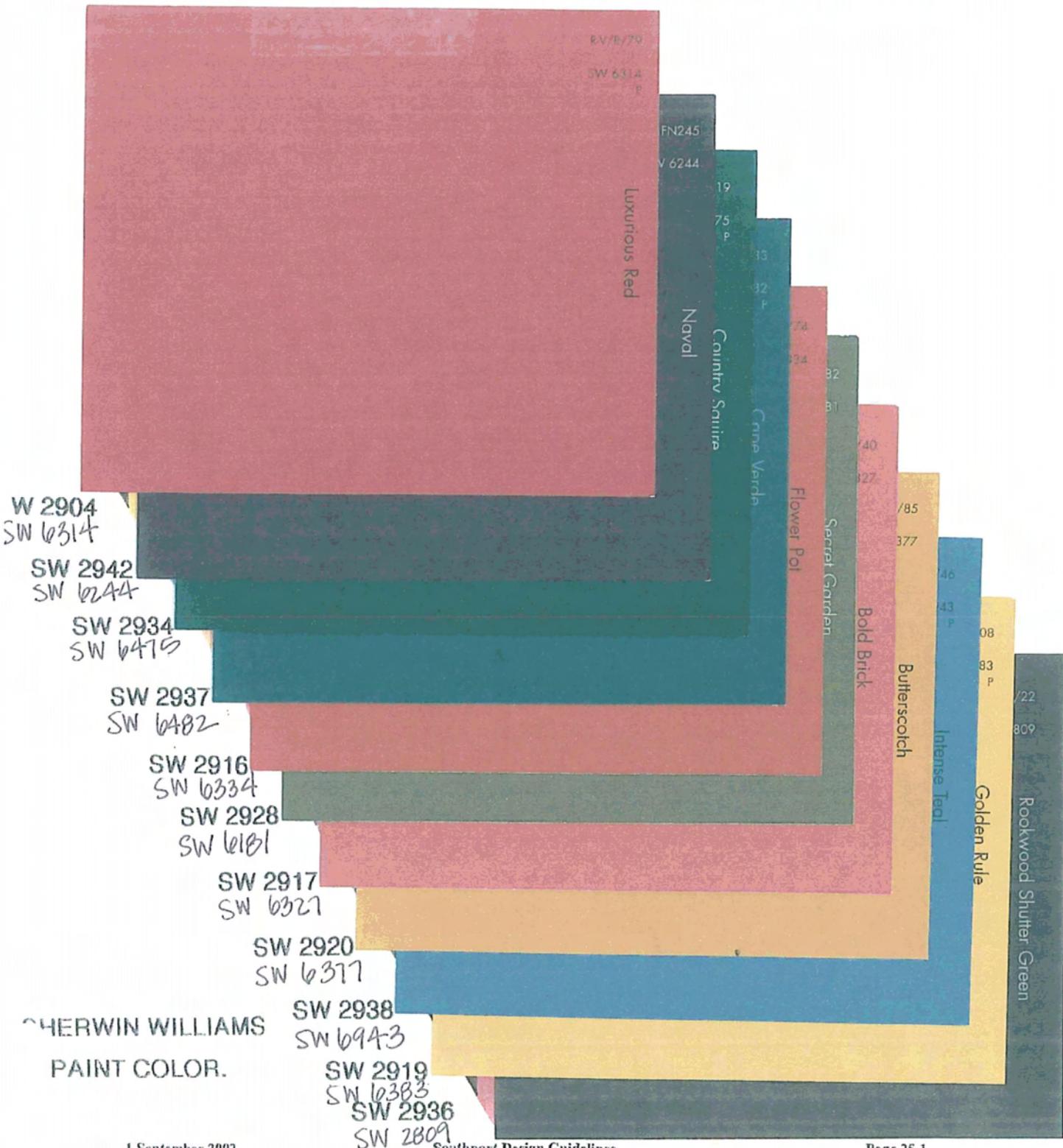
23. APPENDIX L: Standing Seam Metal Roofing Color Ranges



24. APPENDIX M: Major Accent Color Ranges



25. APPENDIX N: Minor Accent Color Ranges



26. APPENDIX O: Stucco Color Ranges For Sign Boards And Accents

SW 2430 - 6112 Biscuit

FPP/12
SW 6112

Biscuit

SW 1900 - 7006 Extra White

EPP/1
SW 2805

Renwick Beige

SW 2432 - 6085 Simplified Beige

E15
SW 7006

Extra White

↓ Noted Colors below discontinued as
these are more suggested equals.

F186
SW 6085

Simplify Beige

SW 2430

SW 2805

SW 1900

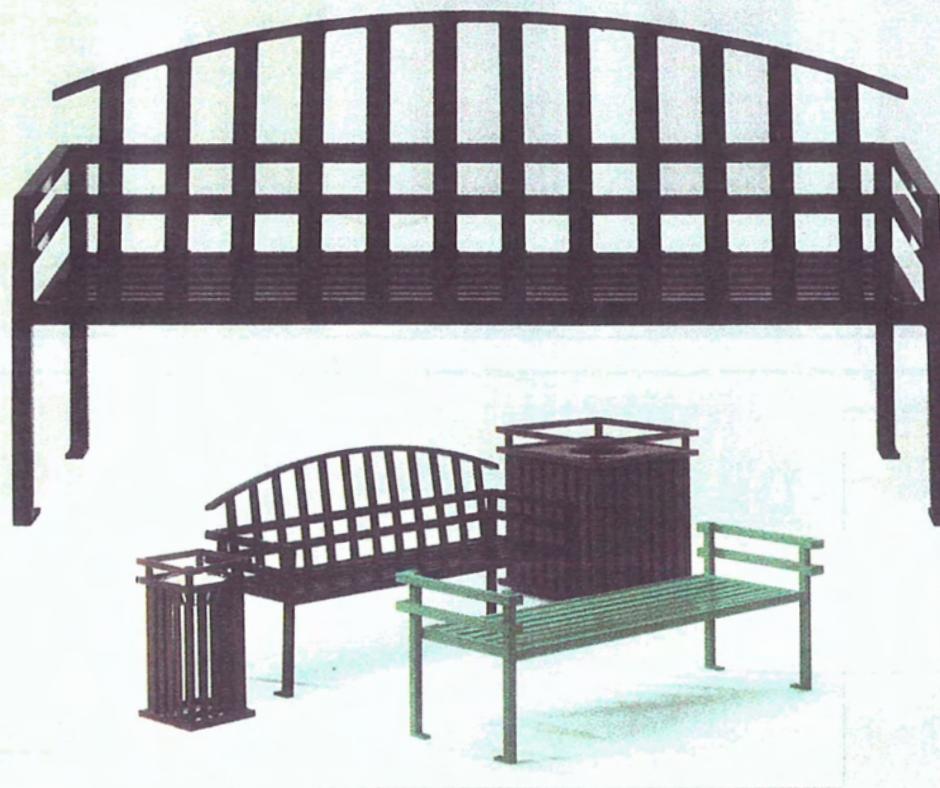
SW 2432

SHERWIN WILLIAMS PAINT COLOR.

27. APPENDIX P: Site Furnishings

McCONNELL SERIES

(Patent No. Des. 413,449)



MC24	McConnell bench w/back 4'
MC26	McConnell bench w/back 6'
MC28	McConnell bench w/back 8'
MC14	McConnell flat bench 4'
MC16	McConnell flat bench 6'
MC18	McConnell flat bench 8'
MC3-22	McConnell litter 22 gal.
MC3-32	McConnell litter 32 gal.
MC5	McConnell ash urn
MCA5	McConnell ash/trash combo

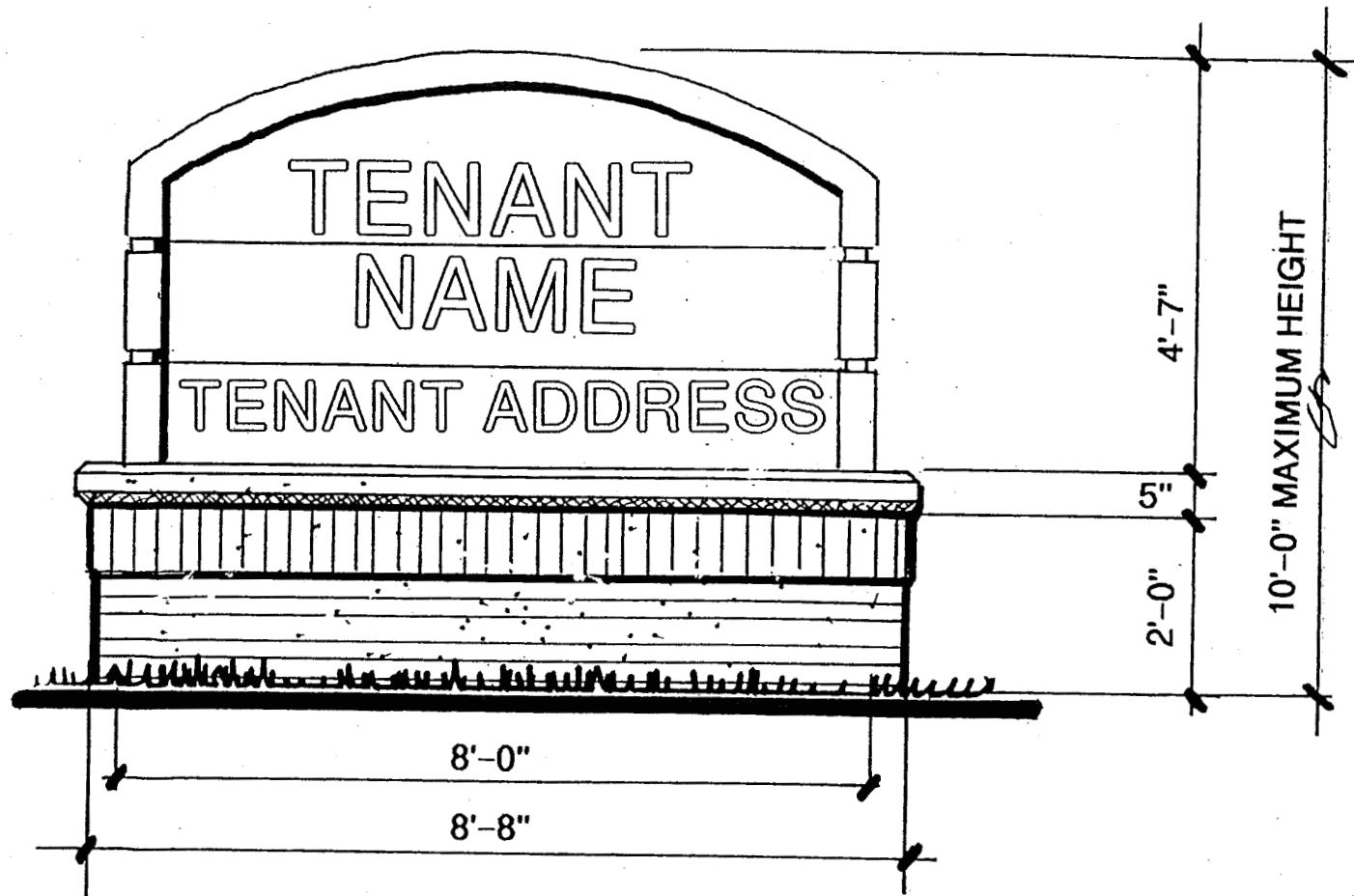


All site furnishings shall be McConnell series benches with back, Mc24, Mc26, Mc28; McConnell ash urn, Mc5, Mc5a, and trash receptacles, Mc3-22, Mc3-32.

All shall be turtle green RAL6009 powder coated finish.

Manufactured by Keystone Ridge Designs. 1-800-284-8208

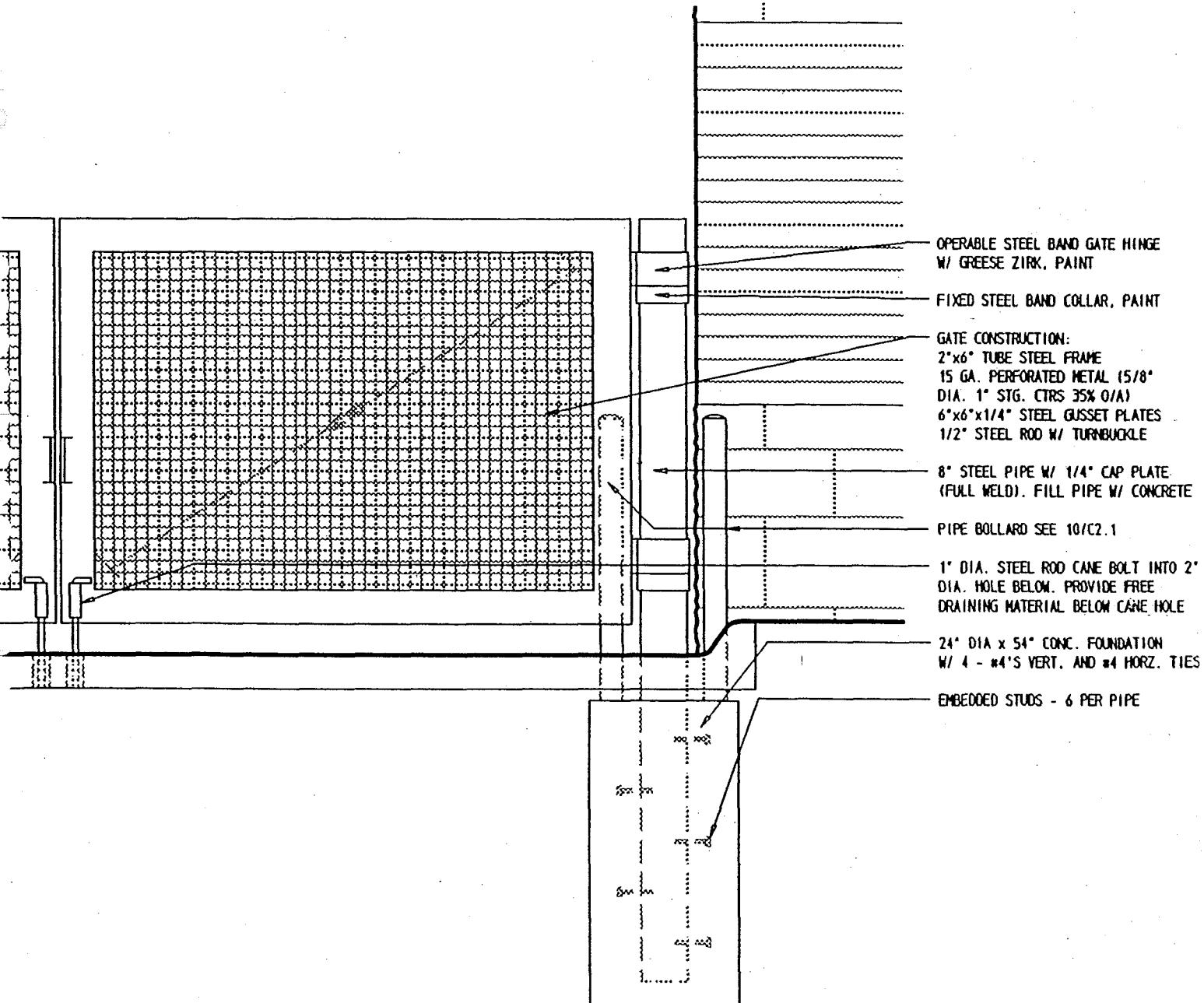
28. APPENDIX Q: Monument Sign



Each lot shall be allowed one monument sign located 10' from the property line. Monument sign height shall be 10'-0". Maximum size of sign shall be 50 square feet. The sign may be double sided. The entire surface face of the sign construction shall be counted to the total square footage of the sign.

The sign shall be similar in construction to the example shown with the base being brick and precast and the upper part being an all natural aluminum cabinet with internally illuminated letters.

29. APPENDIX R: Refuse Screen Gate



30. APPENDIX S.

Application for Certificate of Approval

APPLICATION FOR CERTIFICATE OF APPROVAL

La Vista Building Design Criteria Review

Project Name: _____ Submittal Date: _____
Address of Site: _____ Zoning District: _____
Name of Owner/Manager's Representative: _____ Title: _____
Address: _____ Phone: _____
Name of Designer's Firm or Studio: _____
Address: _____ Phone: _____
Name of Designer's Representative: _____ Title: _____
Application for : Sign _____ Bldg. _____ Landscaping _____ Lighting _____
Other: _____

FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

CERTIFICATE OF APPROVAL

La Vista Building Design Criteria Review

This certifies that the "exterior design features" related to the above permit(s) for the site listed above have been approved by the City of La Vista, subject to the conditions stipulated in the minutes shown below.

Planning Director

Date

31. APPENDIX T.

Submittal Requirements

All exhibits required for the permanent file (noted in the following paragraphs) must be able to be reduced to "legal size" (8-1/2" x 17") by folding, photo reduction, etc. However, larger mounting boards, material samples, or other exhibits not meeting this criteria may be used for presentation purposes.

Three (3) black and white prints (one of which shall be colored) of the following required drawings shall be submitted to the City for presentation to the Design Review Staff and architect.

An adequate number of *color* photographs are required to illustrate the existing nature of the proposed site, including any existing buildings and other existing features as well as the context of the proposed site. Photos may also be used to illustrate installations on other sites that are similar to the applicant's proposal.

A. BUILDING CONSTRUCTION, EXTERIOR REMODELING, AND ADDITIONS (INCLUDING PARKING LOTS AND LANDSCAPING) SUBMITTAL REQUIREMENTS

1. *Site Plan.* A site plan is required containing the following information:
 - a. Scale and north arrow;
 - b. Address of site;
 - c. All property and street pavement lines;
 - d. Existing and proposed contours;
 - e. Gross area of tract stated in square feet;
 - f. If parking is involved, show calculations for determining the required number of off-street parking spaces as required by the City's zoning ordinance. Give the number of spaces actually proposed. Give the maximum number of employees, customers, and office vehicles that would be at the facility at any one time;
 - g. Proposed ingress and egress to the site, including on-site parking area(s), parking stalls, and adjacent streets. Delineate traffic flow with directional arrows and indicate the location of direction signs or other motorist's aids (if any);
 - h. Calculations for determining the required number of trees to be placed within the proposed parking area must be shown, as well as the designation of required buffer screens (if any) between the parking area and adjacent property;

- i. Location of all isolated trees having a diameter of six (6) inches or more. (Tree masses may be shown with a diagrammatic outline and a written inventory of individual trees included.)
- j. Existing landscaping that will be retained and proposed landscaping shall be differentiated and shown on the plan. The type, size, number, and spacing of all plantings must be illustrated;
- k. Location of all existing (to remain) and proposed buildings on the site and all buildings within fifty (50) feet of the site's boundaries;
- l. Location of all existing (to remain) and proposed lighting standards.
- m. Finished sidewalk locations – in, around and outside of lot.

2. *Elevations.* Complete elevations of all proposed construction and related elevations of existing structures (if any) are required containing the following information:
 - a. Scale;
 - b. All signs to be mounted on the elevations;
 - c. Designation of the kind, color, and texture of all primary materials to be used.
3. *Material Samples.* Material samples are required for all major materials. Sample size may not exceed 8-1/2" x 14". Two sets are required.

B. FREE-STANDING GROUND SIGNS SUBMITTAL REQUIREMENTS

1. *Site Plan.* A site plan is required containing the following information:
 - a. Scale and north arrow;
 - b. Address of site;
 - c. All property and street pavement lines;
 - d. Proposed ingress and egress to site, including on-site parking area(s), parking stalls, and adjacent streets. Delineate the traffic flow with directional arrows and indicate the location of direction signs and other motorist's aids (if any);
 - e. Location of existing and proposed landscaping;
 - f. Location and height of all buildings on the site and all buildings within fifty (50) feet of the site's boundaries;
 - g. Location and height of all existing (to remain) and proposed signs on the site. Show required setbacks for sign from property lines;
2. *Elevation.* An elevation is required of each face of the proposed sign showing the following information:
 - a. All specifications including size of letters and graphics;

C. WALL SIGN SUBMITTAL REQUIREMENTS

1. *Sign Drawing.* A scaled drawing of each face of the proposed wall sign is required showing the following information:
 - a. All size specifications, including the size of letters and graphics;
 - b. Description of sign and frame materials and colors;
2. *Elevation.* An elevation drawn to scale of the entire wall of the building to which the sign is to be fixed, correctly locating the sign.

D. LIGHTING SUBMITTAL REQUIREMENTS

1. *Site Plan.* A site plan is required containing the following information:
 - a. Scale and north arrow;
 - b. Address of site;
 - c. All property and street pavement lines;

- d. Proposed ingress and egress to the site, including on-site parking area(s), parking stalls, and adjacent streets;
- e. Existing landscaping that will be retained and proposed landscaping;
- f. Location and height of all existing (to remain) and proposed buildings on the site and all buildings within fifty (50) feet of the site's boundaries;
- g. Location of all existing (to remain) and proposed lighting standards, and circumference area that will be lighted by each standard.

2. *Lighting Standard Drawing.* A scaled drawing of the proposed lighting standard(s) is required and should contain the following information:

- a. All size specifications;
- b. Information on lighting intensity (number of watts, isofootcandle diagram, etc.);
- c. Materials, colors.

LEGAL DESCRIPTION
LOT 1 THROUGH SOUTHPORT EAST REPLAT EIGHT, A SUBDIVISION LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, GENERALLY LOCATED NE OF SOUTHPORT PARKWAY & PORT GRACE BOULEVARD.

LOT 1, 2, 3, AND 4 SOUTHPORT EAST REPLAT NINE, A SUBDIVISION LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWNSHIP 14 NORTH, RANGE 12 EAST OF THE 6TH P.M., SARPY COUNTY, NEBRASKA, GENERALLY LOCATED SE OF SOUTHPORT PARKWAY & PORT GRACE BOULEVARD.

DEVELOPERS
THE LUND COMPANY
450 REGENCY PARKWAY, SUITE 200
OMAHA, NE 68114

E JOHN L. HOCH & MICHAEL McDERMOTT
5410 NORTH 27TH STREET
VALLEY, NE 68064

ZONING
EXISTING: C-3
PROPOSED: C-3; LOTS 14A AND 15A; LOTS 1 THRU 4 INCLUSIVE

NOTES
 ① LEFT TURN LANE FROM SOUTHPORT PARKWAY TO BE INSTALLED AS DESCRIBED IN THE AMENDED AND RESTATED EASEMENT AGREEMENT. (MEDIAN LAYOUT - TO BE ENGINEERED.) LOT 3, WEST DRIVEWAY, TO BE INSTALLED IN CONJUNCTION WITH TURN LANE.
 ② SANITARY SEWER WEST CURB OF WEST DRIVEWAY EASEMENT (AS DESCRIBED IN EASEMENT AGREEMENT - INSTRUMENT NUMBER 2016-06005) FOR BENEFIT OF LOTS 1 & 2.
 ③ STORM SEWER ALONG LOT LINE BETWEEN LOTS 3 & 4 FOR BENEFIT OF LOTS 1, 2, AND 4.
 ④ STORM SEWER INLET AND LINE, SIZED TO SERVE LOT 3 ONLY FOR WATER QUALITY TREATMENT. LOTS 1, 2, AND 4 ARE RESPONSIBLE FOR PROVIDING THEIR OWN WATER QUALITY TREATMENT FOR PCMP COMPLIANCE.
 ⑤ SHARED ACCESS DRIVES FOR BENEFIT OF LOTS 1, 2, AND 4; AS DESCRIBED IN EASEMENT AGREEMENT - INSTRUMENT NUMBER 2016-06005.
 ⑥ ACCESSORY PARKING FOR LOT 14A & 15A; AS AGREED UPON BY LOT OWNER, SHARED USE PARKING WILL BE CONTINGENT ON FUTURE DEVELOPMENT BEING COMPATIBLE, IN TERMS OF PEAK PARKING, WITH TENANT OF LOT 14A.
 ⑦ WITH THE DEVELOPMENT OF LOTS 1, 2, AND 4; DEVELOPER TO COORDINATE SHARE PARKING OPPORTUNITIES WITH BUILDING TENANTS.
 ⑧ UPON DEVELOPMENT OF LOTS 1, 2, AND 4, AN EMERGENCY VEHICLE ACCESS PLAN SHALL BE SUBMITTED TO THE FIRE MARSHALL FOR REVIEW OF WATER SUPPLY, FIRE LINE ACCESS, AND EMERGENCY RESPONDER RADIO COVERAGE.
 ⑨ A BUILDING PERMIT WILL BE OBTAINED FOR PARKING LOT CONSTRUCTION ON LOT 3.



Southport East Replat 8	
Lot #	Area (acres)
14A	5.6801
15A	2.4684
Total	8.1485

Southport East Replat 9	
Lot #	Area (acres)
1	2.7338
2	1.5561
3	2.377
4	2.1423
Total	8.8592

Southport East Replat 8 - Building Coverage			
Lot #	Area (SF)	BLDG (SF)	% Coverage
14A & 15A (Shared)	354,948.66	53,550.13	15.09

Southport East Replat 9 - Building Coverage			
Lot #	Area (SF)	BLDG (SF)	% Coverage
1	121,262.33	16,200	13.36
2	67,763.72	6,720	9.91
3	103,542.12	0	0
4	93,318.59	20,000	21.43
Total	385,906.76	42,920	11.12

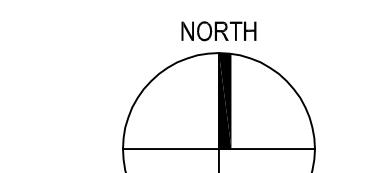
Southport East Replat 8 - Open / Green Space			
Lot #	Area (SF)	Open (SF)	% Open
14A & 15A (Shared)	354,948.66	76,950.49	21.66

Southport East Replat 9 - Open / Green Space			
Lot #	Area (SF)	Open (SF)	% Open
1	121,262.33	25,297.57	20.86
2	67,763.72	13,568.39	20.02
3	103,542.12	28,110.46	27.15
4	93,318.59	23,176.03	24.84
Total	385,906.76	90,152.45	23.36

Southport East Replat 8 - Parking Spaces (4.5 per 1,000 GSF)			
Lot #	BLDG GSF	Required	Available
14A & 15A (Shared)	156,273	704	607 *

Southport East Replat 9 - Parking Spaces (4.5 per 1,000 GSF)			
Lot #	BLDG GSF	Required	Available
1	16,200	73	145
2	6,720	31	88
3	0	0	183 *
4	20,000	90	113
Total	42,920	194	528

* PARKING SPACE COUNT FOR LOTS 14A, 15A, AND 3 TO SERVE AS EMPLOYEE PARKING FOR SECURITIES AMERICA EMPLOYEES AND VISITORS. TOTAL PARKING: 790 PARKING SPACES



0 50' 100'



Exhibit A

PUD SUBMITTAL

Project Status

08/07/2017

5078 | 10054297

Sheet Name

PUD Plan | Southport East Replat 8 & Southport East Replat 9

Scale

1"=50'-0"

Sheet Number

1

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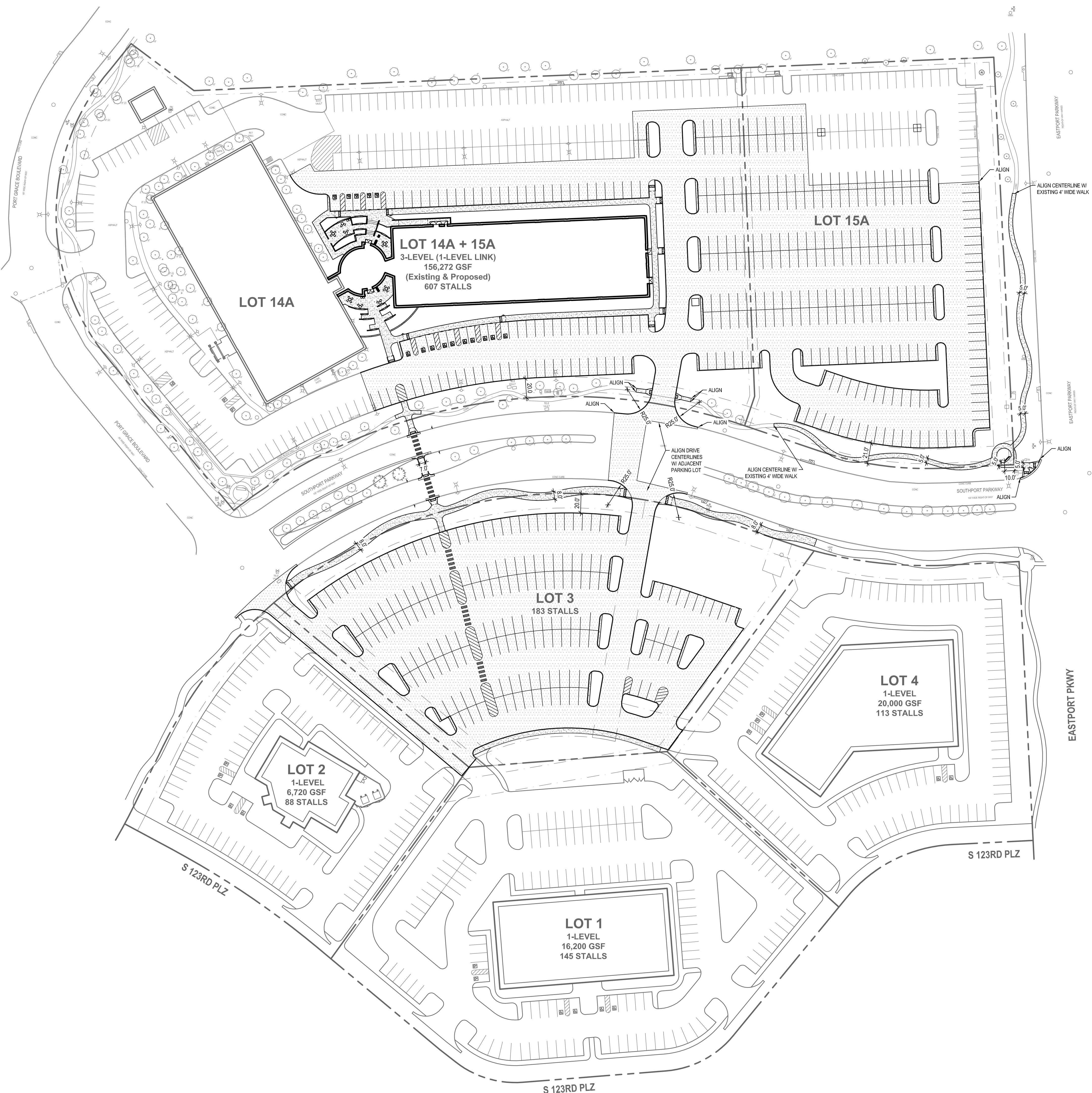
62

63

6

LEGEND

—	PROPERTY LINE
—	EASEMENT LINE
1067.17	EXISTING SPOT GRADES
1067	EXISTING GRADE CONTOUR
—	EXISTING CONCRETE CURB
—	EXISTING SIGNAGE
—	EXISTING LIGHT POLE
—	EXISTING STREET LIGHT
—	UGP
—	EXISTING UNDERGROUND POWER LINE
—	NGAS
—	EXISTING NATURAL GAS LINE
—	GV
—	EXISTING NATURAL GAS VALVE
—	SS
—	EXISTING SANITARY SEWER LINE WITH STRUCTURE
—	SD
—	EXISTING STORM DRAIN LINE WITH STRUCTURE
—	TEL
—	EXISTING TELEPHONE LINE
—	WV
—	EXISTING WATER LINE
—	WV PV
—	EXISTING WATER VALVE / POST INDICATOR VALVE
—	EXISTING FIRE HYDRANT
—	EXISTING TREE
—	CONCRETE CURB
7"	CONCRETE PAVING
5"	CONCRETE PAVING
—	DETECTABLE WARNING PLATE

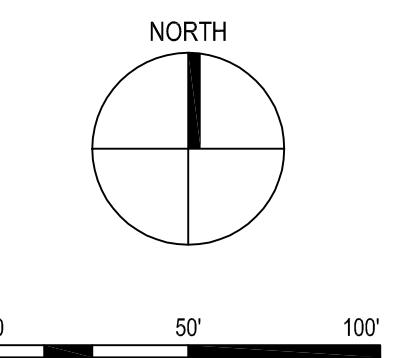


GENERAL NOTES

1. CONTROL JOINTS TO BE PLACED A MAXIMUM OF 6-8 FEET ON CENTER, EXPANSION JOINTS A MAXIMUM OF 30 FEET ON CENTER, AND BETWEEN ALL SEPARATE POURS.
2. ALL CURB, SIDEWALK, AND WALL CURVES SHALL BE SMOOTH AND NOT SEGMENTED.

EXISTING SURVEYOR INFORMATION

EXISTING SITE SURVEY INFORMATION FURNISHED BY THE LUND COMPANY AND PREPARED BY EHRHART GRIFFIN & ASSOCIATES, DATED MARCH 21, 2017. REVISED MAY 2, 2017.



HDR Architecture, Inc.
8404 Indian Hills Drive
Omaha, NE 68114
(402) 399-1000

The Lund Company

New Addition for
Securities America, Inc.
12325 Port Grace Blvd
La Vista NE 68128

CUSHMAN & WAKEFIELD LUND
COMPANY

Securities
America

Project Manager: TIMOTHY WURTELE
Project Designer: DAVID LEMPKO
Project Architect: SHEILA IRELAND
Landscape Architect: ALISON INGUNZA
Civil Engineer: CHRIS CAIN
Structural Engineer: ROBERT GUINN
Mechanical Engineer: BRIAN KOLM
Electrical Engineer: ANDREW WILSON
Interior Designer: ABBY SCOTT
Wayfinding: —
Drawn By: Alison Inguna

MARK DATE DESCRIPTION
1 09/22/2017 Resubmitted PUD
2 11/02/2017 Submitted for Planning Commission
3 12/13/2017 Submitted for City Council

Project Number: 5078 | Original Issue: 08/07/2017

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Name: Site Paving Plan

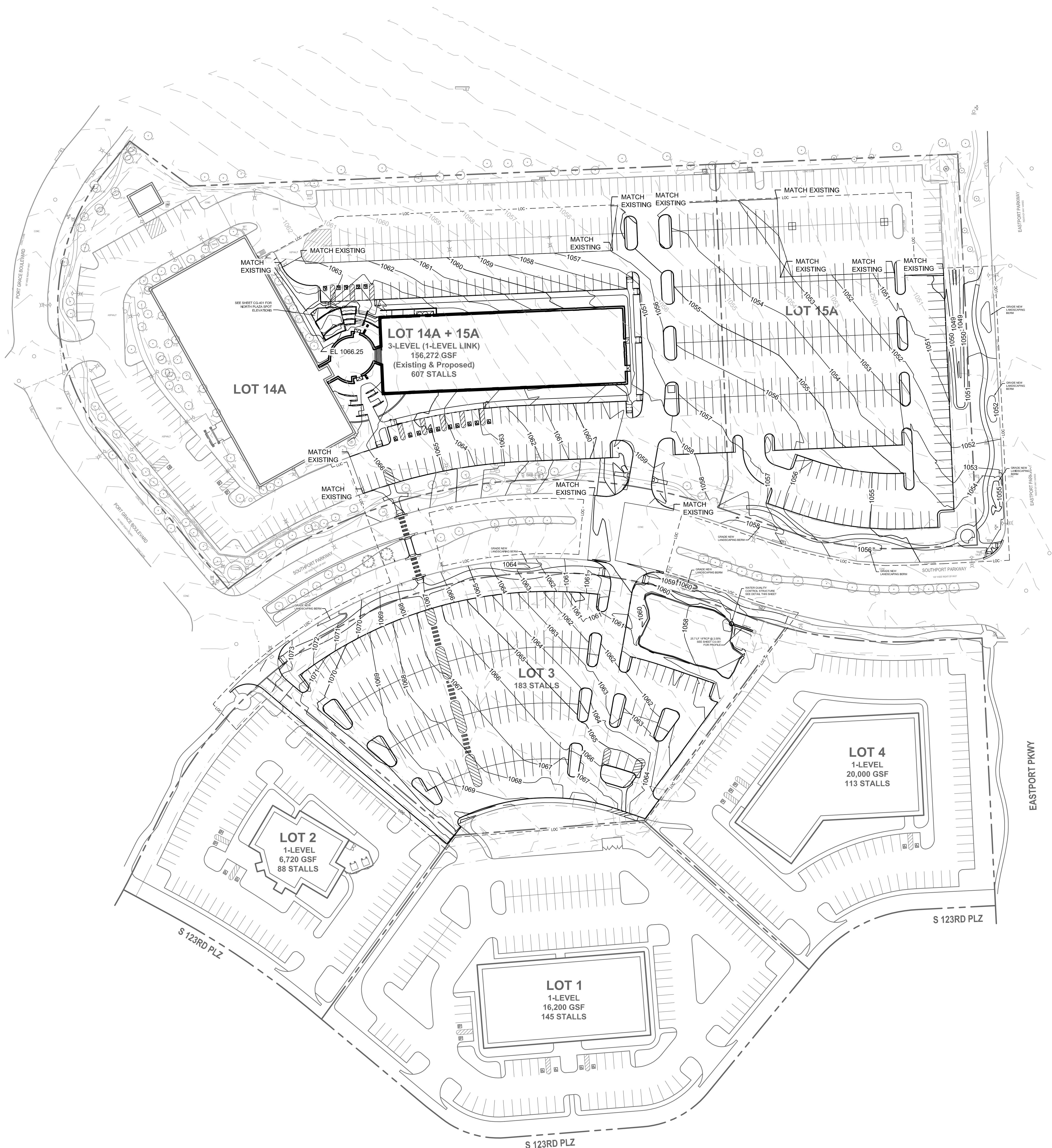
Scale: 1"=50'-0"
Sheet Number:

Exhibit B

Project Status: PUD SUBMITTAL

LEGEND

PROPERTY LINE
EASEMENT LINE
EXISTING SPOT GRADES
EXISTING GRADE CONTOUR
EXISTING CONCRETE CURB
EXISTING SIGNAGE
EXISTING LIGHT POLE
EXISTING STREET LIGHT
UGP - EXISTING UNDERGROUND POWER LINE
NGAS - EXISTING NATURAL GAS LINE
GV - EXISTING NATURAL GAS VALVE
SD - EXISTING SANITARY SEWER LINE WITH STRUCTURE
TEL - EXISTING TELEPHONE LINE
WV - EXISTING WATER LINE
WV PV - EXISTING WATER VALVE / POST INDICATOR VALVE
EXISTING FIRE HYDRANT
EXISTING TREE
CONCRETE CURB
FINISHED GRADE CONTOUR



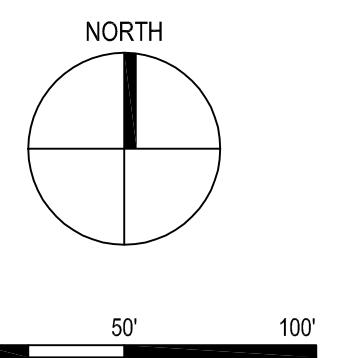
PRELIMINARY
NOT FOR CONSTRUCTION

Site Grading Plan

Scale
1"=50'-0"
Sheet Number

Exhibit C

Project Status
PUD SUBMITTAL



0 50' 100'

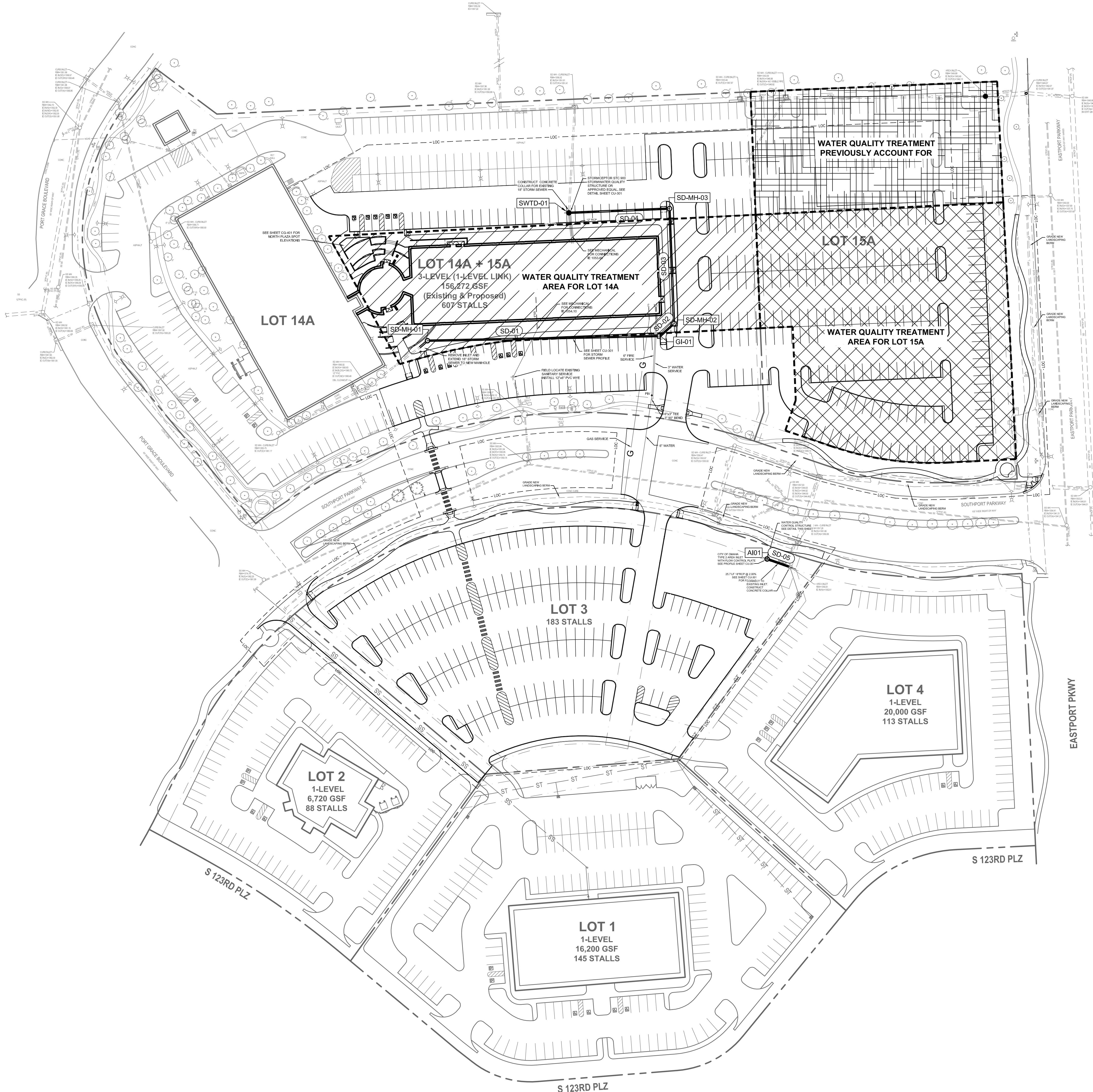
Project Status
PUD SUBMITTAL

LEGEND

PROPERTY LINE
EASEMENT LINE
1067.17 EXISTING SPOT GRADES
1067 EXISTING GRADE CONTOUR
EXISTING CONCRETE CURB
EXISTING SIGNAGE
EXISTING LIGHT POLE
EXISTING STREET LIGHT
UGP EXISTING UNDERGROUND POWER LINE
NGAS EXISTING NATURAL GAS LINE
GV EXISTING NATURAL GAS VALVE
SD EXISTING SANITARY SEWER LINE WITH STRUCTURE
SD EXISTING STORM DRAIN LINE WITH STRUCTURE
TEL EXISTING TELEPHONE LINE
WV EXISTING WATER LINE
WV PV EXISTING WATER VALVE / POST INDICATOR VALVE
EXISTING FIRE HYDRANT
EXISTING TREE
CONCRETE CURB
1057 FINISHED GRADE CONTOUR

GENERAL NOTES

1. UTILITIES FACILITIES SHOWN ARE FROM LOCATES OR RECORDS PROVIDED BY OTHERS, AND SHALL BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST (EITHER IN SERVICE OR ABANDONED) AND THEIR LOCATION MAY NOT BE PRESENTLY KNOWN OR IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE IF UTILITIES SHOWN COMprise ALL UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE CONTRACTOR SHALL NOTIFY THE ONE-CALL SYSTEM AT 811 TO IDENTIFY THE LOCATION OF ALL UNDERGROUND UTILITY FACILITIES WITHIN THE CONSTRUCTION AREA.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITY FACILITIES LOCATED WITHIN THE CONSTRUCTION AREA TO AVOID DAMAGE. DAMAGE TO UTILITIES DUE TO THE CONTRACTOR'S ACTIONS SHALL BE REPAIRED OR REPLACED WITHOUT COST TO THE OWNER OR ENGINEER.
3. WHERE EXISTING UTILITY FACILITIES ARE SHOWN IN THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITIES AND CONDUCTING WORK NEAR UTILITY FACILITIES.
4. THE CONTRACTOR SHALL COOPERATE WITH UTILITY COMPANIES IN THEIR ADJUSTMENT OPERATIONS SO THAT THESE OPERATIONS MAY PROGRESS. THE DUPLICATION OF ADJUSTMENT WORK MAY BE REDUCED, AND THAT SERVICES RENDERED BY THOSE PARTIES WILL NOT BE INTERRUPTED.
5. THE CONTRACTOR SHALL REVIEW ALL UTILITIES SHOWN IN THE PLANS AND COORDINATE WITH ALL UTILITY COMPANIES NECESSARY TO SCHEDULE WORK FOR ALL KNOWN AND POTENTIAL CONFLICTS. THE CONTRACTOR SHALL BE AWARE THAT UTILITY SERVICES ARE NOT ROTATED OR ADJUSTED DURING CONSTRUCTION. THERE MAY BE A CONFLICT WITH THE WORK PERFORMED, DELAYS, INCONVENIENCE, OR DAMAGE CLAIMED BY THE CONTRACTOR DUE TO ANY INTERFERENCE OF UTILITIES SHOWN IN THE PLANS OR SERVICES SHALL NOT BE CONSIDERED A CIRCUMSTANCE FOR ADDITIONAL TIME OR COMPENSATION.
6. THE CONTRACTOR SHALL KEEP SANITARY SEWER AND STORM SEWER LINES AND STRUCTURES CLEAN AND FREE OF DEBRIS THAT IS A RESULT OF CONSTRUCTION OPERATIONS. ANY CLEANING AND REMOVAL OF DEBRIS THAT ENTERS AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE COMPLETED AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR SHALL CONFINe ALL OPERATIONS, INCLUDING EQUIPMENT AND MATERIAL STORAGE, WITHIN THE CONSTRUCTION LIMITS AND OR EASEMENTS OF THE PROJECT.
8. THE CONTRACTOR SHALL MAINTAIN THE PROJECT LIMITS. BY COMMENCING THE WORK IN A GIVEN AREA, THE CONTRACTOR ASSUMES THE RESPONSIBILITY OF ONGOING REQUIRED MAINTENANCE SUCH AS MOVING AND WEED CONTROL WITHIN THE PROJECT LIMITS.
9. THE CONTRACTOR SHALL CONTROL CONSTRUCTION DEBRIS, HAZARDOUS WASTE SPILLS, AND CONCRETE TRUCK WASHDOWN AREA(S). THE CONTRACTOR SHALL SANIUP AND DISPOSE OF ALL WASTE PROPERLY OFF-SITE AT AN APPROVED DISPOSAL FACILITY. NO CONSTRUCTION MATERIAL WASTES OR UNUSED MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED WITH THE PROJECT LIMITS.
10. THE CONTRACTOR SHALL TAKE STEPS TO CONTROL SOIL EROSION AND FUGITIVE DUST DURING CONSTRUCTION. IF NECESSARY, ANY BALES, CHECK DAMS, SEDIMENT TRAPS OR ADDITIONAL SILT FENCE (NOT INDICATED ON THE PLANS) SHALL BE USED TO RETAIN SILT AND PREVENT SILT FROM ENTERING THE STORM DRAINAGE SYSTEM. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT OPERATIONS IN ACCORDANCE WITH THE POLLUTION PREVENTION PLAN AND ADMINISTER IT THROUGHOUT THE PROJECT DURATION.
11. THE CONTRACTOR SHALL CONSTRUCT THE NECESSARY EROSION CONTROL AND RUNOFF DETENTION STRUCTURES INCLUDED IN THE PLANS AND PER THE STORM WATER POLLUTION PREVENTION PLANS (SWPPP) PRIOR TO ANY GRADING ON THE PROJECT IN ORDER TO PREVENT THE TRANSPORT AND SOIL TRACKING OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL MAINTAIN AND WATER HAUL ROADS TO CONTROL FUGITIVE DUST.
12. CONTOUR LINES SHOWN REPRESENT TOP OF PAVEMENT, TOP OF FINISHED GRADE OR BUILDING FINISHED FLOOR ELEVATION. CONCRETE PARKING LOTS SHALL BE 7-INCHES THICK WITH A 6-INCH CURB. CONCRETE SIDEWALKS SHALL BE 5-INCHES THICK.
13. GENERAL FILL AND BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE TOP 12-INCHES SHALL BE COMPACTED TO 98% UNDER PAVING.
14. CONTRACTOR SHALL STRIP AND STOCKPILE TOPSOIL AT ALL AREAS TO BE DISTURBED DURING CONSTRUCTION. TOPSOIL SHALL BE REDISTRIBUTED FOR AREAS OUTSIDE OF PAVEMENT.



The Lund Company

New Addition for
Securities America, Inc.
12325 Port Grace Blvd
La Vista NE 68128CUSHMAN & WAKEFIELD LUND
COMPANYSecurities
America

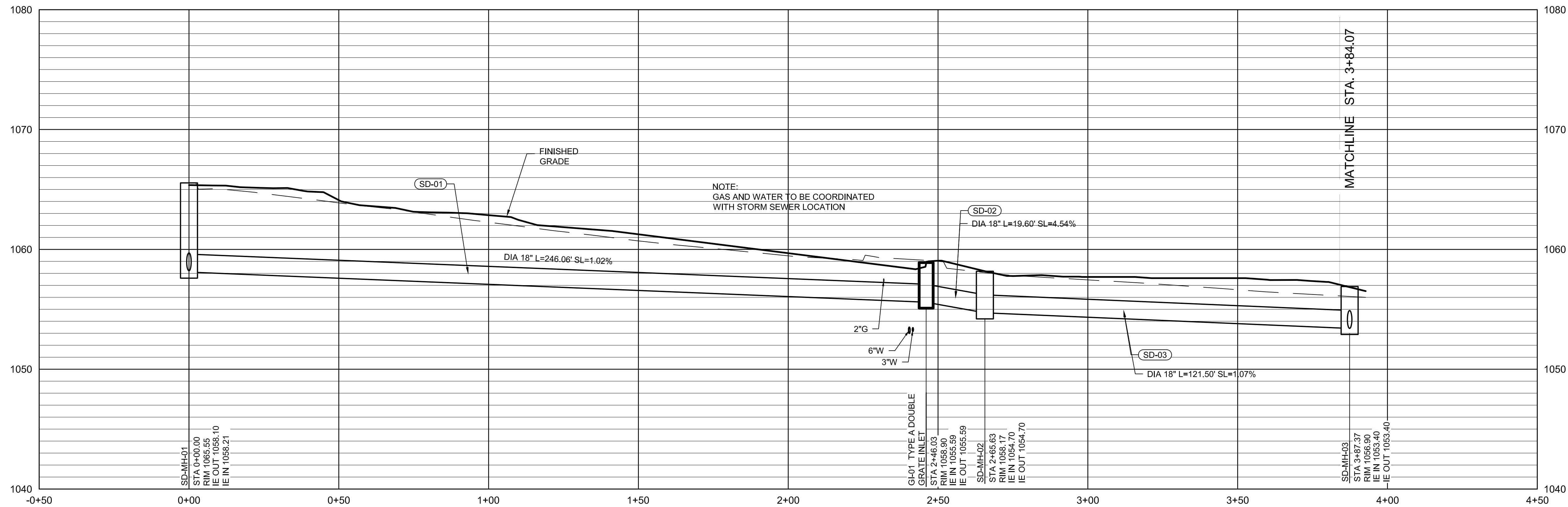
Project Manager	TIMOTHY WURTELE
Project Designer	DAVID LEMKE
Project Architect	SHEILA IRELAND
Landscape Architect	ALISON INGUNZA
Civil Engineer	CHRIS CAIN
Structural Engineer	ROBERT GUINN
Mechanical Engineer	BRIAN KOLM
Electrical Engineer	ANDREW WILSON
Interior Designer	ABBY SCOTT
Wavfilding	--
Drawn By	Sheila Potter

MARK	DATE	DESCRIPTION
1	09/22/2017	Resubmitted PUD
2	11/02/2017	Resubmitted PUD - Exhibit
3	11/02/2017	Submitted for Planning Commission
4	12/13/2017	Submitted for City Council

Project Number
Original Issue5078 | 10054297
08/07/2017PRELIMINARY
NOT FOR CONSTRUCTIONSheet Name
Site Utilities PlanScale
1"=50'-0"
Sheet Number

Exhibit D1

Project Status
PUD SUBMITTAL

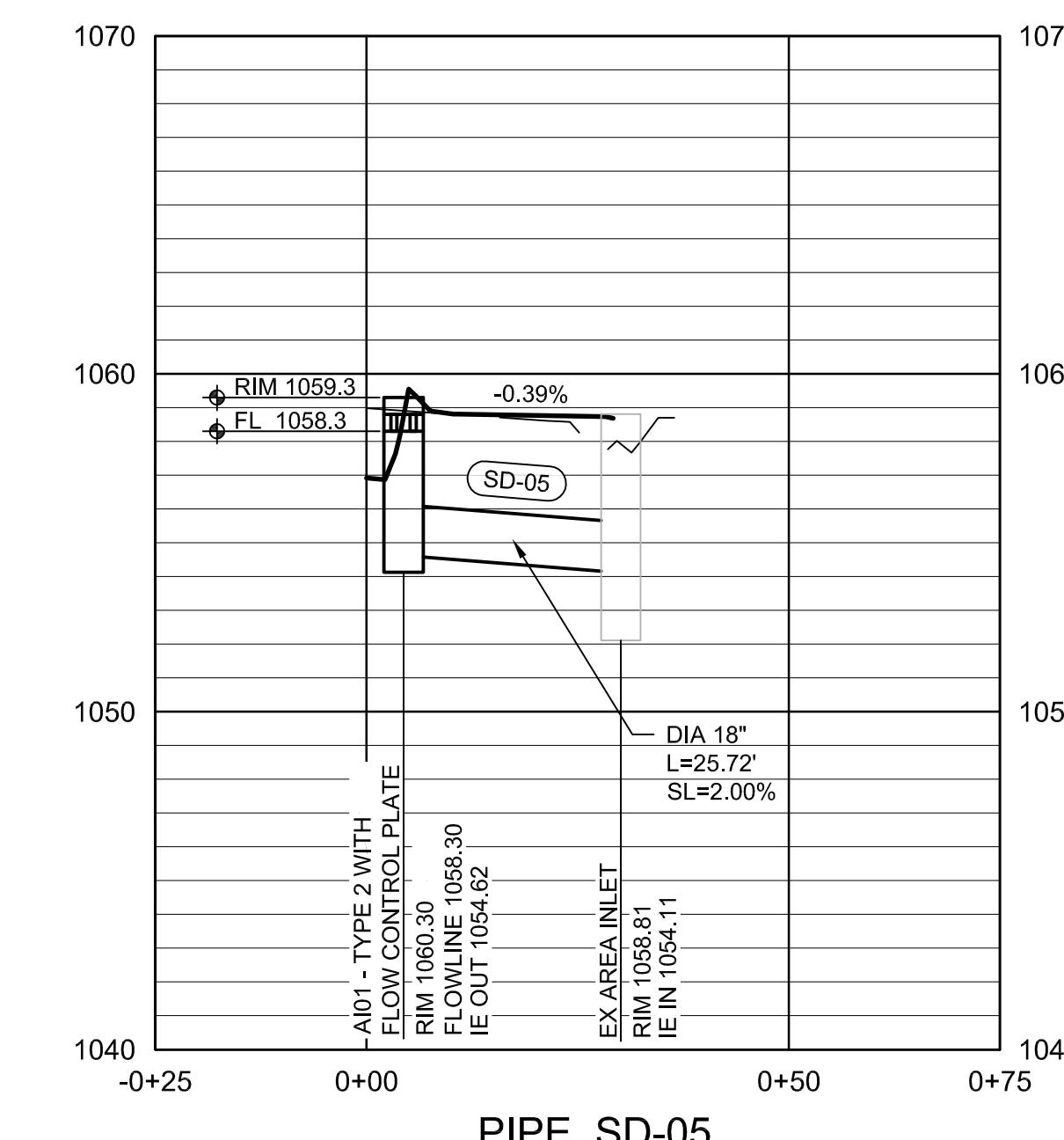


The Lund Company

New Addition for
Securities America, Inc.
12325 Port Grace Blvd
La Vista NE 68128



 Securities America



Manager	TIMOTHY WURTELE
Signer	DAVID LEMPKE
Architect	SHEILA IRELAND
Architect	ALISON INGUNZA
eer	CHRIS CAIN
Engineer	ROBERT GUINN
l Engineer	BRIAN KOLM
Engineer	ANDREW WILSON
Signer	ABBY SCOTT
g	--
	Sheila Potter

DATE	DESCRIPTION
09/22/2017	Resubmitted PUD
11/02/2017	Submitted for Planning Commission
12/13/2017	Submitted for City Council

Number	5078 10054297
Issue	08/07/2017

PRELIMINARY NOT FOR CONSTRUCTION

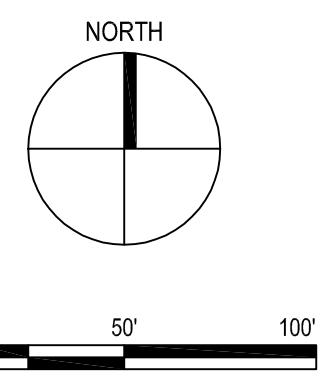
Site Storm Drainage Profiles

(Horiz.) 1"=5'-0" (Vert.)

Exhibit D2

status

INTRODUCTION



1

1

1

1

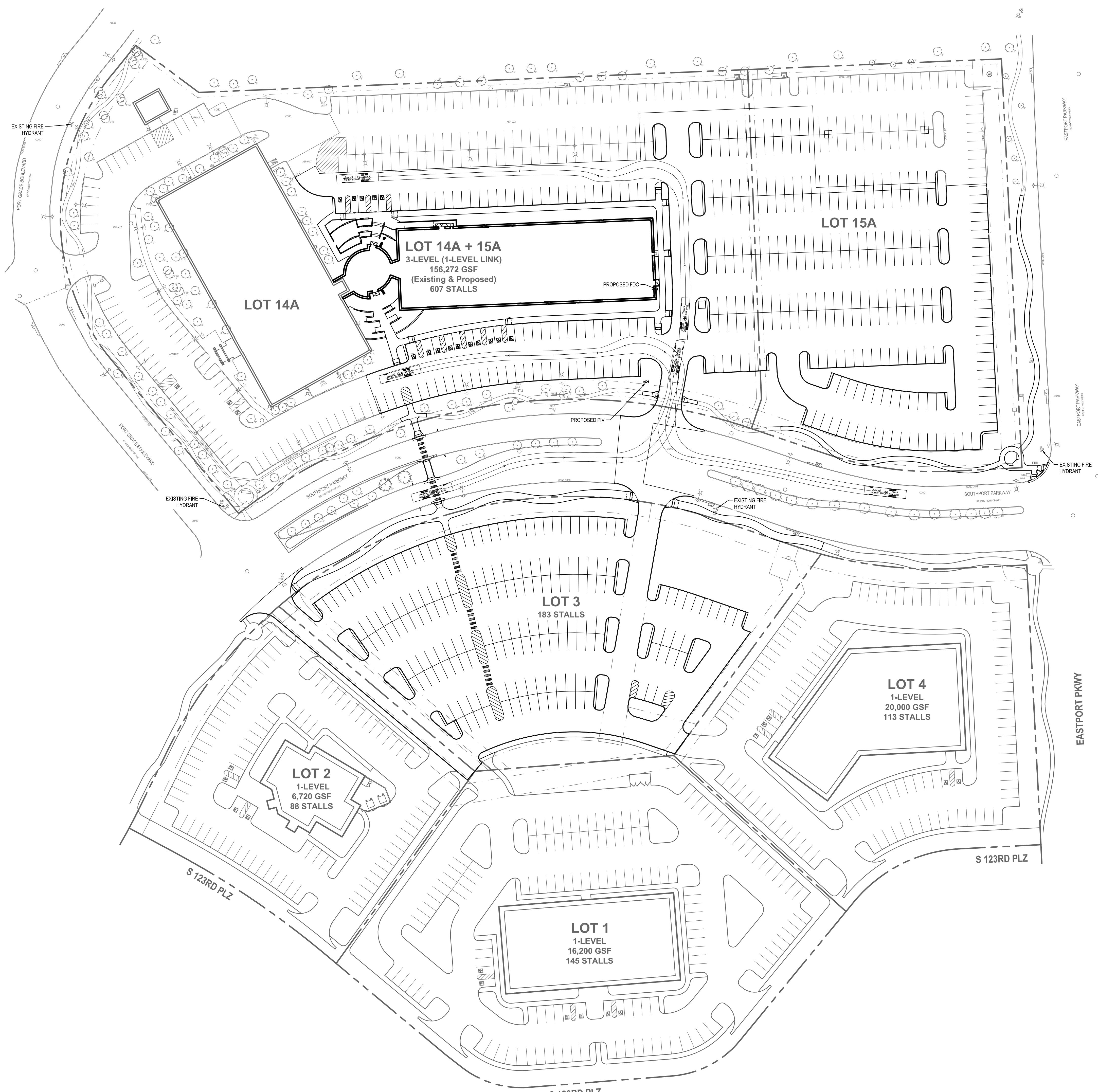
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6

status D SUBMITTAI

LEGEND

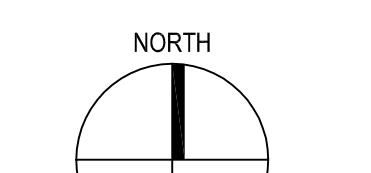
—	PROPERTY LINE
—	EASEMENT LINE
1067.17	EXISTING SPOT GRADES
1067	EXISTING GRADE CONTOUR
—	EXISTING CONCRETE CURB
—	EXISTING SIGNAGE
—	EXISTING LIGHT POLE
—	EXISTING STREET LIGHT
—	UGP
—	EXISTING UNDERGROUND POWER LINE
—	NGAS
GV	EXISTING NATURAL GAS LINE
PV	EXISTING NATURAL GAS VALVE
—	SS
—	EXISTING SANITARY SEWER LINE WITH STRUCTURE
—	SD
—	EXISTING STORM DRAIN LINE WITH STRUCTURE
—	TEL
—	EXISTING TELEPHONE LINE
—	WV
WV PV	EXISTING WATER LINE
—	EXISTING WATER VALVE / POST INDICATOR VALVE
—	EXISTING FIRE HYDRANT
—	EXISTING TREE


GENERAL NOTES

1. AERIAL FIRE TRUCK FROM THE LIBRARY OF THE "NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (NCHRP) REPORT 341: GUIDE FOR THE GEOMETRIC DESIGN OF DRIVEWAYS" WITHIN AUTOCAD® PROFESSIONAL SOFTWARE.
2. AERIAL FIRE TRUCK SPECIFICATIONS:
 - 2.1. TYPE: FIRE TRUCK 2
 - 2.2. CLASS: EMERGENCY - FIRE - PUMPER
 - 2.3. STEERING LOCK ANGLE: 33.3 DEGREES
 - 2.4. STEERER COUNT ONLY
 - 2.5. LENGTH: 43 FEET
 - 2.6. WIDTH: 8.5 WIDTH
 - 2.7. WHEEL BASE: 22 FEET
- 2.8. FRONT AXLE GROUP: 1 AXLE, 2 WHEELS, 8.5 FEET TRACK
- 2.9. REAR AXLE GROUP: 2 AXLES, 4 WHEELS, 8.5 FEET TRACK
3. UPON DEVELOPMENT OF LOTS 1, 2, AND 4, AN EMERGENCY VEHICLE ACCESS PLAN SHALL BE SUBMITTED TO THE FIRE MARSHALL FOR REVIEW OF WATER SUPPLY, FIRE LANE ACCESS, AND EMERGENCY RESPONDER RADIO COVERAGE.

EXISTING SURVEYOR INFORMATION

EXISTING SITE SURVEY INFORMATION FURNISHED BY THE LUND COMPANY AND PREPARED BY EHRHART GRIFFIN & ASSOCIATES, DATED MARCH 21, 2017. REVISED MAY 2, 2017.



0 50' 100'

HDR Architecture, Inc.
8404 Indian Hills Drive
Omaha, NE 68114
(402) 399-1000

The Lund Company

New Addition for
Securities America, Inc.
12325 Port Grace Blvd
La Vista NE 68128

CUSHMAN & WAKEFIELD | **LUND**
COMPANY



Project Manager	TIMOTHY WURTELE
Project Designer	DAVID LEMPKO
Project Architect	SHEILA IRELAND
Landscape Architect	ALISON INGUNZA
Civil Engineer	CHRIS CAIN
Structural Engineer	ROBERT GUINN
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Interior Designer	ABBY SCOTT
Wayfinding	—
Drawn By	Alison Inguna

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2	11/02/2017	Submitted for Planning Commission
3	12/13/2017	Submitted for City Council

Project Number 5078 | 1005497
Original Issue 08/07/2017

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Name
**Emergency Vehicle
Access Plan**

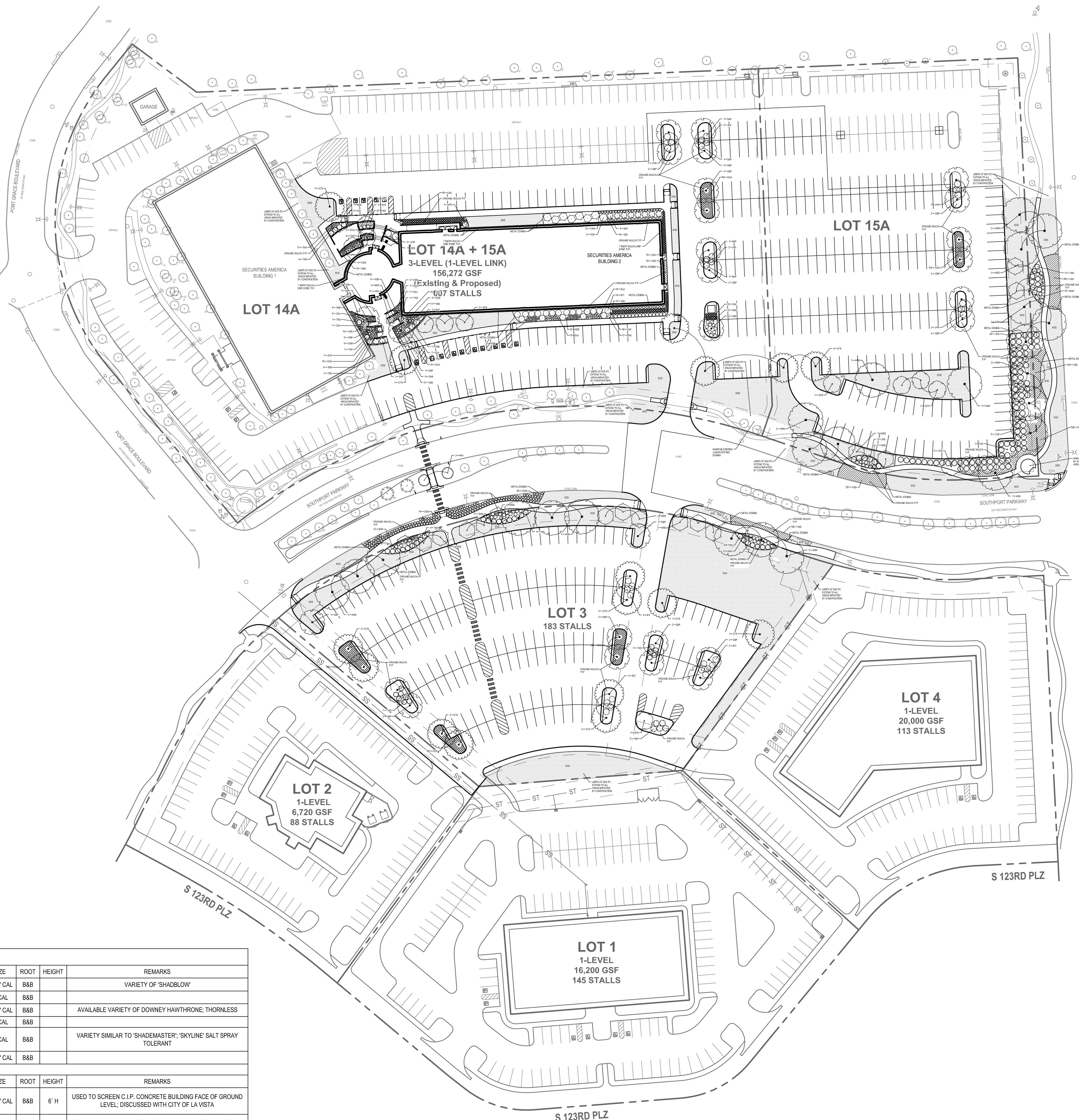
Scale 1"=50'-0"
Sheet Number

Exhibit E

Project Status PUD SUBMITTAL

LEGEND

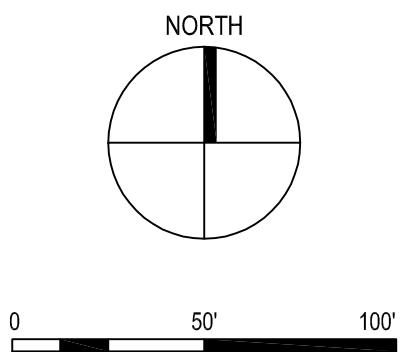
- PROPERTY LINE
- EASEMENT LINE
- 1067.17 EXISTING SPOT GRADES
- 1067 EXISTING GRADE CONTOUR
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- NGAS EXISTING NATURAL GAS LINE
- GV EXISTING NATURAL GAS VALVE
- SS EXISTING SANITARY SEWER LINE WITH STRUCTURE
- SD EXISTING STORM DRAIN LINE WITH STRUCTURE
- TEL EXISTING TELEPHONE LINE
- WV EXISTING WATER LINE
- WV PV EXISTING WATER VALVE / POST INDICATOR VALVE
- EXISTING FIRE HYDRANT
- EXISTING TREE



GENERAL NOTES

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PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HEIGHT	REMARKS
ACS	12	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2" CAL	B&B		VARIETY OF SHADBLOW
ARM	24	ACER RUBRUM 'FRANKRED' RED SUNSET	RED SUNSET MAPLE	3" CAL	B&B		
CGI	10	CRATAEGUS CRUS-GALLI VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN	2 1/2" CAL	B&B		AVAILABLE VARIETY OF DOWNEY HAWTHORNE: THORNLESS
GBP	27	GINKGO BILOBA 'PRINCETON Sentry'	PRINCETON SENTRY GINKGO	3" CAL	B&B		
GTS	16	GLEDTISIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL	B&B		VARIETY SIMILAR TO 'SHADEMASTER'; 'SKYLINE' SALT SPRAY TOLERANT
MSS	21	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2 1/2" CAL	B&B		
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HEIGHT	REMARKS
JSS	32	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	2 1/2" CAL	B&B	6' H	USED TO SCREEN C.I.P. CONCRETE BUILDING FACE OF GROUND LEVEL; DISCUSSED WITH CITY OF LA VISTA
PFV	2	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	3" CAL	B&B	6' H	STREET MEDIAN TREE; TO REMOVE AND REPLACE. LANDSCAPE CONTRACTOR TO CONFIRM SPECIES OF EXISTING TO REPLACE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HEIGHT	REMARKS
BTI	33	BERBERIS THUNBERGII	JAPANESE BARBERRY	5 GAL	CG		
JHW	11	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	2 GAL	CG		
JPS	100	JUNIPERUS X 'PITTSBURGH' 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	CG		
RRS	39	ROSA X 'RADRAZZ'	KNOCK OUT SHRUB ROSE	2 GAL	CG		
SAP	23	SYRINGA PUBESCENS 'MISS KIM'	MISS KIM KOREAN LILAC	5 GAL	CG		VARIETY OF MISS KIM LILAC
SAW	50	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	2 GAL	CG		
TMD	58	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	18"-24"	CG		
VDA	8	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	5 GAL	CG		
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HEIGHT	REMARKS
CAK	152	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2 GAL	CG		
CMS	236	CHRYSANTHEMUM X SUPERBUM 'BECKY'	SHASTA DAISY	1 GAL	CG		
SJU	75	SEEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL	CG		
VSB	147	VERONICA X 'SUNNY BORDER BLUE'	SUNNY BORDER BLUE SPEEDWELL	1 GAL	CG		
PERENNIAL AREA	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	HEIGHT	REMARKS
	822	GAILLARDIA X GRANDIFLORA 'BABY COLE'	BABY COLE BLANKET FLOWER	1 GAL	CG		12" O.C.
	1,909	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	CG		12" O.C.

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Name Site Planting Plan

Scale 1"=50'-0"
Sheet Number

Exhibit F

Project Status PUD SUBMITTAL

The Lund Company

New Addition for
Securities America, Inc.
12325 Port Grace Blvd
La Vista NE 68128

CUSHMAN & WAKEFIELD | **LUND**
COMPANY

Securities America

Project Manager TIMOTHY WURTELE
Project Designer DAVID LEMKE
Project Architect SHEILA IRELAND
Landscape Architect ALISON INGUNZA
Civil Engineer CHRIS CAIN
Structural Engineer ROBERT GUINN
Mechanical Engineer BRIAN KOLM
Electrical Engineer ANDREW WILSON
Interior Designer ABBY SCOTT
Wayfinding --
Drawn By Alison Inguna

MARK DATE DESCRIPTION
1 09/22/2017 Resubmitted PUD
2 11/02/2017 Submitted for Planning Commission
3 12/05/2017 Revised per La Vista Comments
4 12/13/2017 Submitted for City Council

Project Number 5078 | 10054297
Original Issue 08/07/2017

Exhibit F

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- x1067.17 EXISTING SPOT GRADES
- EXISTING GRADE CONTOUR
- EXISTING CONCRETE CURB
- EXISTING SIGNAGE
- EXISTING LIGHT POLE
- EXISTING STREET LIGHT
- UGP - EXISTING UNDERGROUND POWER LINE
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- SS - EXISTING SANITARY SEWER LINE WITH STRUCTURE
- SD - EXISTING STORM DRAIN LINE WITH STRUCTURE
- TEL - EXISTING TELEPHONE LINE
- W - EXISTING WATER LINE
- WV/PV - EXISTING WATER VALVE / POST INDICATOR VALVE
- EXISTING FIRE HYDRANT
- EXISTING TREE

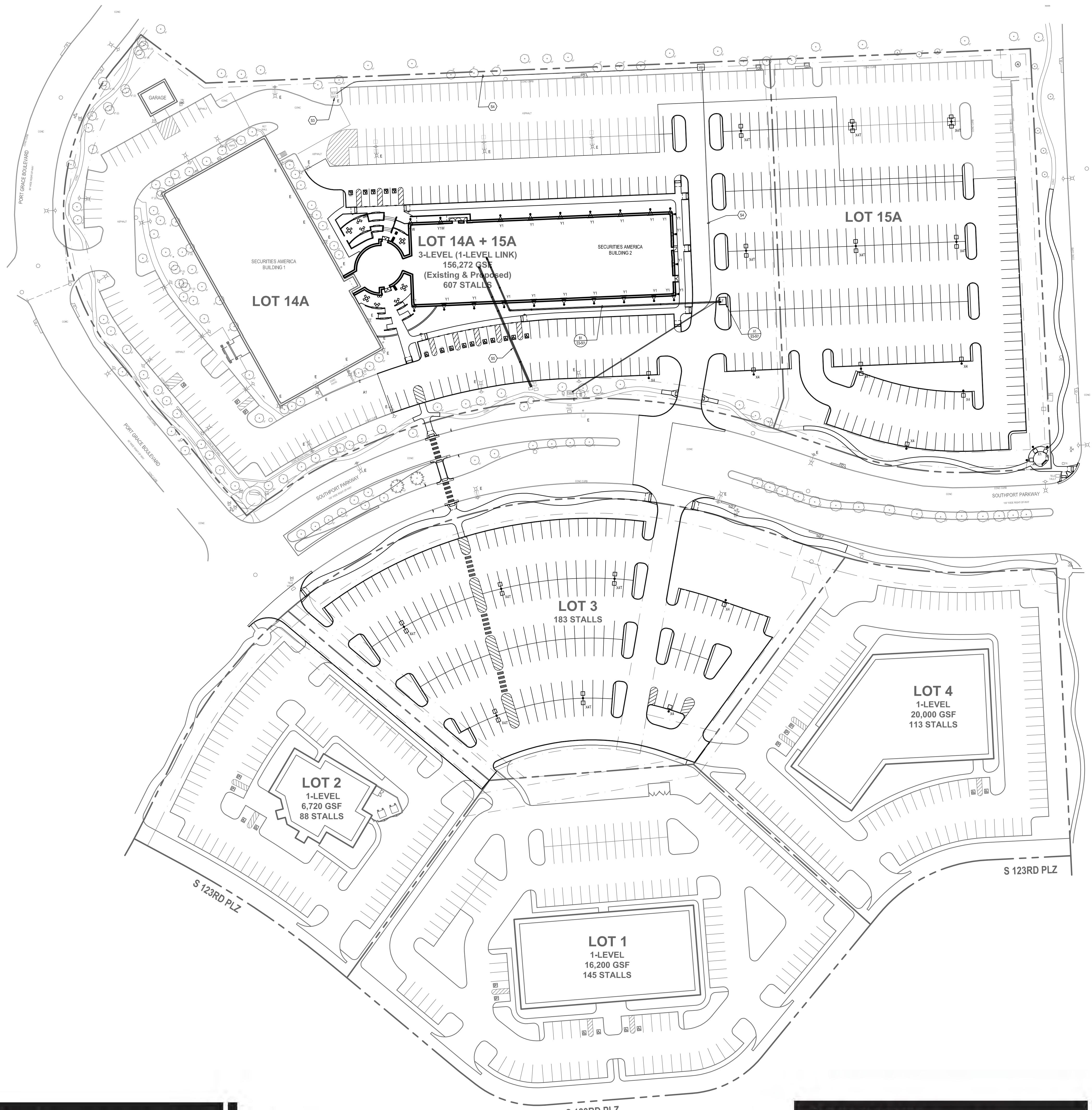
TAG	DESCRIPTION	MANUFACTURER & CATALOG NO.
X1	17" Dia x 17" H LED European-shaped Pendant-Head Pole Luminaire to Match Existing Campus: Driver and Light Engine Assembly Mount on a Removable Assembly Plate and Shall be Furnished with Quick-Disconnect Plug; TGIC Powder Coat Finish: Heads shall mount to 14" Pole, Pole Shall Match Existing Campus Standard	Antique Street Lighting Head: EML17-FT-48-LED-300W-4K-GCF-MVOLT-R4-SF-QSM-USPA-FPQ-2183 Filter: BHC - GSM - QPA Variant: Pole: CGS-8-48-FT-HT-14-04-02-SC-FP (RAL 7042) Base Cover: BGA-FH-H-SC-FP-RAL 9039 Arm: PTS-PA1-1-E2-VSC-ASC-S-SC-FP-RAL 8039
X4	25" Dia x 25" H LED European-shaped Pendant-Head Pole Luminaire to Match Existing Campus: Driver and Light Engine Assembly Mount on a Removable Assembly Plate and Shall be Furnished with Quick-Disconnect Plug; TGIC Powder Coat Finish: Heads shall mount to 30" Pole, Pole Shall Match Existing Campus Standard	Antique Street Lighting Head: EML25-FT-48-LED-4K-GCF-MVOLT-R4-SF-QSM-USPA-FPQ-2183 Filter: BHC - GSM - QPA Variant: Pole: CGS-8-48-FT-HT-20-04-02-SC-FP (RAL 7042) Base Cover: BGA-FH-H-SC-FP-RAL 9039 Arm: PTS-PA1-4-E2-VSC-ASC-S-SC-FP-RAL 8039
X4T	25" Dia x 25" H LED European-shaped Pendant-Head Pole Luminaire to Match Existing Campus: Driver and Light Engine Assembly Mount on a Removable Assembly Plate and Shall be Furnished with Quick-Disconnect Plug; TGIC Powder Coat Finish: Heads shall mount to 30" Pole, Pole Shall Match Existing Campus Standard	Antique Street Lighting Head: (2) EML25-FT-48-LED-4K-GCF-MVOLT-R4-SF-QSM-USPA-FPQ-2183 Filter: BHC - GSM - QPA Variant: Pole: CGS-8-48-FT-HT-20-04-02-SC-FP (RAL 7042) Base Cover: BGA-FH-H-SC-FP-RAL 9039 Arm: PTS-PA2-2-E2-VSC-ASC-S-SC-FP-RAL 8039

GENERAL NOTES

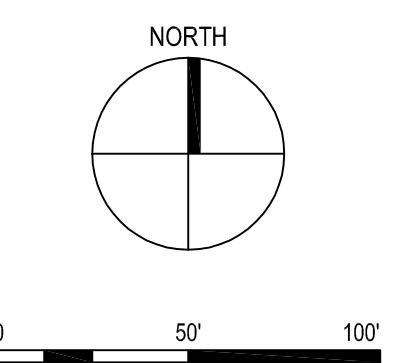
S3 EXISTING ELECTRICAL PULL BOX FEEDING UTILITY TRANSFORMER FOR EXISTING BUILDING.

S4 ROUTE (1) EMPTY 4" CONDUIT AT APPROXIMATELY 42" BELOW GRADE FOR REVISED ROUTING OF EXISTING UTILITY SERVICES TO EXISTING BUILDING. ROUTE FROM EXISTING OPPD SWITCH TO EXISTING ELECTRICAL VAULT AS SHOWN. COORDINATE ALL WORK AND REQUIREMENTS WITH OPPD AND ALL OUTAGES WITH OWNER. PRIMARY CONDUCTORS BY OPPD.

S5 ROUTE (4) CONDUITS FROM EXISTING TELECOMM VAULT TO MAIN TELECOMM ROOM.


EXISTING SURVEYOR INFORMATION

EXISTING SITE SURVEY INFORMATION FURNISHED BY THE LUND COMPANY AND PREPARED BY EHRHART GRIFFIN & ASSOCIATES, DATED MARCH 21, 2017. REVISED MAY 2, 2017.



EML17 LED
MUNICH PENDANT

CATALOG #
PROJECT:
TYPE

This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNIP6 option when ordering 5" arm); see arm specification sheets for details on mounting options.



EML25 LED
MUNICH PENDANT

CATALOG #
PROJECT:
TYPE

This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNIP6 option when ordering 5" arm); see arm specification sheets for details on mounting options.



PRELIMINARY
NOT FOR CONSTRUCTION

Site Lighting and Electrical Plan

Scale: 1"=50'-0"

Sheet Number

Exhibit G1

Project Status

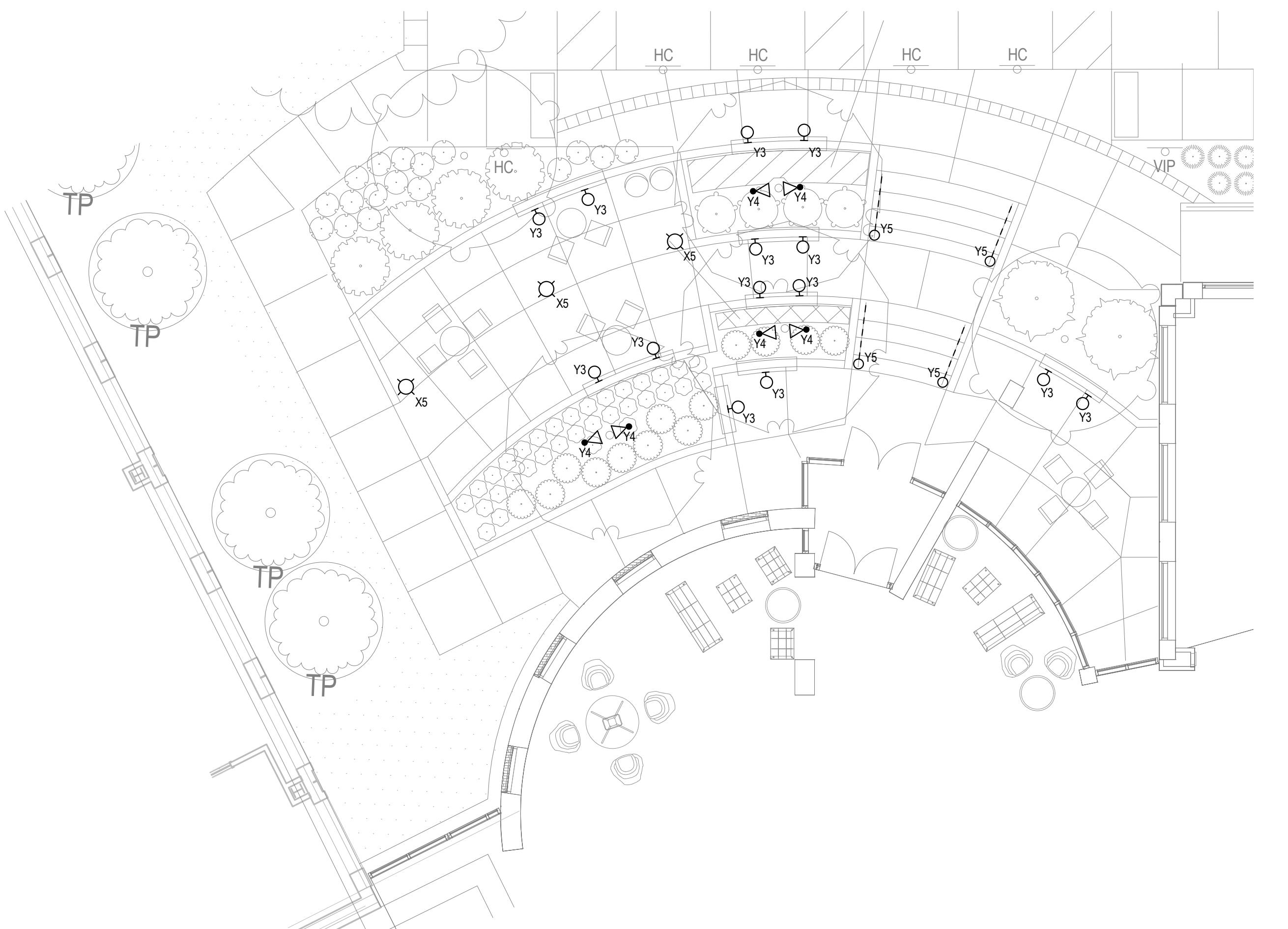
PUD SUBMITTAL

6

KEYNOTES - SHEET

#	DESCRIPTION
S6	PROVIDE 10' COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION TO GROUND GRID CONDUCTORS
S7	PROVIDE 10' COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION TO GROUND GRID CONDUCTORS AND SYSTEM TEST WELL
S8	BARE #40 COPPER GROUNDING GRID CONDUCTOR
S9	BARE #40 COPPER GROUNDING ELECTRODE CONDUCTOR BACK TO MAIN GROUNDING BUS BAR MEGB IN ELECTRICAL ROOM 111. REFER TO GROUNDING RISER DIAGRAM ON SHEET E-502 FOR MORE INFORMATION.

HDR Architecture, Inc
8404 Indian Hills Drive
Omaha, NE 68114
(402) 399-1000



C1 NORTH ENTRANCE ENLARGED SITE PLAN
1/8" = 1'-0"



A1 SOUTH ENTRANCE ENLARGED SITE PLAN
1/8" = 1'-0"

The Lund Company

New Addition
Securities America, Inc.
12325 Port Grace Blvd
La Vista, NE 68128



Project Manager
Project Designer
Project Architect
Site Designer
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer
Interior Designer
Wayfinding
Drawn By

TIMOTHY WURTELE
DAVID LEMKE
SHEILA IRELAND
ALISON INGUNZA
CHRISTOPHER CAIN
ROBERT GUINN
BRIAN KOLM
ANDREW WILSON
ABBY SCOTT
—
NATE ENGEL

MARK DATE DESCRIPTION
1 09/22/2017 Submitted to JID
2 11/02/2017 Submitted for Planning Commission
3 12/13/2017 Submitted for City Council

Current Print Description

Project Number
Original Issue

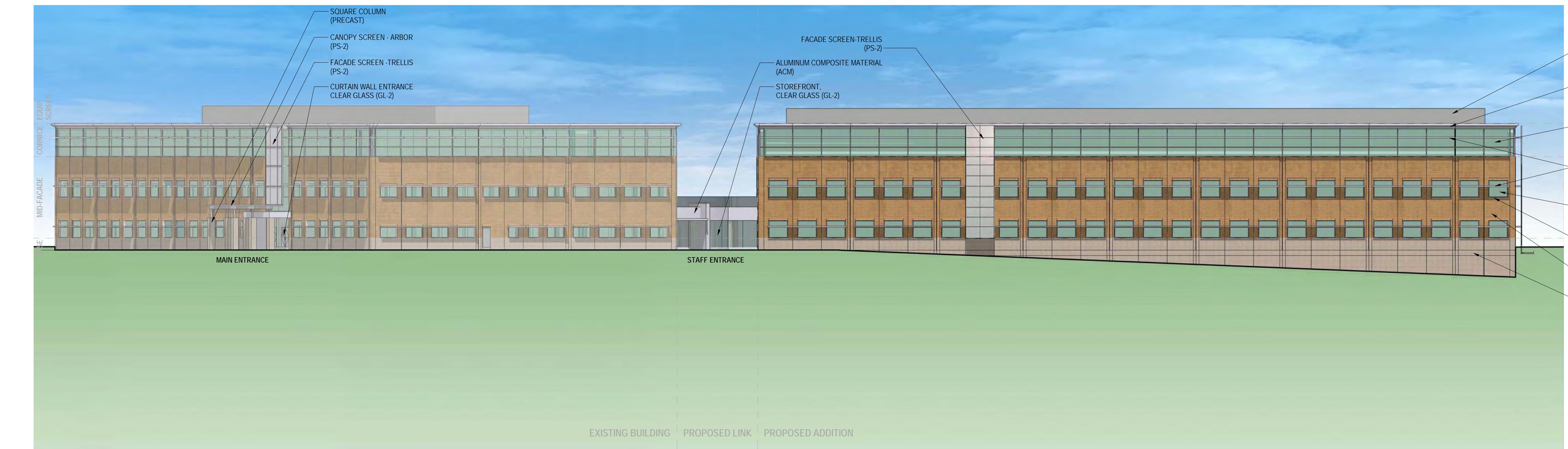
5078 | 10054297

PRELIMINARY
NOT FOR CONSTRUCTION

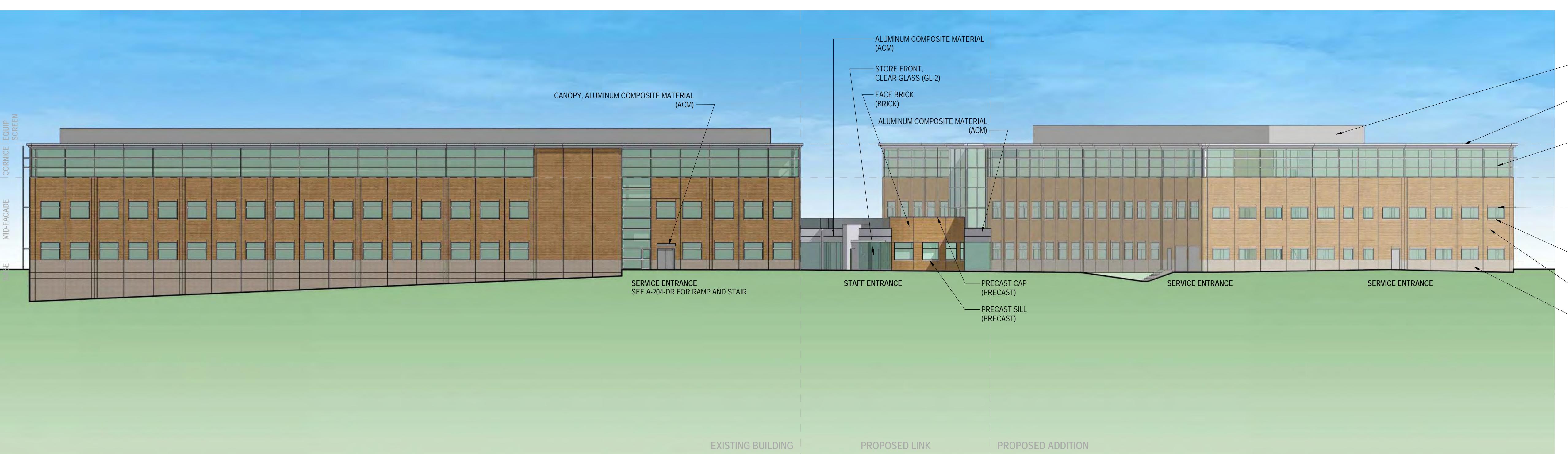
Sheet Name
Enlarged Site Lighting
and Electrical Plan -
Entry Link

Scale
1/8" = 1'-0"
Sheet Number

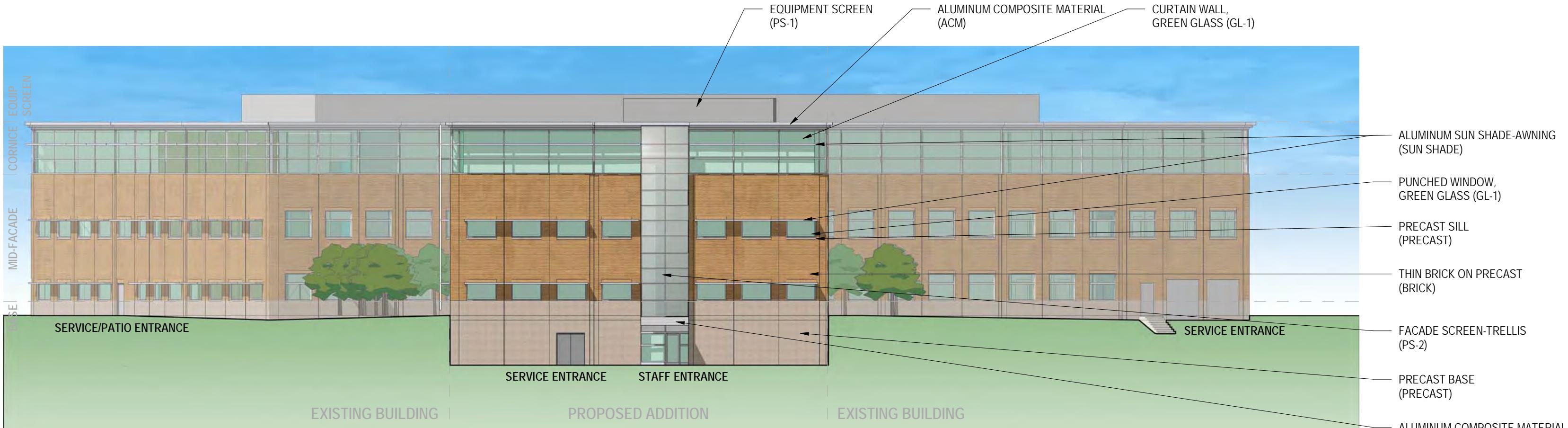
Exhibit G2



D1 SOUTH ELEVATION (SOUTHPORT PARKWAY)



B1 NORTH ELEVATION



A1 EAST ELEVATION

A4 WEST ELEVATION

SPECIFIC BUILDING ELEMENT REQUIREMENTS (OPTIONAL)

- A. AWNINGS SEE ALUMINUM SUN SHADES
- B. ARCHES
- C. SQUARE COLUMNS SEE MAIN ENTRANCE
- D. PITCHED ROOF
- E. ARBORS/PERGOLAS/TRELLISES SEE FAÇADE SCREENS AND MAIN ENTRANCE CANOPY
- F. SITE FURNITURE SEE SITE DRAWINGS AND PERSPECTIVES

BUILDING MATERIALS KEY	
	CENTRIA: PERFORATED SCREEN WALL, BR5-36, SUNDANCE MICA SILVERSMITH PS-1
	AMETCO: CLEAR ANODIZED ALUMINUM PS-2
	REYNOBOND COLORWELD 300 XL BRIGHT SILVER METALLIC ACM - SECONDARY MATERIAL
	VIRACON INSULATING GLASS UNIT: #2 GREEN W/ LOW-E COATING, VE2-2M + #1 CLEAR, VE1 GL-1
	VIRACON INSULATING GLASS UNIT: #1 CLEAR W/ LOW-E COATING, VE1-2M + CLEAR, VE1 GL-2
	WAUSAU: AIRFOIL CLEAR ANODIZED ALUMINUM SUN SHADE
	ENDICOTT CLAY: GOLDEN BUFF BRICK - PRIMARY MATERIAL
	CUSTOM PRECAST PRECAST - SECONDARY MATERIAL

The Lund Company

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Wayfinding: ...
Drawn By: Author

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1 09/22/2017 Submitted RUD
2 11/02/2017 Submitted for Planning Commission
3 12/13/2017 Submitted for City Council

Project Number: 5078 | Original Issue: 5054297

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Name: ELEVATIONS & MATERIALS KEY

Scale: As indicated
Sheet Number:

EXHIBIT H

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 19, 2017 AGENDA

Subject:	Type:	Submitted By:
DESIGN & CONST. PHASE ENGINEERING		
AGREEMENT-AMENDMENT NO. 1	◆ RESOLUTION	JOHN KOTTMANN
CITY PARKING DISTRICT	ORDINANCE	CITY ENGINEER
DRAINAGE IMPROVEMENTS	RECEIVE/FILE	

SYNOPSIS

A resolution has been prepared to approve Amendment No. 1 to the Professional Services Agreement with Thompson, Dreessen and Dorner, Inc. (TD2) to provide design phase and construction phase engineering services for drainage improvements related to City Parking District Access Improvements in Southport West and in areas downstream of Southport West in an amount not to exceed \$71,280.

FISCAL IMPACT

The FY17/18 Biennial Budget provides funding for this project.

RECOMMENDATION

Approval

BACKGROUND

At the September 15, 2015 Council meeting a Professional Services Agreement was approved with TD2 for topographic survey, drainage modeling, and identification of conceptual designs to address drainage issues from storm water runoff below a portion of the Southport West Development and in conjunction with the Parking District Access Improvements. This initial work has been completed which has identified solutions to be examined in more detail.

The next step is to develop detailed construction plans and specifications, obtain necessary permits, and provide construction phase staking, observation, testing and contract administration to implement the drainage improvement plans. Such services are addressed in the proposed Amendment No. 1. This work is part of CIP Project No. PWST-16-002.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA, APPROVING AMENDMENT NO. 1 TO A PROFESSIONAL SERVICES AGREEMENT WITH THOMPSON, DREESSEN, AND DORNER, INC. (TD2) TO PROVIDE DESIGN PHASE AND CONSTRUCTION PHASE ENGINEERING SERVICES FOR DRAINAGE IMPROVEMENTS RELATED TO CITY PARKING DISTRICT ACCESS IMPROVEMENTS IN AN AMOUNT NOT TO EXCEED \$71,280.

WHEREAS, the Mayor and Council have determined that engineering services for the City Parking District access improvements are necessary; and

WHEREAS, the FY17/18 Biennial Budget provides funding for this service; and

WHEREAS, the Mayor and Council gave approved the original agreement at the September 15, 2015 meeting; and

WHEREAS, Thompson Dreessen and Dorner (TD2) will provide design and construction phase engineering services for the proposed drainage improvements related to City Parking District Access Improvements in Southport West and in areas downstream of Southport West;

NOW, THEREFORE, BE IT RESOLVED, that the Mayor and City Council of the City of La Vista, Nebraska, hereby approve amendment no. 1 to a Professional Services Agreement with Thompson, Dreessen, and Dorner, Inc. to provide design phase and construction phase engineering services for drainage improvements related to city parking district access improvements in an amount not to exceed \$71,280.

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER, 2017.

CITY OF LA VISTA

Douglas Kindig, Mayor

ATTEST:

Pamela A. Buethe, CMC
City Clerk

CONSULTANT PROFESSIONAL SERVICES

PRELIMINARY & FINAL ENGINEERING

AMENDMENT NO. 1

This AMENDMENT No. 1 ("Amendment 1") shall amend and become a part of the Agreement for Professional Services dated September 16th, 2015 between the City of La Vista ("City") and Thompson, Dreessen, & Dorner, Inc. ("Consultant") providing additional professional services for drainage improvements related to City Parking District No.1

SCOPE OF SERVICES

City and Consultant hereby agree that Consultant's Scope of Services under the Agreement is amended by adding the services specifically described below for the additional compensation set forth below:

Task 3 – Additional Topographic Surveys

3.1 Conduct limited amount of topo information along the common boundary between Lots 1 2, Papio Valley 1 Business Park (12012 and 12110 Cary Circle) from low point in rear parking lot to flowline of storm sewer in front of 12012 Cary Circle to determine feasibility of low capacity storm sewer to drain low point.

Task 4 – Design Drainage Improvements North Side of Old Giles Road

4.1 Prepare additional conceptual plans for drainage solutions downstream of the BNSF railroad culverts and timber structure.

4.2 Discuss conceptual plans with City and proceed with construction documents for drainage improvements on the north side of Old Giles Road between the 48-inch culverts and timber structure under the BNSF and the twin 5 ft. by 5 ft. box culvert under 120th Street.

4.3 Prepare construction documents (plans and specifications) for cleaning of basins and modification of basin outlet structures for two storm water detention basins in Southport West Business Park as identified in the conceptual analyses prepared in the initial scope of work for the Agreement.

4.4 Prepare applications and seek required permits from the Corps of Engineers for the drainage improvements in Task 4.³ above.

4.5 Assist the City with obtaining bids for the work in Tasks 4.3 above.

Task 5 – Design Grading and Drainage Improvements North Side of Old Giles Road for Interim solution

5.1 Prepare construction documents (plans and specifications) for interim drainage improvements such as ditch cleaning or similar efforts.

5.2 Prepare Bid Documents (Project Costs are expected to be under City threshold for bidding) and obtain bids for interim grading work.

5.3 Assist the City with obtaining bids for the work in Task 5.2 above.

Task 6 – Design Drainage Improvements South Side of Old Giles Road

6.1 Review limited topo information from Task 3.1 and determine conceptual plans for low capacity storm sewer between buildings at 12012 and 12110 Cary Circle and/or for concrete gutter/flume from rear parking lot low point to existing single 5 ft by 5 ft box culvert under 120th Street. The route of these two conceptual solutions to be evaluated is shown on Exhibit "A".

6.2 After City review and selection of a conceptual plan from Task 6.1 (if any are found to be viable) proceed to prepare construction documents (plans and specifications) for drainage improvements on the south side of Old Giles Road.

6.3 Prepare applications and seek required permits from the Corps of Engineers for the drainage improvements in Task 6.2 above, if applicable.

6.4 Assist the City with obtaining bids for the work in Task 6.2 above.

Task 7 – Construction Phase Services

7.1 Provide construction staking, construction testing, construction observation and contract administration for the drainage improvements identified in Task 4 above.

7.2 Provide construction staking, construction testing, construction observation and contract administration for the drainage improvements identified in Task 5 above.

7.3 Provide construction staking, construction testing, construction observation and contract administration for the drainage improvements identified in Task 6 above.

COMPENSATION

Payment for the professional services under this Amendment 1 will be made on the basis of hourly charge rates plus reimbursable costs, as set forth in Exhibit "B" not to exceed an accumulated lump sum amount for Tasks 3, 4, 5, 6 and 7.

The total agreement amount after this Amendment 1 is \$116,369 (\$45,089 original Agreement plus \$71,280.00 Amendment 1). The Consultant's compensation shall not exceed this maximum amount without prior written approval of the City.

TERMS AND CONDITIONS OF SERVICE

All provisions of the original Agreement not specifically amended herein shall remain unchanged.

IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed by their proper officials thereunto duly authorized as of the dates below indicated.

EXECUTED by the Consultant this 15th day of December, 2017.

THOMPSON, DREESSEN & DORNER, INC.

Douglas E. Kellner, P.E.



Principal in Charge

EXECUTED by the City this _____ day of _____, 2017

CITY OF LA VISTA, NEBRASKA

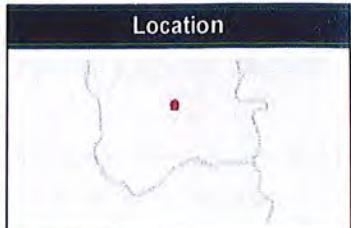
Joe Soucie - Authorized Representative

Public Works Director

Sarpy County Property Information



Location



Sarpy County GIS

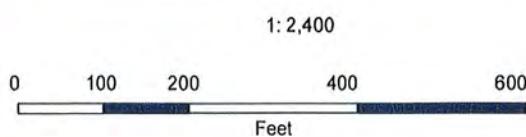


1210 Golden Gate Dr.
Suite 1130
Papillion, NE 68046
maps.sarpy.com

Legend

2016 Aerial Photo

- Red: Band_1
- Green: Band_2
- Blue: Band_3



This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.

EXHIBIT "A"

Tasks/Milestones *	TASK TOTAL (COST)	TASK TOTAL (HOURS)	Principal-In-Charge	Project Manager/Sr Engineer	Design Engineer	CAD Designer	Construction Observer	Survey Crew	Survey Equipment	CAD Designer	Registered Land Surveyor	Direct Expenses
5.2 Prepare Bid Documents (Project Costs are expected to be under City threshold for bidding) and obtain bids for interim grading work		\$165	\$155	\$110	\$95	\$75	\$165	\$45	\$95	\$130		
5.3 Assist City with bidding process		2:7	3	4	16	4						
	TASK HOURS	2	1	1								
	TASK FEE	61										
Task 6 Design Drainage Improvements on North Side of Giles Road												
6.1 Conceptual plans for different routes with cost estimates		44	2	4	30	8						
6.2 Prepare construction plans for selected route		56	2	4	34	16						
6.3 Prepare paperwork for Corps		17		4	12	1						
6.4 Assist City with bidding process		15		4	10	1						
	TASK HOURS	132										
	TASK FEE	\$15,070	\$660	\$2,480	\$9,460	\$2,470	\$0	\$0	\$0	\$0	\$0	
Task 7 Construction Phase Services												
7.1 Construction staking, testing, observation for Task 3		36		1	1		16	8	8	1	1	\$100
7.2 Construction staking, testing, observation for Task 4		6		1	1		4					
7.3 Construction staking, testing, observation for Task 5		69		1	1		32	16	16	1	2	\$45
	TASK HOURS											
	TASK FEE											
	TOTAL											

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 19, 2017 AGENDA

Subject:	Type:	Submitted By:
SURVEYING SERVICES CONTRACT AUTHORIZATION GOLF COURSE TRANSFORMATION PHASE 1 GRADING	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JOHN KOTTMANN CITY ENGINEER

SYNOPSIS

A resolution has been prepared authorizing a Professional Services Agreement with Terrametrix, LLC for surveying services related to the golf course transformation project in an amount not to \$14,600.00.

FISCAL IMPACT

The FY 17/18 Biennial budget provides funding for this project.

RECOMMENDATION

Approval

BACKGROUND

The Phase 1 Grading project is nearing substantial completion of the excavation work. In order to determine quantities of excavation for payment and to create an updated map necessary to proceed with the next phase of the design, it is necessary to obtain this surveying work. This firm is unique to the Omaha area in the performance of mobile terrestrial LiDAR data collection. The data collection can be performed in less than a day and a drawing file of the surface of the ground can be provided in several days. The speed of this process is a key factor in the recommendation to utilize this firm to provide these services.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT WITH TERRAMETRIX, LLC TO PROVIDE SURVEYING SERVICES FOR THE GOLF COURSE TRANSFORMATION PHASE 1 GRADING IN AN AMOUNT NOT TO EXCEED \$14,600.00

WHEREAS, the Mayor and City Council of the City of La Vista have determined that surveying services for the golf course transformation phase 1 grading are necessary; and

WHEREAS, the FY17/18 Biennial Budget provides funding for this project; and

WHEREAS, Terramatrix, LLC is unique to the area in the performance of mobile terrestrial LiDAR data collection; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secures Council approval prior to authorizing any purchase over \$5,000.00,

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska do hereby authorize an agreement with Terramatrix, LLC to provide surveying services for the golf course transformation phase 1 grading in an amount not to exceed \$14,600.00

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER, 2017.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk



November 27, 2017

John Kottmann
City Engineer/Assistant Public Works Director
La Vista
9900 Portal Road
La Vista, Nebraska 68128

Subject: Terrestrial Mobile LiDAR Data Collection and Digital Terrain Modeling, *Brentwood Falls*
Lake Area Topo *Civic Center Park* *pmk*

Dear Mr. Kottmann:

Terrametrix, LLC is pleased to present this proposal for mobile terrestrial LiDAR data collection on the subject project. This proposal sets forth the proposed work to be provided by Terrametrix, LLC, Inc. for the City of La Vista (Client). When accepted by Client this proposal constitutes the agreement between Terrametrix, LLC and Client and may be supplemented by a purchase order or additional agreement between Terrametrix, LLC and Client. Unless otherwise indicated all provisions of this proposal shall govern all work performed for client under this project.

The scope of work shall be to use our terrestrial mobile LiDAR system and 360 degree imaging system to collect scan data and images around the lake area as shown in the Project Image below and KMZ file emailed with this letter proposal. The scan area, approximately 20 acres, is as shown in the Project Area image (below) I received from you at your office on November 27, 2017. The scan data will then be used to create a digital terrain model of the area as we discussed at your office.

Client Supplied Items

We will scan at traffic speeds during off peak traffic hours or a time determined by KCI. Client will supply Terrametrix, LLC with the following prior to the scanning process:

1. A statement of whether the project coordinate system is State Plane or an assumed datum. If coordinate system is State Plane coordinates please supply the combined scale factor, grid and ground coordinate values.
2. 6 ground control targets placed at approximate locations as shown on the Project Area image below (targets are the black +. Additional ground check shots at various locations are also useful in the control network checks and to use in the RMS error report.
3. Terrametrix, LLC will place the targets prior to scanning and will be 6" x 4' pieces of dry wall with a 60d nail at the center point.
4. ASCII file (x,y,z) of ground control targets and check shots in project coordinates. We discussed TD2 doing the control point coordinate acquisition.

Schedule

Approximate schedule to mobilize to site is mid December once the lake grading is complete.

Deliverables:

Terrametrix will provide both a dtm surface in Autocad or Microstation. Said DTM surface will be used to determine excavation quantities of the site. As we discussed at your office LiDAR will not penetrate water so you will have TD2 create a bottom of lake in the areas of standing water. We will take their shots in xyz ASCII format and add them to our LiDAR data to include in the DTM surface.

An RMS error report of the scan data showing the DZ of the scan data to the control points for the mobile scanning. Typical RMS DZ error is .03' with a DZ spread of +0.04' to -0.04' on bare earth surfaces.

Project Image (Area Inside Cyan Boundary)





Project Fees:

The above scope of work will be performed for a lump sum fee of \$14,600 including all reimbursable expenses.

The pricing and conditions of this proposal are valid for sixty (60) days. To accept this proposal, please sign and date below and return to Terrametrix, LLC at our Omaha office.

If you have any questions or comments, please call me at 402-618-1099. Thank you and we look forward to working with the City of La Vista on this project.

Sincerely,

Terrametrix, LLC


Michael R. Frecks, L.S.
President

Accepted Date:
City of La Vista


John Kottmann ~~Joe Soucie~~
City Engineer/Assistant Public Works Director

CITY OF LA VISTA
MAYOR AND CITY COUNCIL REPORT
DECEMBER 19, 2017 AGENDA

Subject:	Type:	Submitted By:
AGREEMENT AUTHORIZATION STORM SEWER REPAIR WORK 108 th & CHANDLER	◆ RESOLUTION ORDINANCE RECEIVE/FILE	JOHN KOTTMANN CITY ENGINEER

SYNOPSIS

A resolution has been prepared authorizing an Agreement with Redz, LLC, a Nebraska Limited Liability Company to undertake storm sewer improvements in conjunction with the development of the Brook Valley Business Park Replat Five subdivision.

FISCAL IMPACT

The majority of the funding for construction of repairs will be \$105,000 provided by Sarpy County through an interlocal agreement. The balance of the funding for engineering and Corps permit efforts will be compensated by waiving City grading permit and administrative fees of approximately \$1,300 and directing the tract sewer connection fees that will result from the development of this property in the amount of \$29,356 towards the project.

RECOMMENDATION

Approval subject to review by the City Attorney.

BACKGROUND

Redz, LLC has submitted a plat and subdivision agreement for Brook Valley Business Park Replat Five industrial development located west of the intersection of 108th Street and Chandler Road. This property has a public storm sewer outlet that has created erosion damage. The storm sewer outlet was installed as part of the reconstruction of 108th Street by Sarpy County. This property and 108th Street have since been annexed into the City. Sarpy County has agreed to participate in making modifications to the storm sewer outlet. As part of its plans to create buildable industrial lots, Redz, LLC will be responsible to undertake the improvements. Upon satisfactory completion of the modifications, the City and County will make reimbursements consistent with their plan to repair the storm sewer prior to Redz, LLC making a development proposal.

The City will provide financial assistance as storm sewer repairs were previously required and scheduled as a Capital Improvement Project at this location. Contributions under this agreement are contingent on the completion of an interlocal agreement between Sarpy County and the City.

RESOLUTION NO. _____

A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF LA VISTA, NEBRASKA AUTHORIZING AN AGREEMENT WITH REDZ, LLC TO UNDERTAKE STORM SEWER IMPROVEMENTS IN CONJUNCTION WITH THE DEVELOPMENT OF THE BROOK VALLEY BUSINESS PARK REPLAT FIVE SUBDIVISION

WHEREAS, the Mayor and City Council of the City of La Vista have determined that sewer improvements in the area west of the intersection of 108th Street and Chandler Road are necessary; and

WHEREAS, the majority of the funding for construction of repairs will be \$105,000 provided by Sarpy County through an interlocal agreement. The balance of the funding for engineering and Corps permit efforts will be compensated by waiving City grading permit and administrative fees of approximately \$1,300 and directing the tract sewer connection fees that will result from the development of this property in the amount of \$29,356 towards the project; and

WHEREAS, Contributions are contingent on the completion of an Interlocal agreement between City of La Vista and Sarpy County; and

WHEREAS, Subsection (C) (9) of Section 31.23 of the La Vista Municipal Code requires that the City Administrator secures Council approval prior to authorizing any purchase over \$5,000.00,

NOW, THEREFORE BE IT RESOLVED, that the Mayor and City Council of La Vista, Nebraska do hereby authorize an agreement with Redz, LLC to undertake storm sewer improvements in conjunction with the development of the Brook Valley Business Park Replat Five Subdivision in form and content approved by the City Administrator and City Attorney.

PASSED AND APPROVED THIS 19TH DAY OF DECEMBER, 2017.

CITY OF LA VISTA

ATTEST:

Douglas Kindig, Mayor

Pamela A. Buethe, CMC
City Clerk

AGREEMENT
(Brook Valley Business Park Replat Five)

THIS AGREEMENT is made this 19th day of December, 2017, among Redz, LLC, a Nebraska limited liability company, ("Redz"), a Nebraska limited liability company, and the City of La Vista, a Municipal Corporation in the State of Nebraska (hereinafter referred to as "City").

WITNESSETH:

WHEREAS, Redz owns the property contained within the platting of Brook Valley Business Park Replat Five, attached hereto as Exhibit "A" (hereinafter referred to as the "final plat" or the "Final Plat"; and

WHEREAS, City owns 108th Street and adjacent right of way abutting the east boundary of the property; and

WHEREAS, Redz has agreed to enter into a subdivision agreement with the City setting forth terms and conditions to develop and construct certain public and private infrastructure improvements, including without limitation, public storm sewer improvements to repair erosion damage caused by storm water at a public storm sewer discharge from 108th Street ("Repair Work") as illustrated on Exhibit "B"; and

WHEREAS, the Repair Work will repair and prevent further erosion of the embankment and potential risks to 108th Street and the traveling public; and

WHEREAS, the City and Sarpy County, intend to enter into an interlocal agreement that will provide County funds for some of the Repair Work benefiting 108th Street. This Agreement is contingent upon City and Sarpy County entering an interlocal agreement in form and content satisfactory to each of them ("Interlocal Agreement").

NOW, THEREFORE, IT IS AGREED by Redz and City as follows:

1. Easements. Redz, at no additional cost or expense, will grant a permanent sewer and drainage easement to the City as shown on the final plat (Exhibit "A"). The instrument granting such permanent easement shall be recorded with the Sarpy County Register of Deeds prior to obtaining approval of the plans for the Repair Work.
2. Plans and Permits. Redz shall obtain environmental permits required for the proposed Repair Work and shall provide drainage calculations and construction plans for review and approval by the City Engineer prior to construction. Because of the substantial benefits of the Repair Work to the City and its property, administrative review and permit fees shall not apply with respect to the Repair Work.

3. Construction Certification. Redz shall cause the Repair Work to be observed by a professional engineer licensed in Nebraska and shall have the professional engineer issue to the City a Certificate of Compliance with the approved plans, satisfactory to the City Engineer, prior to obtaining payment or reimbursement pursuant to this Agreement.
4. Construction Bond. Redz shall obtain bids, select the lowest responsible bidder, and require the contractor engaged to perform the Repair Work to provide a performance bond including a minimum two-year warranty period which shall run in favor of Redz and the City.
5. Compensation for Repair Work. Redz has proposed to install an extension to the public storm sewer discharge from 108th Street as shown on the plan for Repair Work (Exhibit "B"). The portion of the Repair Work required to stabilize the storm sewer outlet shall be paid or reimbursed as follows:
 - (A) City, using funds provided by the County pursuant to the Interlocal Agreement, will make payment in the amount of \$105,000.00 to reimburse Redz costs of the Repair Work, subject to receipt of this amount from Sarpy County under the terms of the Interlocal Agreement.
 - (B) The sewer tract connection fees for Lot 1 and Lot 2 of Brook Valley Business Park Replat Five in the amounts of \$15,186.30 and \$14,169.42, respectively, shall be applied to pay costs of the Repair Work. If the Repair Work is completed prior to obtaining a building permit for a lot, then the fee applicable to such lot will not be payable to the City. If the Repair Work is not completed at the time of application for a building permit, then Redz will deliver to the City a certified check in the amount of the applicable fee that will be held by the City until satisfactory completion of the Repair Work, after which the certified check will be returned Redz.
6. City Engineer to be Determiner. The City Engineer shall have the right, but not any obligation, to inspect any work on, or relating to, the improvements described in this Agreement. If the City Engineer exercises such right, the work shall be completed to the City Engineer's satisfaction. All specifications and contracts relating to the Repair Work shall be subject to prior review and approval of the City Engineer.
7. Exhibit Summary. The Exhibits attached hereto and incorporated herein by this reference and made a part hereof, are as follows:

Exhibit "A":	Final Plat of Brook Valley Business Park Replat Five
Exhibit "B":	Repair Work
8. Right to Enforce. Provisions of this Agreement may be enforced at law, or in equity by the owners of land within the Final Plat and may be enforced by the City at law, in equity or such other remedy as City determines appropriate. All rights and remedies of a party, whether specified in this Agreement or otherwise provided, are cumulative.

9. Incorporation of Recitals. Recitals at the beginning of this Agreement are incorporated into this Agreement by reference.
10. Nondiscrimination. Notwithstanding anything in this Agreement to the contrary, (i) each party agrees that neither it nor any subcontractor of the party shall discriminate against any employee or applicant for employment to be employed in the performance of this Agreement, with respect to the employee's or applicant's hire, tenure, terms, conditions or privileges of employment, because of race, color, religion, age, sex, disability, or national origin; and (ii) the City is a recipient of federal funds; and as a result, all required contractual provisions related to such federal funds shall be deemed incorporated into this Agreement by this reference and binding upon the parties.
11. Assignment. This Agreement may not be assigned by any party without the express written consent of all parties.
12. Entire Agreement. This Agreement represents the entire agreement and understanding, and supersedes all prior understandings and agreements, written or oral, of the parties with respect to the matters contained herein, except for the subdivision agreement between the parties, provided, however, that this Agreement shall control if there is any conflict between terms and conditions of this Agreement and the subdivision agreement. The Agreement only may be amended by a written amendment executed by all parties.
13. Severability. If any part of this Agreement is held by a court of competent jurisdiction to be illegal or unenforceable, the illegality or unenforceability shall not affect the remainder of this Agreement, and this Agreement shall be construed as if such illegal or unenforceable provision had never been included herein.

IN WITNESS WHEREOF, we, the parties hereto, by our respective duly authorized agents, hereto affix our signatures the day and year first above written.

Redz, LLC a Nebraska limited liability company

By: _____
Zachary Daub, Manager

ATTEST: CITY OF LA VISTA

By: _____
City Clerk Mayor

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA)
)
) ss.
COUNTY OF DOUGLAS)

The foregoing instrument was acknowledged before me this _____ day of _____, 2017, by Zachary Daub, Manager of Redz, LLC a Nebraska limited liability company.

Notary Public

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA)
)
)ss.
COUNTY OF _____
)

On this day of _____ day of _____, 2017, before me a Notary Public, duly commissioned and qualified in and for said County, appeared _____, personally known by me to be the Mayor of the City of La Vista and _____, to be personally known to be the City Clerk of the City of La Vista, and the identical persons whose names are affixed to the foregoing Subdivision Agreement, and acknowledged the execution thereof to be their voluntary act and deed, and the voluntary act and deed of said City.

WITNESS my hand and Notarial Seal the day and year last above written.

Notary Public

EXHIBIT A
FINAL PLAT

Final plat of Brook Valley Business Park Replat Five

BROOK VALLEY BUSINESS PARK REPLAT FIVE

BEING A REPLAT OF LOT 25A AND SUBDIVISIONS IN BROOK VALLEY BUSINESS PARK REPLAT FOUR, LOT 17 SUBDIVISIONS IN SANDY COUNTY RESERVA, LYING WITHIN THE SOUTH 1/2 OF THE SECTION 17, T14N, R12E OF THE 6TH PM. SAID SANDY COUNTY AND WITHIN THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 17.

APPROVAL OF LA VISTA CITY PLANNING COMMISSION

LOT 1, 2 AND 3
BEING A REPLAT OF LOT 25A AND SUBDIVISIONS IN BROOK VALLEY BUSINESS PARK REPLAT FOUR, LOT 17 SUBDIVISIONS IN SANDY COUNTY RESERVA, LYING WITHIN THE SOUTH 1/2 OF THE SECTION 17, T14N, R12E OF THE 6TH PM. SAID SANDY COUNTY AND WITHIN THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 17.

APPROVAL OF LA VISTA CITY COUNCIL

LOT 1, 2 AND 3
BEING A REPLAT OF LOT 25A AND SUBDIVISIONS IN BROOK VALLEY BUSINESS PARK REPLAT FOUR, LOT 17 SUBDIVISIONS IN SANDY COUNTY RESERVA, LYING WITHIN THE SOUTH 1/2 OF THE SECTION 17, T14N, R12E OF THE 6TH PM. SAID SANDY COUNTY AND WITHIN THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 17.

REPLAT FIVE, BROOK VALLEY BUSINESS PARK, LYING WITHIN THE SOUTH 1/2 OF THE SECTION 17, T14N, R12E OF THE 6TH PM. SAID SANDY COUNTY AND WITHIN THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 17.



TD2
Engineering Inc.
& Surveying

Engineering, Surveying & Landscaping Inc.
1000 1/2 10th Street, Suite 100
Omaha, NE 68102
Phone: 402-330-5586
Fax: 402-330-5586

BROOK VALLEY BUSINESS PARK REPLAT FIVE

LOTS 1, 2 AND 3

REPLAT FIVE

1/2-1/2

1/2-1/2

1/2-1/2

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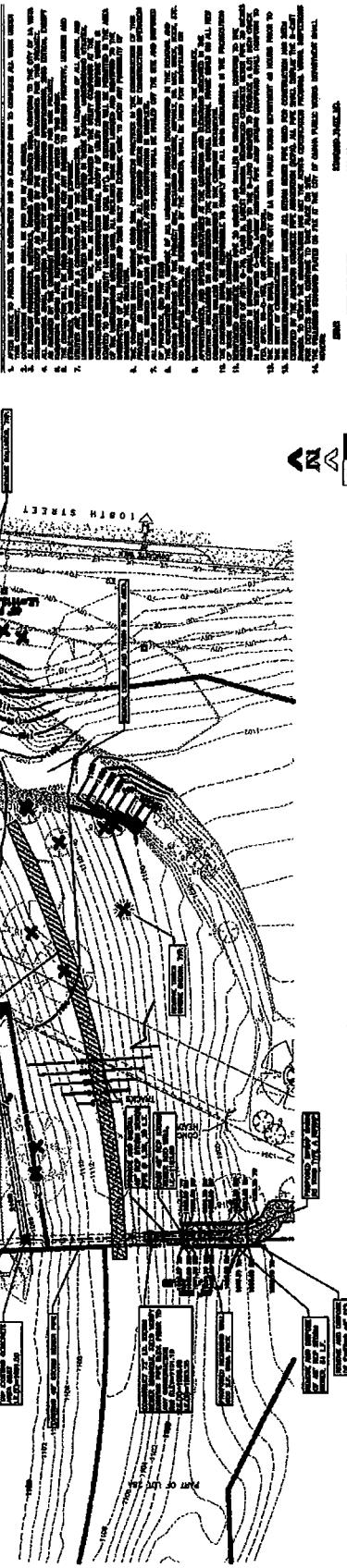
EXHIBIT B
REPAIR WORK

Illustration of public storm sewer construction to repair erosion at 108th Street storm sewer outlet.

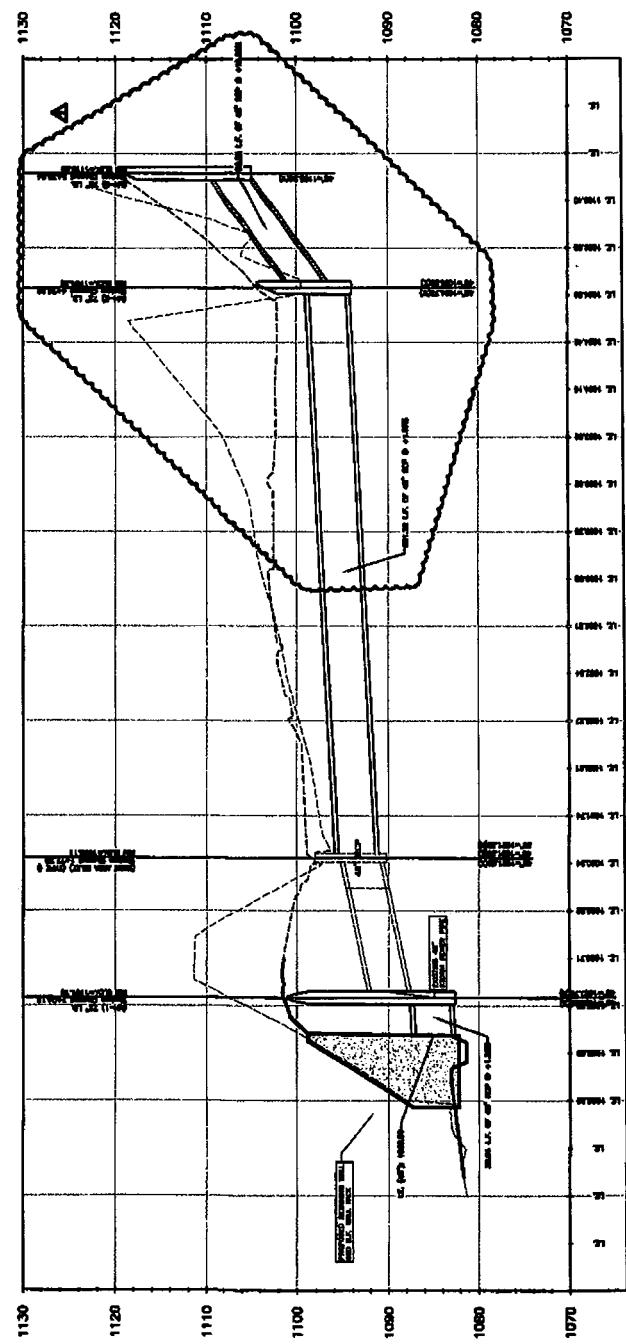
LEGAL DESCRIPTION

BENCHMARK
S. 40th Street
D. 1000' 100' 50' 40'

GENERAL NOTES



STORM SEWER



Drawn By: AAK
Job No: 1542-027
Reviewed By: AAK
Date: 5-25-17

Storm Sewer Plan

27/05/2017 10:59 AM DRAFTED BY TD2 ENGINEERING INC. 10835 OLD MILL ROAD, OMAHA, NE 68154

EXHIBIT B

EXHIBIT C
INTERLOCAL AGREEMENT

Copy of interlocal agreement as submitted to Sarpy County on October 27, 2017.

INTERLOCAL AGREEMENT

108TH & CHANDLER

This Interlocal Agreement ("Agreement") is made and entered into effective as of the ____ day of _____, 2017 by and between the CITY OF LA VISTA, a Municipal Corporation of the State of Nebraska, hereinafter referred to as "La Vista"; and SARPY COUNTY of the State of Nebraska, hereinafter referred to as "Sarpy County" or "County" (hereinafter collectively referred to as "Agencies").

PRELIMINARY STATEMENT

WHEREAS, La Vista and Sarpy County are both duly existing bodies, corporate and politic in accordance with and by virtue of the laws of the State of Nebraska; and

WHEREAS, the Agencies are desirous of entering into mutually beneficial endeavors to improve a public storm sewer located at the west side of the intersection of 108th Street and Chandler Road, hereinafter referred to as the "Project". The location of the project is in Sarpy County, and in the city limits of La Vista as illustrated on Exhibit "A"; and

WHEREAS, Sarpy County previously reconstructed 108th Street between Giles Road and Harrison Street, including the public storm sewer at the intersection of 108th Street and Chandler Road, as part of County Project No. C-77(37); and

WHEREAS, the discharge of the public storm sewer constructed under Project No. C-77(37) has resulted in significant erosion requiring reconstruction and modification of the storm sewer outlet; and

WHEREAS, the property owner of the adjacent property has submitted a development plan to La Vista that requires the erosion problem to be addressed; and

WHEREAS, the property owner of the adjacent property has agreed to undertake certain actions to facilitate the improvements to the storm sewer outlet subject to participation by La Vista pursuant to a subdivision agreement with La Vista; and

WHEREAS, the Agencies desire to describe and define the Project, contributions, work and responsibilities of the Project to enable them to jointly undertake the Project in the manner described as follows.

NOW THEREFORE, in consideration of, and based on, the foregoing Preliminary Statement and the mutual promises and agreements set forth below, the Agencies agree as follows:

1. Authority. This Agreement is made pursuant to the Interlocal Cooperation Act, Neb. Rev. Stat. § 13-801, et seq.
2. Duration. This Agreement shall remain in effect until the reconstruction and modification of the storm sewer has been satisfactorily completed, paid for, and accepted, unless otherwise terminated by the written agreement of all Agencies; provided, however that any provision hereof requiring any document or any other performance beyond the end of this Agreement, shall

continue in effect and survive after this Agreement terminates. Amendments hereto shall be made in writing adopted and executed by all Agencies.

3. No Administrative Entity. There shall be no separate legal or administrative entity created to administer this Agreement. Accordingly, no separate budget needs to be established.

4. County Responsibilities. The County shall have the following responsibilities:

- a. County agrees to pay \$105,000 towards the costs of the reconstruction and modification of the storm sewer outlet.
- b. The County's share of the cost of the work is based on the construction costs of the minimum required storm sewer outlet modification which is illustrated on Exhibit "B". Extent of work shown on said exhibit is substituted and exceeded by the work proposed as part of Brook Valley Business Park Replat Five development.
- c. The County agrees to make payment to the City for \$105,000 of construction costs after inspection and approval of the work by County's Engineer and subsequent City request for payment. County will pay City upon the later date of (1) thirty days after request for payment from City, or (2) July 30, 2018.

5. City Responsibilities. The City shall have the following responsibilities:

- a. The City shall enter in a subdivision agreement for the development of Brook Valley Business Park Replat Five that includes the storm sewer construction set forth on Exhibit "C".
- b. Require the developer of Brook Valley Business Park Replat Five to obtain the required environmental permits and grant public sewer and drainage easements to convey runoff from 100-year storm runoff events across the property.
- c. Review plans and specifications for the proposed storm sewer construction and provide a copy of said plans and specifications to the County for review.
- d. Require the proposed storm sewer construction to be covered by a performance bond including a minimum two-year warranty on the construction work.
- e. Observe, or cause to be observed by a professional engineer licensed in Nebraska, the storm sewer construction for compliance with the approved plans and specifications.
- f. In the event that the development of Brook Valley Business Park Replat Five does not proceed by July 1, 2018, the City shall provide the engineering services to construct the storm sewer outlet modification illustrated on Exhibit "B".
- g. Maintain all documents, papers, accounting records, agreements and other evidence pertaining to costs incurred and shall make such information available at its office at all

reasonable times during the period of this agreement and for three (3) years from the date of final payment under this agreement.

6. Approvals for Project Details. Plans, specifications, cost estimates, right of way plans, and other project information documents shall be presented to each of the Agencies for their review and approval before construction is commenced; which approval and any other approval provided for elsewhere in this Agreement shall not be unreasonably withheld.
7. Exhibits. The following exhibits pertain to this agreement:
 - a. Exhibit "A" – An illustration of the location of the storm sewer outlet problem and current conditions.
 - b. Exhibit "B" – An illustration of the minimum required work to repair the storm sewer outlet problem that the City caused to be prepared including an estimate of the cost of such work.
 - c. Exhibit "C" – An illustration of the storm sewer construction proposed as part of the development of Brook Valley Business Park Replat Five.
8. Maintenance. The maintenance of the storm sewer improvements constructed under this Agreement shall be the responsibility of the Agency where such improvements are located.
9. Discrimination. The Agencies shall not in the performance of the terms of this Agreement discriminate or permit discrimination against any agency on account of race, national origin, sex, age, disability, or political or religious affiliations in violation of federal or state laws or local ordinances.
10. Drug Free Policy. Each Agency provides assurance that it has established and maintains a drug free workplace policy.
11. Approval of Agreement. This Agreement shall be subject to approval of the governing body of each Agency.
12. Notices. Each Agency shall designate a person to be its primary point of contact for purposes of the Agency's administration of this Agreement, in addition to any other designation provided herein. The initial point of contact for each Agency shall be:

For Sarpy County:

Public Works Director
Sarpy County
1210 Golden Gate Dr
Papillion, NE 68046

For La Vista:

Public Works Director
City of La Vista
8116 Park View Blvd
La Vista, NE 68128

13. Entire Agreement. This Agreement contains the entire agreement of the Agencies and shall be binding upon the successors and assigns of the respective Agencies. No amendments, deletions, or additions shall be made to this Agreement except in writing signed by all Agencies.
14. Governing Law. Nebraska law shall govern in this Agreement in all respects.
15. Severability. This Agreement may be executed in counterparts, each of which shall be deemed an original, and all of which taken together shall constitute one and the same instrument.
16. Indemnification. Sarpy County shall indemnify and hold La Vista, its officers, officials, and employees harmless from any and all claims, demands, payments, liabilities, injuries, damages, losses, or suits including attorney fees arising out of or in connection with the activities of Sarpy County, its agents, representatives, and contractors in the performance of this Agreement. This paragraph shall not be construed to require Sarpy County to indemnify La Vista for the negligent or intentional acts of La Vista, its officers, agents or employees.

[End of Agreement]

IN WITNESS WHEREOF, the Agencies, by our respective and duly authorized agents, hereto affix our signatures below.

Executed by the County of Sarpy, Nebraska, this _____ day of _____, 2017.

COUNTY SARPY, NEBRASKA

By: _____
Chairman

ATTEST:

County Clerk

APPROVED AS TO FORM:

County Attorney

Executed by the City of La Vista, Nebraska, this _____ day of _____, 2017.

ATTEST:

CITY OF LA VISTA, a Nebraska
Municipal Corporation

Pamela A. Buethe, City Clerk

By: _____

Douglas Kindig, Mayor